



HEARINGS EXAMINER MEETING AGENDA

Tuesday, April 4, 2017, 5:00 PM

City Hall, 616 NE 4th Avenue

I. CALL TO ORDER

II. INTRODUCTION AND INSTRUCTIONS

III. HEARING ITEMS

A. Public Hearing for Franklin Duplex North (File No. CUP17-01)

Details: The applicant, Timber Grove LLC, has proposed to develop a duplex at 4055 NE Franklin Street (Tax parcel #178211-000). The property is in a single family zone, Residential 7,500 (R-7.5), where duplex developments must obtain conditional use approval per Camas Municipal Code (CMC) 18.07.040-Table 2. A staff report dated March 22, 2017, provides an analysis of the project and proposes conditions of approval.

Presenter: Sarah Fox, Senior Planner

Recommended Action: Staff recommends that the Hearings Examiner conducts a public hearing, deliberates and approves Franklin Duplex North as conditioned.

 [Staff Report for Franklin Duplex North \(CUP17-01\)](#)

[Exhibit 1 Application Narrative \(CUP17-01\)](#)

[Exhibit 2 Application Drawings \(CUP17-01\)](#)

B. Public Hearing for Franklin Duplex South (File No. CUP17-02)

Details: The applicant, Timber Grove LLC, has proposed to develop a duplex at 4033 NE Franklin Street (Tax parcel #178207-000). The property is in a single family zone, Residential 7,500 (R-7.5), where duplex developments must obtain conditional use approval per Camas Municipal Code (CMC) 18.07.040-Table 2. A staff report dated March 22, 2017, provides an analysis of the project and proposes conditions of approval.

Presenter: Sarah Fox, Senior Planner

Recommended Action: Staff recommends that the Hearings Examiner conducts a public hearing, deliberates and approves Franklin Duplex South as conditioned.

 [Staff Report for Franklin South \(CUP17-02\)](#)

[Exhibit 1 Franklin Duplex South \(CUP17-02\)](#)

[Exhibit 2 Application Drawings \(CUP17-02\)](#)

- C. Public Hearing for Leadbetter Road Pump Station (City File No.'s CUP16-01, DR16-13, SPRV16-08, SHOR16-04, SEPA16-16)

Details: The pump station is one of three new pump stations planned within the North Shore Sewer Transmission System. The Leadbetter Road Pump Station will be located in a tract of a future residential subdivision and is subject to Conditional Use Permit along with Design Review approval. The site will be landscaped and fenced and include a 250 square foot structure. The Design Review Committee reviewed the proposal for compliance with the City's adopted design principles and provided a recommendation to staff, which is incorporated with the attached Staff Report.

Presenter: Sarah Fox, Senior Planner

Recommended Action: Staff recommends that the Hearings Examiner conducts a public hearing, accepts testimony, deliberates, and approves the Leadbetter Pump Station.

 [Leadbetter Pump Station Staff Report \(CUP16-01\)](#)

[Exhibit 1 Narrative \(CUP16-01\)](#)

[Exhibit 2 Drawings for CUP16-01](#)

[Exhibit 3 Elevation Drawings \(CUP16-01\)](#)

[Exhibit 4 Photo of Pump Station Area](#)

[Exhibit 5 Design Review Staff Report \(CUP16-01\)](#)

IV. ADJOURNMENT

NOTE: The City of Camas welcomes and encourages the participation of all of its citizens in the public meeting process. A special effort will be made to ensure that persons with special needs have opportunities to participate. For more information, please call the City Clerk's Office at 360.817.1591.



STAFF REPORT
FRANKLIN DUPLEX NORTH
FILE NO. CUP17-01

TO: Hearings Examiner **HEARING DATE:** April 4, 2017

BY: Sarah Fox, Senior Planner **REPORT DATE:** March 22, 2017

PROPOSAL: To request conditional use approval to construct a duplex residential structure on a single family lot.

LOCATION: The site is located at 4055 NE Franklin Street, Camas, which is also described as Tax Parcel #178211-000.

APPLICANT: Timber Grove, LLC
1625 NW Ivy Street
Camas, WA 98607

APPLICATION SUBMITTED: January 13, 2017		Technically Complete: February 27, 2017	
PUBLIC NOTICE: Notice of application and public hearing was mailed to property owners within 300 feet of the site on March 16, 2017, and published in the Post Record on March 16, 2017, legal publication #579269.			
APPLICABLE LAW: The application was submitted on January 13, 2017, and the applicable codes are those vested and in effect through Ordinance # 16-031 (12/05/16). Camas Municipal Code Chapters (CMC): Title 16 Environment, Title 17 Land Development; and Title 18 Zoning; Specifically (not limited to): Chapter 17.19 Design & Improvement Standards; Chapter 18.07 Use Authorization, Chapter 18.09 Density and Dimensions; Chapter 18.13 Landscaping; Chapter 18.19 Design Review; Chapter 18.43 Conditional Use Permits; and Chapter 18.55 Administrative Provisions. [Note: Citations from Camas Municipal Code (CMC) are indicated with <i>italicized type</i> .]			

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I. SUMMARY

The applicant has proposed to redevelop a residential lot with a duplex. The lot is in a single family zone, Residential 7,500 (R-7.5), where duplex developments must obtain conditional use approval per CMC§18.07.040-Table 2.

The 10,798 sq. ft. property is vacant and slopes away from the road. The homes along NE Franklin Street include a mix of ranch and two-story homes, generally built in the 1950's and 60's. There is a newer subdivision, Lacamas Pointe, to the rear of the property with a similar mix of single and two-story homes that were built within the last six years. There is a duplex located at the north end of NE Franklin Street (Figure 2), otherwise there are no other duplexes in the vicinity.

II. CRITERIA OF APPROVAL FOR CONDITIONAL USE PERMITS (CMC§18.43.050 "A" THROUGH "F")

A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;

Discussion: CMC 18.03.040 Definitions, defines duplex as *"a structure containing two dwelling units on one lot."* The applicant has proposed a structure with two dwelling units, which is consistent with this definition. The project is a redevelopment in a single family zone, but is a use that can be conditionally allowed.

Findings: The proposed development as a duplex is allowed with approval of a conditional use permit.

B. THE PROPOSED USE SHALL MEET OR EXCEED THE DEVELOPMENT STANDARDS THAT ARE REQUIRED IN THE ZONING DISTRICT IN WHICH THE SUBJECT PROPERTY IS SITUATED;

Discussion: Development standards at CMC§18.09.040 Table 2, for a single family lot include building setback minimums, maximum height standards, and maximum building lot coverage standards. Compliance with those standards is discussed below under the subheading "Setbacks". There are also specific building design standards for duplexes within CMC Chapter 18.19 that is discussed in detail at Criterion "C" of this report. There are landscaping requirements within both CMC Chapter 17.19 Design and Improvement Standards and CMC Chapter 18.13 Landscaping, which is discussed below at subheading "Landscaping".

SETBACKS: The applicant has proposed side yard setbacks of 22 feet. The minimum side yard setback is five feet. The neighboring homes are generally consistent with the standard with side yard setbacks ranging from five to ten feet. The rear yard proposed is 32-1/2 feet. The minimum rear yard setback is 25-feet. The lot slopes away from the road by approximately 24 percent from the front of the lot to the rear. There is an exception to the front setback for such lots that allows for a reduction to the standard setback of 20 feet. It is also noticeable that the most of the surrounding properties utilized a lesser front setback than the required minimum of 20-feet.

CMC§18.09.130(B) states, *"Sloping Lot in any Zone. If the natural gradient of a lot from front to rear along the lot depth line exceeds an average of twenty percent, the front yard may be reduced by one foot for each two percent gradient over twenty percent. In no case under the provisions of this subsection shall the setback be less than ten feet."* The front setback could be reduced to 18 feet, as there is an average of 24 percent grade. A note on the revised drawings will be recommended.

Findings: The setbacks as proposed are in excess of the minimum requirements. A condition to illustrate the minimum setbacks on the revised drawings is recommended.

LANDSCAPING: The applicant is proposing a tree in the front yard of each dwelling unit. A street tree for every new residential unit is a requirement per CMC17.19.030 (F)(1), *"Each dwelling unit within a new development shall be landscaped with at least one tree in the planting strip of the right-of-way, or similar location in the front yard of each dwelling unit, with the exception of flag lots and lots accessed by tracts. Required trees shall be a minimum two-inch diameter at breast height (dbh) to create a uniform streetscape (dbh is four and one-half feet*

above the ground as measured from upside of tree)." The proposed tree in front of each unit complies with this standard.

However, the new use is also a conditional use, which requires compliance with additional landscaping standards at CMC§18.13.020. The following is an analysis of compliance with the landscaping standards of CMC Chapter 18.13 Landscaping at 18.13.050 - **Landscaping standards** (A through S).

A. The property owner shall be responsible for any future damage to a street, curb, or sidewalk caused by landscaping.

Findings: The building department will monitor if damage occurs during construction.

B. Landscaping shall be selected and located to deter sound, filter air contaminants, curtail erosion, minimize stormwater run-off, contribute to living privacy, reduce the visual impacts of large buildings and paved areas, screen, and emphasize or separate outdoor spaces of different uses or character.

C. Plants that minimize upkeep and maintenance shall be selected.

D. Plants shall complement or supplement surrounding natural vegetation.

E. Plants chosen shall be in scale with building development.

F. Minimum landscaping as a percent of gross site area shall be as follows:

Community Commercial (CC) standard applies of 10%

G. Deciduous trees shall have straight trunks, be fully branched, have a minimum caliper of one and one-half inches, be equivalent to a fifteen-gallon container size, and be adequately staked for planting.

H. Evergreen trees shall be a minimum of five feet in height, fully branched, and adequately staked for planting.

I. Shrubs shall be a minimum of five-gallon pot size. Upright shrubs shall have a minimum height at planting of eighteen inches. Spreading shrubs at planting shall have a minimum width of eighteen inches (smaller shrub sizes may be approved where it is more appropriate within a particular landscape plan).

J. Ground cover, defined as living material and not including bark chips or other mulch, shall at planting, have a maximum spacing of twelve inches on center for flats, and a maximum twenty-four inches on center between mature plants from containers of one gallon or larger.

Findings: A landscape plan must be submitted and reviewed for compliance with standards B through J.

K. Appropriate measures shall be taken, e.g., installations of watering systems, to assure landscaping success. If plantings fail to survive, it is the responsibility of the property owner to replace them.

Findings: Staff has included a condition in regard to the installation of a watering system.

L. Trees shall not be planted closer than twenty-five feet from the curb line of the intersections of streets or alleys, and not closer than ten feet from private driveways (measured at the back edge of the sidewalk), fire hydrants, or utility poles.

Findings: The proposed trees appear to be located approximately 25-feet from the existing paved roadway surface. They are approximately 10-feet from the private driveway.

M. Street trees shall not be planted closer than twenty feet to light standards. Except for public safety, no new light standard location should be positioned closer than ten feet to any existing street tree, and preferably such locations will be at least twenty feet distant.

Findings: There does not appear to be a light standard adjacent to the trees.

N. Trees shall not be planted closer than two and one-half feet from the face of the curb except at intersections, where it should be five feet from the curb in a curb return area.

Findings: Review of tree placement should occur with landscape plan review and approval.

O. Where there are overhead power lines, tree species that will not interfere with those lines shall be chosen.

Findings: Not applicable

P. Trees shall not be planted within two feet of any permanent hard surface paving or walkway. Sidewalk cuts in concrete for trees shall be at least four feet by four feet; however, larger cuts are encouraged because they allow additional area and water into the root system and add to the health of the tree. Space between the tree and such hard surface may be covered by permeable nonpermanent hard surfaces such as grates, bricks on sand, paved blocks, cobblestones, or ground cover.

Findings: The pathway as proposed will likely be too close to the tree. The applicant could meander the path, use pavers, or other permeable surfaces as noted in this criterion. A note to that effect will be recommended.

Q. Trees, as they grow, shall be pruned to their natural form to provide at least eight feet of clearance above sidewalks and twelve feet above street roadway surfaces.

Findings: Not applicable at this time.

R. Existing trees may be used as street trees if there will be no damage from the development which will kill or weaken the tree. Sidewalks of variable width and elevation may be utilized to save existing street trees, subject to approval by the city.

Findings: Not applicable

S. Vision clearance hazards shall be avoided.

Findings: The property is not a corner lot, and vision clearance hazards are not a concern.

ROADS: As noted above, the existing residential buildings in this zone have front yard setbacks that are less than required under the Camas zoning code. For this reason, the development standards for this street are not feasible as they are not attainable on neighboring properties due to lack of right of way and real estate. The standards at CMC§17.19.040(B) requires that new developments construct half street improvements. The applicant proposed to dedicate 10-feet of the property for right-of way to meet this standard. This would place the front building setback of the property at a distance that is incompatible with the surrounding neighborhood. For all of these reasons, the applicant should be required to meet the standards, but to the extent feasible. Dedication of 26' of street right of way from the *existing* center line will be required, along with installing minimal improvements as recommended by the City Engineer.

Findings: The dedication of sufficient right-of-way and installation of improvements to allow for future level of service considerations is warranted. Staff finds that the following requirements are feasible and are more compatible with the neighboring properties:

- Per CMC 17.19.040 (B) the applicant will be required to dedicate 26' from the existing center line of the street right-of-way.
- The applicant will be required to pave an additional 8' width for on-street parking.
- The applicant shall construct a 5' wide hard surface path that is ADA compliant. Path edge closest to centerline will be located 3' from the edge of the paved on-street parking area. Final design must be approved by the City Engineer.

C. THE PROPOSED USE SHALL BE COMPATIBLE WITH THE SURROUNDING LAND USES IN TERMS OF TRAFFIC AND PEDESTRIAN CIRCULATION, DENSITY, BUILDING, AND SITE DESIGN;

Discussion: The subject property is located along a street corridor that is dominated by ranch and two-story homes. The lots are generally 90-feet wide by 100-feet deep, which is similar to the subject property. The front building faces (linear measurement) of the surrounding homes are approximately 61 lineal feet. The average width of their garages is 20-feet wide (Figure 1). Among the ten homes surveyed, the setbacks vary from the improved roadway from 10 feet to 60 feet. The surrounding neighborhood currently lacks pedestrian circulation and paved on-street parking; however, mitigating conditions were proposed under Criterion B.

The applicant has proposed a design that appears to be two garages doors facing the street. The front doors of the dwellings are setback from the front building face 10-feet and are four feet wide. The submitted elevation drawing (Sheet 7) indicates that the front door would be visible, however that is unlikely given the distance from the front face of the structure.

The duplex is designed on a 90-foot wide lot, and would have a building that is 23 feet wide for each unit, with four feet of width for the entry door and 19 feet for the garage (door and trim). The width of the garage would be 82% of the front of each unit. There are not any homes in the vicinity that are similar to the proposed design with a garage door as the predominant feature. The average home in this area has 61% of their building frontage as living area (e.g. front doors and windows) and 39% as garage (Figures 1 and 4). Also, the existing duplex development at 4235 NE Franklin has a 12-foot wide garage for each unit, with a total lineal feet for the each side of the structure of 44 feet (27%). A condition to require that the design of the structure to better complement the existing buildings in the area should be provided.

The width of the lot is 90-feet, and with the required 5-foot side yard setbacks, the building could be 80-feet wide. A more suitable building style would match that of the surrounding homes with the garages being an average of 39% of the front. The Design Review standards for duplexes at CMC§18.19.050(B)(3)(C) restricts the size of garages to 50% of the front. Mitigation for this deficiency would ideally balance the amount of garage facing the street to be in the range of 39% to 50% is warranted.

Site design also includes the location of the entrance of the duplex, which is proposed 10-feet from the front face. This location is inconsistent with the surrounding homes. In general, the entry doors are at the front of the building envelope or setback a few feet with a covered porch, and are distinguished from the rest of the structure. A condition in regard to the placement of the front door is warranted and is proposed.

Findings: The development design is incompatible with the surrounding land uses and conditions to mitigate are proposed. Mitigation measures for the lack of pedestrian circulation and parking were proposed.

D. APPROPRIATE MEASURES HAVE BEEN TAKEN TO MINIMIZE THE POSSIBLE ADVERSE IMPACTS THAT THE PROPOSED USE MAY HAVE ON THE AREA IN WHICH IT IS LOCATED;

Discussion: The proposed use as a duplex should, if designed properly, blend into the surrounding neighborhood. Staff has proposed conditions in regard to the design of the structure, landscaping, and roadway improvements that should mitigate any potential adverse impacts of the project.

Findings: Staff has proposed conditions of approval to minimize potential adverse impacts.

E. THE PROPOSED USE IS CONSISTENT WITH THE GOALS AND POLICIES EXPRESSED IN THE COMPREHENSIVE PLAN;

Discussion: The citywide land use policy, Policy LU-1.3 requires compatibility of use and design of the surrounding and built environment for new development. Also, policy LU-1.5, states, *"Where compatible with surrounding uses, encourage redevelopment or infill development to support the efficient use of urban land."* Throughout this report, staff has discussed how the design of the project as proposed is incompatible, and has

proposed conditions on how the project can be more compatible with the surrounding land uses. The use of the project as a duplex does support the policy of “efficient use of urban land”.

Policy H-1.6, states, “*Encourage in-fill development on vacant or underutilized sites, **subject to design review guidelines**, that have adequate urban services, and **ensure that the development is compatible with the surrounding neighborhood***” [Emphasis added]. Analysis of the surrounding neighborhood is provide with Figures 1 through 4 at the back of this report. Design review guidelines for a duplex development is focused on limiting the amount that the front of the structure is devoted to a garage per CMC§18.19.050(B)(3)(C). Staff evaluated the surrounding neighborhood and suggested a condition to remedy the deficiency.

Findings: Staff has proposed conditions that will carry out the intent and purposes of the comprehensive plan.

F. ANY SPECIAL CONDITIONS AND CRITERIA ESTABLISHED FOR THE PROPOSED USE HAVE BEEN SATISFIED. IN GRANTING A CONDITIONAL USE PERMIT THE HEARINGS EXAMINER MAY STIPULATE ADDITIONAL REQUIREMENTS TO CARRY OUT THE INTENT OF THE CAMAS MUNICIPAL CODE AND COMPREHENSIVE PLAN.

Findings: Staff has proposed conditions that will carry out the intent and purposes of the CMC and the comprehensive plan.

III. ARCHAEOLOGICAL REVIEW

Archaeological Resource Preservation – CMC Chapter 16.31

The criteria for approval of archaeological review can be found at CMC§16.31.140.

DISCUSSION: The applicant provided an archeological survey that is consistent with CMC§16.31.120. The applicant provided notification and copies of the report to tribes, as required per CMC§16.31.160. The report and findings are not subject to the open public records act and as such, the city cannot disclose the report. However, no additional archaeological work will be required.

IV. CONCLUSIONS OF LAW

Based on the above findings and discussion provided in this report, staff concludes that the consolidated application for a duplex (File #CUP17-01) should be approved, because it does or can comply with the applicable standards.

- The application materials are in conformance with CMC Chapter 18.55, Article III Application Requirements.
- As conditioned, the development can satisfy the public design standards of 17.19.040 Infrastructure Standards.
- As conditioned, the development can satisfy the Design Review Standards of CMC Chapter 18.19 Design Review.
- As conditioned, the development can satisfy the requirements of CMC Chapter 18.43 Conditional Use Permits.

V. RECOMMENDATIONS

Staff recommends APPROVAL of the application for Franklin Duplex North (File #CUP17-01) with conditions. The recommendation is based on the application meeting the minimum requirements of Camas Municipal Codes, and conditioned as follows:

PROPOSED CONDITIONS

The following conditions are in addition to any conditions required from other permits or approvals issued to this project. Unless otherwise waived or modified in this decision, the development must comply with the minimum requirements of the Camas Municipal Code.

1. Stormwater treatment, including phosphorous removal, and detention facilities shall be designed in accordance with the 2014 Stormwater Management Manual for Western Washington and the Camas Stormwater Design Standards Manual, if triggered under said manuals (e.g. over 5,000 sq. ft. of impervious surface). Final stormwater calculations shall be submitted at the time of final construction plan submittal.
2. All construction plans for work in the right of way will be prepared in accordance with City Design Standards Manual and City Standards. The plans will be prepared by a licensed civil engineer in Washington State and submitted to the City for review and approval.
3. Underground (natural gas, CATV, power, street light and telephone) utility plans shall be submitted to the City for review and approval prior to approval of the construction plans.
4. A 3% construction plan review and inspection fee shall be required for all civil site work in this development. The fee will be based on an engineer's estimate or construction bid. The specific estimate will be submitted to the City for review and approval. The fee will be paid prior to the construction plans being signed and released to the applicant. Under no circumstances will the applicant be allowed to begin construction prior to approval of the construction plans.
5. The applicant shall remove all temporary erosion prevention and sediment control measures from the site at the end of the two-year warranty period, unless otherwise directed by the Public Works Director.
6. Final as-built construction drawing submittals shall meet the requirements of the CMC 17.11.060, CMC 17.01.050 and the Camas Design Standards Manual for engineering as-built submittals.
7. The applicant shall dedicate 26' from the existing center line of the street right-of-way Per CMC 17.19.040 (B).
8. The applicant will be required to pave an additional 8' width for on-street parking.
9. The applicant shall construct a 5' wide hard surface path that is ADA compliant. Path edge closest to centerline will be located 3' from the edge of the paved on-street parking area. Final design must be approved by the City Engineer.
10. The applicant shall revise the site plan drawings to illustrate the location of the minimum setback standards per CMC18.09.040 Table 2, and to include the front setback exception standard for sloping lots per CMC18.09.130. **The front structure setback is 18-feet, the side setback is 5-feet and the rear setback is 25-feet. The maximum lot coverage is 40%.**
11. The design of the duplex will be revised to adjust the amount of garage frontage to be no greater than 50% of the total lineal feet of the front building face. The entrance of the residence will be either forward of the front face of the garage or flush with the garage and distinguished with architectural elements (e.g. covered porch, pillars).
12. A landscaping plan must be provided no later than building plan submittal, and approved by the Planning Division prior to commencement of site construction.

a. A landscaping plan must include trees (minimum 2" caliper) and shrubs (minimum five gallon) within the front yard.

b. *Trees shall not be planted within two feet of any permanent hard surface paving or walkway, or ten feet from private driveways. The applicant could provide an alternative to the concrete walkway by using permeable surfaces, pavers or a narrower, meandering pathway.*

13. The approved landscaping shall be maintained in a manner as to ensure plant survival for three years after installation. A watering system shall be required. If plantings fail to survive, they must be replaced promptly.

14. Landscaping and watering system shall be installed consistent with the approved final landscaping plan prior to receiving final occupancy permits from the Building Division.

15. This permit shall expire in two years of the date of the final decision per CMC§18.55.260, if no building plans are submitted.

FIGURE 1: ANALYSIS OF TEN LOTS ADJACENT TO SUBJECT SITE

ADDRESS	BUILDING STYLE	FRONTAGE (TOTAL LF)	GARAGE (LF)	CARPORT (LF)	% GARAGE	YEAR BUILT	ADJACENCY
4117	Ranch, single-story	52		25	48%	1957	North of Site
4235	Duplex, two-story*	44	12	0	27%	1949	North of Site
4110	Two-story	40	15	0	38%	2005	Across the Street
4046	Two-story	50	25	0	50%	1969	Across the Street
4024	Cottage, 1-1/2 stories	62	0	17	27%	1955	Across the Street
4088	Ranch, single-story	87	21		24%	1956	Across the Street
4030 NE Everett	Two-story	61	43		70%	2011	Behind the Site
4026 NE Everett	Single story	68	26.5		39%	2012	Behind the Site
4015	Ranch, single-story	73	23		32%	1956	South of the Site
3945	Two-story	68	22		32%	1968	South of the Site
Average		61 lineal feet (LF)	20 lineal feet (LF)		39%		

**Note: Frontage measurement is for each side of the duplex.*

FIGURE 2: DUPLEX DEVELOPMENT NORTH OF SUBJECT SITE (4235 NE FRANKLIN)



FIGURE 3: MAP OF SURROUNDING PROPERTIES

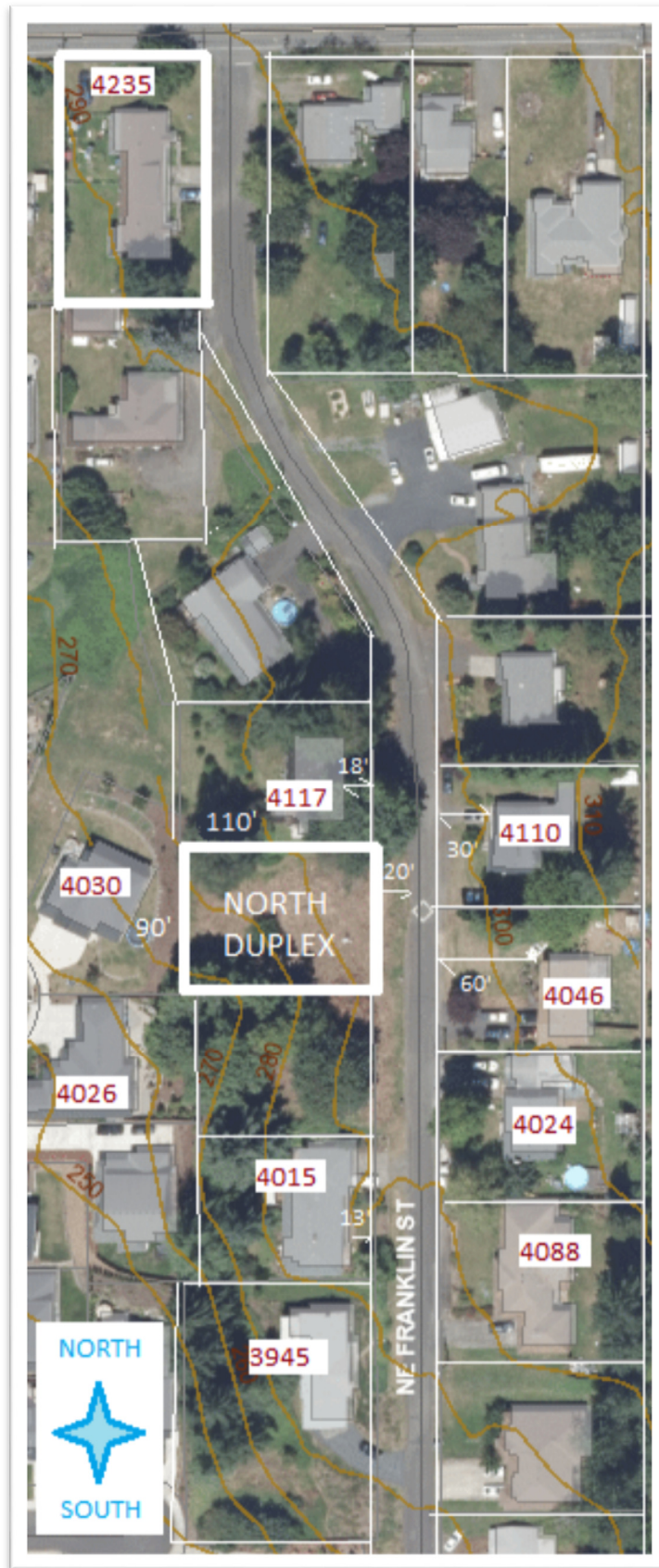


FIGURE 4: PHOTOS OF ADJACENT PROPERTIES



4117



4110



4046



4024



4030



4026



4015



3945

STERLING DESIGN, INC.

2208 E. Evergreen Blvd.

Vancouver, WA 98661

Ph. (360) 759-1794/ Fax: (360) 759-4983

Email: Joel@SterlingDesign.biz

TYPE III CONDITIONAL USE PERMIT

FRANKLIN DUPLEX NORTH

File PA 16-24

January 2017

Tax Lot 119 Serial Number 178211-000

**Located in a portion of the SW ¼ of Section 35, Township 2 North, Range 3
East, Willamette Meridian, Clark County, Washington.**

Owner:
Timber Grove LLC
1625 NW Ivy Street
Camas WA, 98607

Applicant/Contact Person: Joel Stirling
STERLING DESIGN, INC.
2208 E. Evergreen Blvd.
Vancouver, WA 98661
Ph. (360) 759-1794/ Fax: (360) 759-4983
Joel@SterlingDesign.biz

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I. Archaeological Pre-Determination Report

<p><u>TAB A.</u> APPLICATION FORM(S) & FEE(S)</p>



Community Development Department | Planning
616 NE Fourth Avenue | Camas, WA 98607
(360) 817-1568 | www.cityofcamas.us

General Application Form

Case Number:

Applicant Information

Applicant/Contact: Sterling Design, Inc. Phone: (360) 759-1794
Address: 2208 E. Evergreen Blvd. Joel@SterlingDesign.biz
Street Address E-mail Address
Vancouver WA 98661
City State ZIP Code

Property Information

Property Address: 4055 NE Franklin Street 178211-000
Street Address County Assessor # / Parcel #
Camas WA 98607
City State ZIP Code
Zoning District R-7.5 Site Size 0.25 acres

Description of Project

Brief description: Site plan approval to construct (1) Duplex structure on a 0.25 acre lot zoned R-7.5.

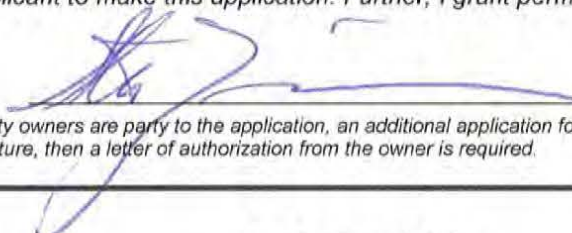
Are you requesting a consolidated review per CMC 18.55.020(B)? ☐ YES ☐ NO
Permits Requested: ☐ Type I ☐ Type II ☐ Type III ☐ Type IV, BOA, Other

Property Owner or Contract Purchaser

Owner's Name: Timber Grove LLC Phone: () Unavailable
Last First
Address: 1625 NW Ivy Street Camas, WA 98607
Street Address Apartment/Unit #
E mail Address: Unavailable
City State Zip

Signature

I authorize the applicant to make this application. Further, I grant permission for city staff to conduct site inspections of the property.

Signature: 

Date: 11-30-16

Note: If multiple property owners are party to the application, an additional application form must be signed by each owner. If it is impractical to obtain a property owner signature, then a letter of authorization from the owner is required.

Date Submitted: Pre-Application Date:

Staff: Related Cases #

Validation of Fees

Application Checklist and Fees [January 1, 2016]

◇ Annexation	\$260 - 10% petition; \$1,300 - 60% petition	001-00-345-890-00	\$
◇ Appeal Fee		001-00-345-810-00	\$350.00 \$
◇ Archaeological Review		001-00-345-810-00	\$120.00 \$ 120.00
◇ Binding Site Plan	\$1,650 + \$21 per unit	001-00-345-810-00	\$
◇ Boundary Line Adjustment		001-00-345-810-00	\$90.00 \$
◇ Comprehensive Plan Amendment		001-00-345-810-00	\$1,730.00 \$
◇ Conditional Use Permit			
Residential	\$3,000 + \$95 per unit	001-00-345-810-00	\$ 3,190
Non-Residential		001-00-345-810-00	\$3,800.00 \$
◇ Continuance of Public Hearing		001-00-345-810-00	\$300.00 \$
◇ Critical or Sensitive Areas (fee per type)		001-00-345-810-00	\$680.00 \$
(wetlands, steep slopes or potentially unstable soils, streams and watercourses, vegetation removal, wildlife habitat)			
◇ Design Review			
Minor		001-00-345-810-00	\$380.00 \$
Committee		001-00-345-810-00	\$1,750.00 \$
◇ Development Agreement	\$770 first hearing; \$300 ea. add'l hearing	001-00-345-810-00	\$
◇ Engineering Department Review			
Review Fee	3% of estimated construction costs	001.00.345.830.20	\$
Modification to Approved Construction Plans		001.00.345.810.00	\$370.00 \$
◇ Fire Department Review			
Short Plat or other Development Review		001-00-345-830-10	\$125.00 \$
Short Plat or other Development Inspection		001-00-322-110-00	\$125.00 \$
Subdivision or PRD Review		001-00-345-830-10	\$155.00 \$
Subdivision or PRD Inspection		001-00-322-110-00	\$155.00 \$
Site Plan Review		001-00-322-110-00	\$185.00 \$
Site Plan Inspection		001-00-322-110-00	\$185.00 \$
◇ *Fisher Basin storm development charge (See CMC 13.88.100)		419-00-379-000-00	\$
*For Final Plats within Fisher Basin, storm development fees due at time of final plat application			
◇ Home Occupation			
Minor - Notification (No fee)			\$0.00
Major		001-00-321-900-00	\$60.00 \$
◇ LI/BP Development	\$3800 + \$36.00 per 1000 sf of GFA	001-00-345-810-00	\$
◇ Minor Modifications to approved development		001-00-345-810-00	\$175.00 \$
◇ Planned Residential Development	\$30 per unit + subdivision fees	001-00-345-810-00	\$
◇ Plat, Preliminary			
Short Plat	4 lots or less: \$1700.00 per lot	001-00-345-810-00	\$
Short Plat	5 lots or more: \$6,300 + \$220 per lot	001-00-345-810-00	\$
Subdivision	\$6,300 + \$220 per lot	001-00-345-810-00	\$
◇ Plat, Final:			
Short Plat		001-00-345-810-00	\$175.00 \$
Subdivision		001-00-345-810-00	\$1,050.00 \$
◇ Plat Modification/Alteration		001-00-345-810-00	\$540.00 \$
◇ Pre-Application (Type III or IV Permits)			
No fee for Type I or II			
General		001-00-345-810-00	\$310.00 \$
Subdivision		001-00-345-810-00	\$800.00 \$
◇ SEPA		001-00-345-890-00	\$710.00 \$
◇ Shoreline Permit		001-00-345-890-00	\$770.00 \$
◇ Sign Permit			
General Sign Permit	(Exempt if building permit is required)	001.00.322.400.00	\$35.00 \$
Master Sign Permit		001.00.322.400.00	\$110.00 \$
◇ Site Plan Review			
Residential	\$1,010 + \$30 per unit	001-00-345-810-00	\$
Non-Residential	\$2,525 + \$60 per 1000 sf of GFA	001-00-345-810-00	\$
Mixed Residential/Non Residential		001-00-345-810-00	\$
\$3,560 + \$30 per res unit + \$60 per 1000 sf of GFA			
◇ Temporary Use Permit		001-00-321-990-00	\$70.00 \$
◇ Variance (Minor or Major)		001-00-345-810-00	\$610.00 \$
◇ Zone Change (single tract)		001-00-345-810-00	\$1,720.00 \$

Adopted by Res. 1023, Aug 2005; Revised by Res. 1113, Sept. 2007; Revised by Res. 1163, Oct. 2009; Revised by Res. 1204, Nov 2010

Revised by Res. 15-001 Jan 2015; Revised by Res. 15-007 May 2015; Revised by RES 15-018, Dec 2015

For office use only

Total Fees Due: \$ 3,310

TAB B.
PERMIT APPROVALS SOUGHT

- **GENERAL APPLICATION**
- **TYPE III – CONDITIONAL USE PERMIT**

TAB C.
MAILING LIST & LABELS WITHIN
300' RADIUS OF SITE

PID(s): 178211000 , 300 Foot Buffer

Locator



Legend

- Subject Property
- Buffer Selection
- Parcels
- Water Body
- Incorporated
- Urban Growth Area
- Unincorporated



Scale: 1:2,117

NOTE: This data is compiled from many sources and scales. Clark county makes this information available as a service, and accepts no responsibility for any inaccuracy, actual or implied.

GIS Order Number: 171156

Printed: 12/27/2016

Path: \\olympus\gis\programs\GISTools\Orders\Scripts\Development\MailingListPacket\xxPID_178211000_600831\MailingListPacket.mxd



Owner Name	Mailing Address
BECKER DAVID R JR & BECKER CAROLYN ETAL	23007 NE 179TH ST, BRUSH PRAIRIE, WA, 98606
BERG ROBERT L & BERG CAROL A	3945 NE FRANKLIN ST, CAMAS, WA, 98607
BERLINER AUBREY AARON III & BERLINER TERESA RENE A	54112 NW JACKSON LOOP, CAMAS, WA, 98607
BRUMBAUGH BERT C	4015 NE FRANKLIN ST, CAMAS, WA, 98607
CITY OF CAMAS	616 NE 4TH AVE, CAMAS, WA, 98607
COLLETT SHERRY A	4122 NE FRANKLIN ST, CAMAS, WA, 98607
DEP 2 LLC	PO BOX 805, CAMAS, WA, 98607
ENOS MATTHEW	642 NE 42ND CIR, CAMAS, WA, 98607
FAN ANDREW RUEY HONG	4175 NE EVERETT CT, CAMAS, WA, 98607
FORBES CORY W & FORBES STACEY	1276 ALMA LN, MECHANICSBURG, PA, 17055
FRENCH JUDITH C	4117 NE FRANKLIN ST, CAMAS, WA, 98607
GIBSON ROBIN C & GIBSON VICKIE A	107 SE 202ND AVE, CAMAS, WA, 98607
GMELIN FRANK & GMELIN MICHELLE	4001 NE EVERETT CT, CAMAS, WA, 98607
HAMMOND GREGORY S & HAMMOND DEADRA D	704 NE 42ND CIR, CAMAS, WA, 98607
HERBERT ARON M & SMITH MARIA G TRUSTESS	509 NE 39TH AVE, CAMAS, WA, 98607
HICKS ROBERT H JR & RHONDA L HICKS	4026 NE EVERETT CT, CAMAS, WA, 98607
HUANG MATTHEW M & HUANG GRACE CHIA-HUEI	17005 SE 16TH ST, VANCOUVER, WA, 98683
JESTER JEANETTE MARGARET	4211 NE FRANKLIN STREET, CAMAS, WA, 98607
KING TERRY & KING PATRICIA	4150 NE FRANKLIN ST, CAMAS, WA, 98607
LANGSTON LARRY W & LANGSTON LYNELLE E	4039 NE EVERETT CT, CAMAS, WA, 98607
MANISTIQUE LLC	13217 NW 30TH ST, VANCOUVER, WA, 98685
MAY RICHARD H II & MAY TARA Z	3942 NE EVERETT CT, CAMAS, WA, 98607
MCCOY SCOTT & MCCOY HOLLY	4231 Z ST, WASHOUGAL, WA, 98671
MOORE TIMOTHY S & MOORE CARMEN J	4030 NE EVERETT CT, CAMAS, WA, 98607
NILES GEOERL & NILES JULIANNE E	4024 NE FRANKLIN ST, CAMAS, WA, 98607
PARKER SCOTT M & PARKER TAMAR A	710 NE 42ND CIR, CAMAS, WA, 98607
PATRICIO PAMELA J & PATRICIO JAN C	5318 S PINEBROOK CT, SPOKANE, WA, 98206
POSNER ROBERT L & POSNER KATHRYN G TRUSTEES	10250 KAYLEN PL, BELLEVUE, WA, 98004
RENNER GERALD & RENNER NANCY	4230 NE FRANKLIN ST, CAMAS, WA, 98607
RHYASEN MICHAEL & RHYASEN MELISSA	4027 NE EVERETT CT, CAMAS, WA, 98607
RITCHIE DAVID	4033 NE EVERETT CT, CAMAS, WA, 98607
SHAHIDI JILLEEN L	4021 NE EVERETT CT, CAMAS, WA, 98607
SHEPLEY KRISTINA	4014 NE EVERETT CT, CAMAS, WA, 98607
SPENCER ROBERT L & SPENCER MEGAS K	4003 NE EVERETT CT, CAMAS, WA, 98607
STEELE GERALD K & STEELE LARHEA M	4046 NE FRANKLIN ST, CAMAS, WA, 98607
TIMBER GROVE LLC	1625 NW IVY ST, CAMAS, WA, 98607
TOTH KIM C & TOTH RODNEY C	1802 C ST APT 2, WASHOUGAL, WA, 98671
WATKINS MICAIAH D	4110 NE FRANKLIN ST, CAMAS, WA, 98607
WINTERS SANDRA	4015 NE EVERETT CT, CAMAS, WA, 98607

This document created by the Clark County,
Washington Geographic Information System

Number of records 39

Number of Pages 2

Date Created 12/27/11

Employee Signature 

Employee Name Bob Pool



Owner Name

Mailing Address

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WINTERS SANDRA
4015 NE EVERETT CT
CAMAS, WA 98607

TAB D.
NARRATIVE

CONDITIONAL USE PERMIT NARRATIVE:

The Franklin Duplex North proposal is to construct a Residential Duplex on one property of record, serial number: 178211-000, located in a portion of the SW ¼ quarter of Section 35, Township 2 North, Range 3 East of the Willamette Meridian, Clark County, Washington. The property is located within the R-7.5 zone standards and is currently vacant land heavily vegetated with blackberry bushes, a few trees, and other vegetation.

CMC18.43.050 – Approval Criteria

- A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;***

Response: The proposed duplex structure will not be materially detrimental to the public welfare and not injurious to the other properties in the vicinity of the property. There are a mix of housing types along NE Franklin Street already and another existing duplex located approximately 430 feet to the north at the intersection of NE Franklin Street and NE 43rd Avenue. Currently the property is overgrown with heavy vegetation with the majority of the vegetation being noxious weeds. Construction of a duplex on the property will clean up the property which will be beneficial to adjacent properties by eliminating a source of weed seeds along with eliminating a location where transients are able to utilize the dense vegetation as screening for illegal camping/occupations.

- B. The proposed use shall meet or exceed the development standards that are required in the zoning district in which the subject property is situated;***

Response: The lot size is 10,890 sq.ft. which exceeds the average lot size of 7,500 sq.ft. that is required within the R-7.5 zoning district. Since the lot is already existing, and no land division is proposed, exceeding the 7,500 sq.ft. lot size is not an issue. The property dimensions are within all of the minimum requirements of the R-7.5 zone. The proposed construction of the Residential Duplex will adhere to the setback requirements outlined within CMC18.09.040 – Table 2 which requires a minimum of a 20 foot Front Yard Setback, minimum 5 foot Side Yard Setbacks, and a 25 foot Rear Yard Setback. The Residential Duplex will be provided with either one (1), or two (2) separate sanitary sewer connections, along with two (2) separate water services as required by CMC17.19.020(C.)(2.)(b.) & CMC17.19.020(C.)(4.)(b.). Construction of the Residential Duplex will create less than 5,000 sq.ft. of new hard surfaces so no Stormwater Quality or Quantity Control Facilities are proposed as part of the project.

- C. The proposed use shall be compatible with the surrounding land uses in terms of traffic and pedestrian circulations, density, building, and site design;***

Response: The proposed Residential Duplex is compatible with the mix of surrounding single family homes that are near the property. There is also another existing Residential Duplex structure located approximately 430 feet to the north which further supports the capability of a Residential Duplex with the mix of existing homes located along NE Franklin Street. Traffic and pedestrian circulation comparisons between a

Residential Duplex and a Single Family Home are not significantly different and since there are no existing curbs or sidewalks along NE Franklin Street, none will be constructed as part of the Residential Duplex construction. This will further assure that the proposed use is compatible with the surrounding land uses. The proposed Residential Duplex will be designed to blend with the existing single family homes by providing more area for living space windows facing Franklin Street and a lesser percentage of garage door frontage. Yard areas will be maintained in grass and vegetation similar to the surrounding single family home uses.

D. Appropriate measures have been taken to minimize the possible adverse impacts that the proposed use may have on the area in which it is located;

Response: The proposed Residential Duplex will be designed to blend with the existing single family homes by providing more area for living space windows facing Franklin Street and a lesser percentage of garage door frontage. Yard areas will be maintained in grass and vegetation similar to the surrounding single family home uses. The Residential Duplex will provide housing that is similar to many of the smaller single family homes located near the property on NE Franklin Street and also similar to the existing Residential Duplex that is located approximately 500 feet to the north of the property. A decorative street tree will be planted within the front yard of the Residential Duplex to add to the character of NE Franklin Street and to provide for buffering of the new structure from the street.

E. The proposed use is consistent with the goals and policies expressed in the comprehensive plan;

Response: The proposed Residential Duplex will provide for much needed additional residential housing within the City of Camas. The Comprehensive Plan outlines the need for both additional single family housing and also a mix of other residential uses to meet the needs of a growing community. A Residential Duplex provides an alternative to a single family home that often time is more affordable and also requires less physical up-keep due to the yard areas being smaller then the standard single family home. In a time when many residents of the City of Camas are working longer hours to keep up with higher costs of living, a Residential Duplex meets both the need of more affordable housing and helps offset the amount of time that is needed to maintain the yard areas.

F. Any special conditions and criteria established for the proposed use have been satisfied. In granting a conditional use permit the hearings examiner may stipulate additional requirements to carry out the intent of the Camas Municipal Code and comprehensive plan.

Response: At this time there are no special conditions or criteria for the proposed use. If there are additional measures required by the hearings examiner, they will be implemented with the project as required.

Pre-Application Conference:

A Pre-Application Conference was held for the project on September 1, 2016 and the Pre-Application Report is included herein. The specific issues discussed in the conference are addressed further on within this document.

Sterling Design, Inc. has prepared a formal Site Plan Application packet for the Franklin Duplex South which includes the required submittal items listed within the City of Camas Code. An Archaeological Pre-Determination was completed on the property by Archaeological Services of Clark County and is included within the application materials. Copies of the Pre-Determination have been sent to the appropriate agencies for review and concurrence. No artifacts were discovered on the property.

All Building Division requirements will be met at the time that the building permit for the Residential Duplex is submitted for review and approval.

Sanitary sewer is located along the front of the property within NE Franklin Street and one (1), or two (2), sanitary sewer services will be extended to the Residential Duplex as required by CMC17.19.020(C.)(2.)(b.). The existing sanitary sewer system is identified by the City of Camas as being a 3" STEP/STEF system.

Water is also available within NE Franklin Street and two (2) water services will be provided to the Residential Duplex as required by CMC17.19.020(C.)(4.)(b.). The existing water system is identified by the City of Camas as being a 4" water line.

The project will create less than 5,000 sq.ft. of new hard surfaces therefore no Stormwater Quality or Quantity Control Facilities are proposed as part of the project.

The new Residential Duplex will be provided with Residential Fire Sprinklers as required by City of Camas Code.

The development of this site into a Residential Duplex will aid in meeting the zoning and comprehensive plan goals for the area. The development of this site will provide for a variety of building opportunities. The full build out of this development will provide housing consistent with the goals of the Growth Management Act and will provide housing that is compatible with the existing housing types located in the vicinity.

Applications submitted for this project:

- **General Application**
- **Conditional Use Permit**

Please review the enclosed data and contact us as soon as possible if you have any questions or need any additional data.

Thank you for your assistance,



Joel G. Stirling, P.E.
STERLING DESIGN, INC.

TAB E.
PRELIMINARY PLAN SET

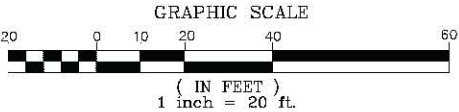
PRE APPLICATION:

• **PA16-24**

PERMITS REQUESTED:

- **CONDITIONAL USE PERMIT**
- **GENERAL APPLICATION**

TYPE II CONDITIONAL USE PERMIT



FRANKLIN DUPLEX

A Preliminary Site within
a portion of the SW 1/4
of Sec. 35, T2N., R3E., W.M.
Clark County, Washington



VICINITY MAP (NTS)

PROPERTY OWNER:
TIMBER GROVE LLC
1625 NW IVY STREET
CAMAS WA, 98607

CONTACT:
JOEL STIRLING
STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD.
VANCOUVER, WA 98661
PH.: (360) 759-1794
FAX: (360) 759-4983
EMAIL: Joel@SterlingDesign.biz

SITE INFORMATION:

- AREA: 0.25 ACRES
- TAX LOT: 119
- SERIAL NUMBER: 178211-000
- SITE ADDRESS: 4055 NE FRANKLIN ST, CAMAS, 98607
- ZONING: R-7.5
- COMPREHENSIVE PLAN: SFM

SHEET INDEX

COVER SHEET	1
EXISTING CONDITIONS PLAN	2
BOUNDARY SURVEY	3
SITE PLAN	4
GRADING & EROSION CONTROL PLAN	5
UTILITY CONNECTIONS PLAN	6
EXAMPLE RESIDENTIAL DUPLEX PLANS	7
DETAILS SHEET	8
DETAILS SHEET	9
DETAILS SHEET	10

CITY OF CAMAS

CITY ENGINEER		DATE	
REVISION NO.	SHEETS AFFECTED	INITIAL APPROVAL	DATE

SITE INFORMATION

ALIGNMENT & FIELD DATA:		MINISTER & GLASSER SURVEYING, INC. (360) 694-3313	
SOIL TYPE(s):	HYDROLOGIC GROUP: C	AASHTO CLASSIFICATION: A-7	Project Number: 708
SOILS TESTING BY:	DATE:	Design/ Drawn: JGS/BC	Drawing Date: JAN. 2017
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	FILENAME: S:\708-Prelim.pro	Sheet 1 of 10 Sheet(s)
SITE AREA: 0.25 ACRES			

NOTE:
Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.

PREPARED BY:
STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD
VANCOUVER, WA 98661
PH: (360) 759-1794
FAX: (360) 759-4983
mail@sterlingdesign.biz

**STERLING
DESIGN, INC.**

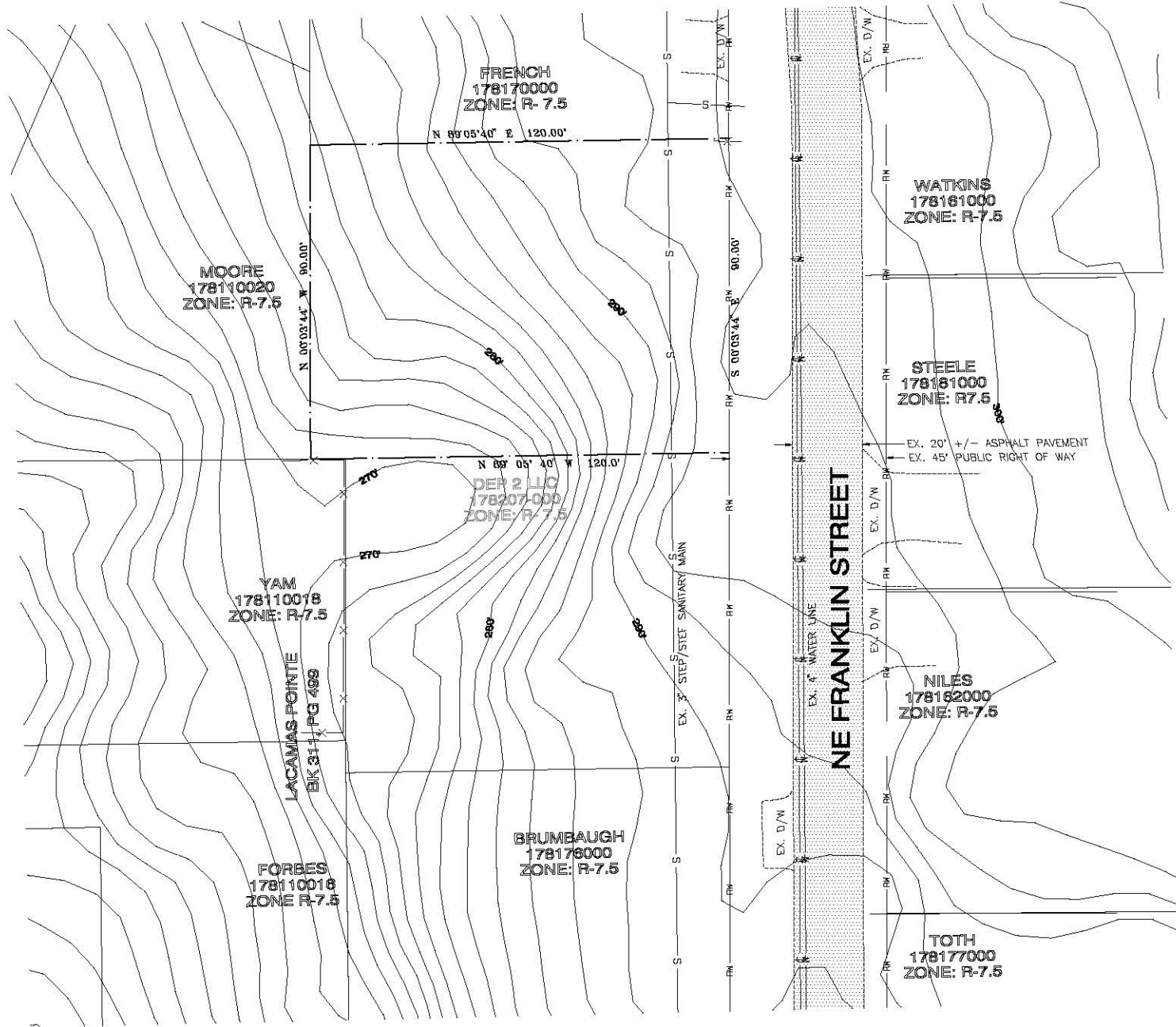
Sheet Description:
COVER SHEET

Project:
**FRANKLIN DUPLEX
NORTH**



Scale: AS SHOWN

REFER TO SHEETS 4 FOR
SITE SURVEY INFORMATION



DRY UTILITY NOTE:
POWER, CA TV AND OTHER FRANCHISE
UTILITIES ARE ON OVERHEAD LINES
ALONG THE EAST SIDE OF FRANKLIN ST.

NOTE:
Existing utilities shown are approximate only from utility
records and as visible at the site. Contractor shall verify
presence, location, depth & slope of any and all existing
utilities prior to construction. Contact One Call Concepts
at (800) 424-5555.

SITE INFORMATION

ALIGNMENT & FIELD DATA: MINISTER & GLAESER SURVEYING, INC. (360) 694-3313		Scale: AS SHOWN
SOIL TYPE(s): HcD & HcB	HYDROLOGIC GROUP: C	AASHTO CLASSIFICATION: A-7
SOLS TESTING BY: -	DATE: -	Project Number: 708
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	Design/ Drawn JGS/BC
SITE AREA: 0.25 ACRES	FILENAME: S:\708-Prelim.pro	Drawing Date: JAN. 2017
		Sheet 2 of 10 Sheet(s)



Project:

FRANKLIN DUPLEX
NORTH

Sheet Description:

EXISTING CONDITIONS
PLAN

STERLING
DESIGN, INC.

PREPARED BY:

STERLING DESIGN, INC.
2208 E EVERGREEN BLVD
VANCOUVER, WA 98681
TEL (360) 759-1794
FAX (360) 759-4993
mail@sterlingdesign.biz

SURVEY
IN A PORTION OF THE
SE 1/4 OF THE SW 1/4
OF SECTION 35
T. 2 N., R. 3 E., W. M.
CITY OF CAMAS
CLARK COUNTY, WASHINGTON

LEGEND:

- INDICATES 1/2" x 24" IRON ROD WITH "BETHJE 37535" CAP FOUND PER SURVEY REFERENCE #1
- ⊙ INDICATES 1/2" x 24" IRON ROD WITH "DENNY 32451" CAP SET
- () INDICATES RECORD DISTANCE
- X- INDICATES RIGHT-OF-WAY
- ASSR. NO. INDICATES ASSESSOR TAX IDENTIFICATION NUMBER

SURVEY REFERENCES:

- 1) LACAMAS POINTE BOOK 311, PAGE 499
- 2) TOWLE SURVEY BOOK 048, PAGE 068
- 3) TOWLE SURVEY BOOK 049, PAGE 168
- 4) LACAMAS SUMMIT PHASE 2 BOOK 310, PAGE 894

DEED REFERENCES:

ADDRESS: 4055 NE FRANKLIN ST.
GRANTOR: ROGER NEERLAND AND OLLIE NEERLAND
GRANTEE: DONALD GRAFTON AND JOY GRAFTON
AP NO.: 0 738295
DATE: 09-27-76

ADDRESS: 4033 NE FRANKLIN ST.
GRANTOR: RALPH LYNDEN JOHNSON
GRANTEE: DONALD GRAFTON AND JOY GRAFTON
AP NO.: 6738294
DATE: 09-27-76

NARRATIVE:

THE PURPOSE OF THIS SURVEY WAS TO MONUMENT THE PERIMETER BOUNDARIES OF PARCELS IDENTIFIED AS ASSR. NO.'S 17821000 & 178207000. I HELD SURVEY REFERENCE NO. 1 TO CONTROL THE BASIS OF BEARING AND THE WEST LINE OF SAID PARCELS. I HELD THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 35 TO CONTROL THE NORTHERLY DIRECTION OF THE DEED CALLS. THIS CORRESPONDS WITH AUDITOR'S FILE NO.'S 3386062, 8704300141 & 8610210062 RECORDS OF CLARK COUNTY, OF WHICH DEFINE THE LOCATION OF THE EAST LINE OF NE FRANKLIN STREET (FORMERLY KNOWN AS LAKEVIEW COUNTY ROAD) TO BE PARALLEL WITH SAID EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 35. I HELD THE EASTERLY & WESTERLY DIRECTION OF THE DEED CALLS TO BE PARALLEL WITH THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF SECTION 35.

AUDITOR'S CERTIFICATE

FILED FOR RECORD THIS 27 DAY OF July, 2016
AT 7:40 O'CLOCK PM, IN BOOK 65 OF SURVEYS,
AT PAGE 165
AT THE REQUEST OF MINISTER AND GLAESER SURVEYING INC.

John B. ...
DEPUTY/COUNTY AUDITOR

SURVEYOR'S CERTIFICATE

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF DAVE GALANTER, IN JUNE 2016.

Edmund Denny Jr. 2-25-2016
EDMUND DENNY, JR., PROFESSIONAL LAND SURVEYOR, LS# 32451

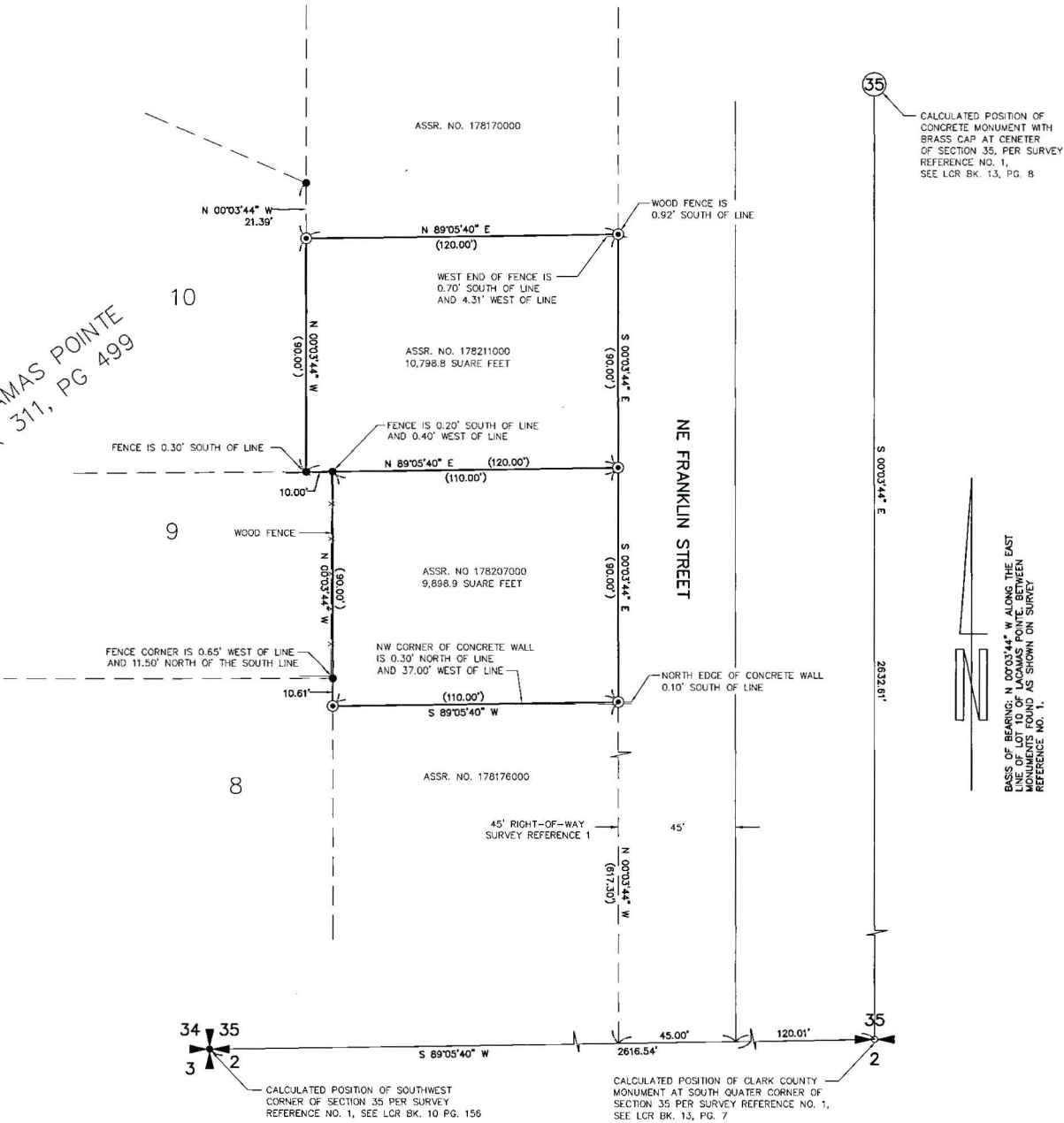


**MINISTER-GLAESER
SURVEYING INC.**
2200 E. EVERGREEN BLVD.
VANCOUVER, WA 98661
(360) 694-3313

SCALE: 1"=30'
JOB NO. 16-318
DATE: 07-25-16
CALC BY: ED
DRAWN BY: ED
CHECKED BY: ED
SHEET 1 OF 1

65-165

LACAMAS POINTE
BK 311, PG 499



BASE OF BEARING: N 00°03'44\" W ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 35. MONUMENTS FOUND AS SHOWN ON SURVEY REFERENCE NO. 1.

MINISTER AND GLAESER SURVEYING, INC. MAKES NO WARRANTIES AS TO MATTERS OF UNWRITTEN TITLE SUCH AS ADVERSE POSSESSION, ACQUESCENCE, ESTOPPLE, ETC.

A FIELD TRAVERSE WAS PERFORMED USING A ONE SECOND TOTAL STATION. THE FIELD TRAVERSE MET THE MINIMUM STANDARDS FOR SURVEYS AS DESIGNATED IN WAC 332-130-090. ALL CORNERS NOTED AS FOUND WERE VISITED ON 06-30-16.

SCALE 1 INCH = 30 FEET



PRELIMINARY SITE INFORMATION
GENERAL INFORMATION

- APPLICANT/CONTACT:
JOEL STIRLING
2208 E. EVERGREEN BLVD.
VANCOUVER, WA 98661
PH. (360) 759-1794
JOEL@STERLINGDESIGN.BIZ
- PROPERTY OWNER:
TIMBER GROVE LLC
1625 NW IVY STREET
CAMAS WA, 98607
AREA: 0.25 ACRES
- TAX LOT: 119
- SERIAL NUMBER: 178211-000
- SITE ADDRESS: 4055 NE FRANKLIN STREET, CAMAS, 98607
- ZONING: R-7.5
- COMPREHENSIVE PLAN: SFM

EXISTING CONDITIONS (REFER TO SHEETS 2 & 3)

- Environmental**
 - TOPOGRAPHY IS SHOWN ON THE PROPOSED DEVELOPMENT PLAN.
 - THERE ARE NO SITE WATERCOURSES (STREAMS, RIVERS, ETC) OR AREAS PRONE TO FLOODING AS SHOWN.
 - THERE ARE NO FEMA DESIGNATED FLOODPLAINS, FLOOD FRINGE, OR FLOODWAYS ON THE SITE.
 - THERE ARE NO DESIGNATED SHORELINE AREAS ON THE SITE.
 - THERE ARE NO WATER BODIES OR WETLANDS ON THE SITE.
 - THERE ARE NO WETLAND DELINEATION AREAS ON THE SITE.
 - THERE ARE UNSTABLE SLOPES OR LANDSLIDE HAZARD AREAS ON THE SITE PER CLARK COUNTY MAPS ONLINE.
 - THERE ARE NO KNOWN RIPARIAN HABITAT AND OR VEGETATION BUFFERS ON THE SITE. (SEE REPORT BY CASCADIA ECOLOGICAL LAND SERVICES)
 - THERE ARE NO KNOWN SIGNIFICANT HISTORIC, CULTURAL OR ARCHAEOLOGICAL RESOURCES ON THE SITE.
- Land Use and Transportation**
 - THE PROPOSED SITE AREA IS APPROX. 0.23 ACRES. THE LAYOUT AND DIMENSIONS OF EXISTING PARCEL ARE SHOWN.
 - THERE ARE EXISTING STRUCTURES ON THE SITE.
 - EXISTING ACCESS, DRAINAGE & UTILITY EASEMENT LOCATIONS & WIDTHS ARE AS SHOWN.
 - NAME, LOCATION & WIDTH OF EXISTING RIGHT OF WAY IS SHOWN.
 - LOCATIONS & DIMENSIONS OF CENTERLINE & RIGHT-OF-WAY FOR NW 10th AVE. ARE SHOWN.
 - NAME, LOCATION, WIDTH & SURFACING MATERIAL OF ROADWAY & EASEMENTS AND WHETHER PUBLIC OR PRIVATE ARE SHOWN.
 - LOCATION OF EXISTING DRIVEWAYS ALONG NW 10th AVE ARE SHOWN.
 - LOCATION & WIDTH OF PEDESTRIAN & BICYCLE FACILITIES WITHIN 100' OF THE SITE ARE AS SHOWN.
 - THERE ARE NO TRANSIT ROUTES & STOPS WITHIN 600' OF THE DEVELOPMENT SITE. (PER THE GIS PACKET)

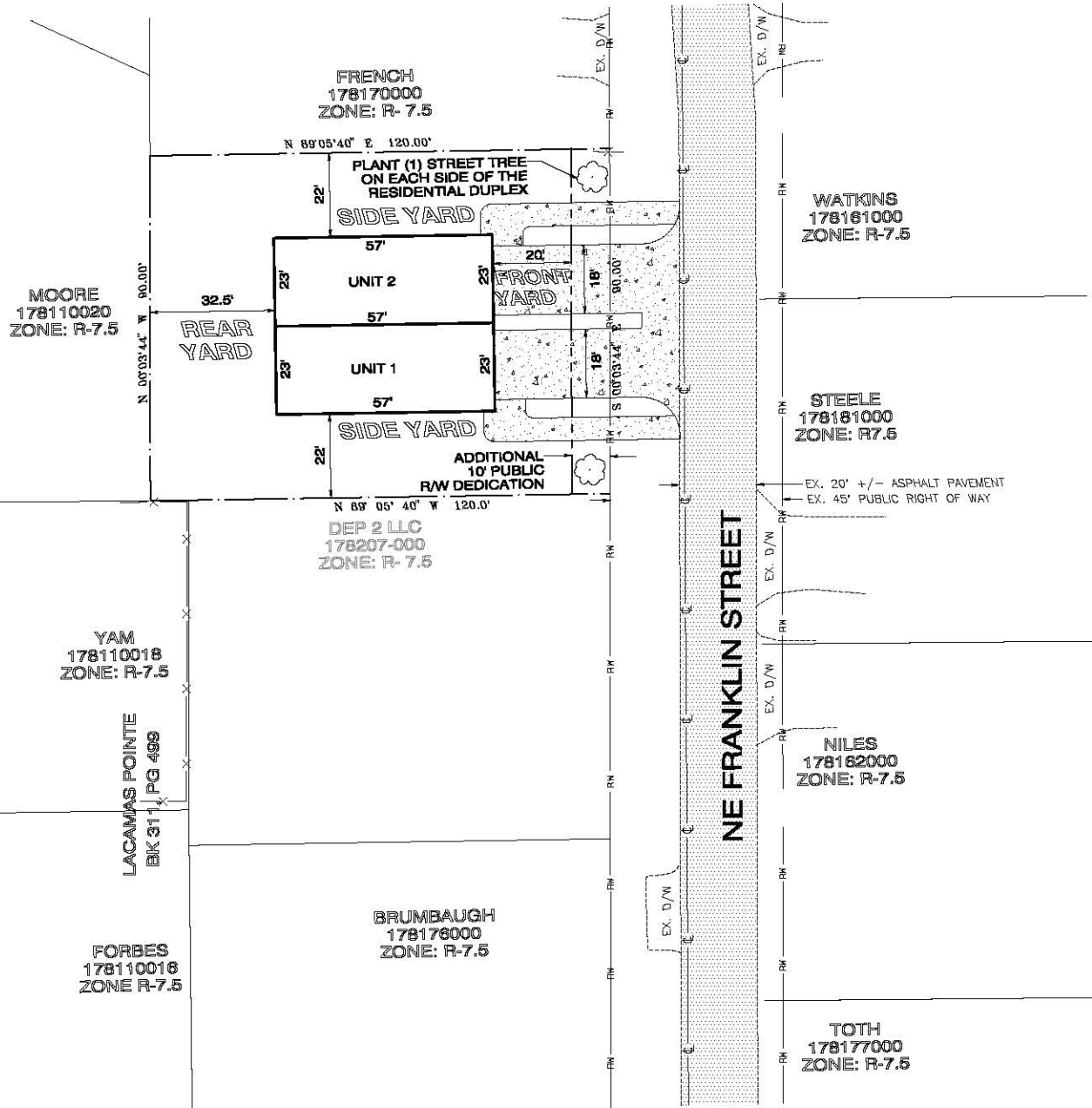
- Water and Sewer**
 - THE NEAREST EXISTING FIRE HYDRANTS TO THE SITE ARE SHOWN.
 - THERE ARE NO KNOWN SEPTIC SYSTEM(S) OR WELL(S) ON THIS SITE.

PROPOSED IMPROVEMENTS

- Environmental**
 - THERE ARE NO WETLANDS, STEEP SLOPE BUFFER AREAS/PROTECTED AREAS, OR PLANNED ENHANCEMENT AREAS LOCATED ON THE PORTION OF THE SITE WHERE NEW HOMES WILL BE CONSTRUCTED.
 - PLANTING & BUFFER ENHANCEMENT WILL OCCUR WITHIN PRIVATE TRACTS.
- Land Use and Transportation**
 - THE CONFIGURATION & DIMENSIONS OF BOUNDARIES, PROPOSED LOTS, DRAINAGE TRACTS & EASEMENTS ARE SHOWN ON THE PLAN. THERE ARE NO PARKS OR OPEN SPACES PROPOSED AS PART OF THE SHORT PLAT.
 - DIMENSIONS OF ALL PROPOSED EASEMENTS ARE SHOWN ON PLAN.
 - THERE ARE EXISTING STRUCTURES ON THE SITE THAT WILL REMAIN.
 - ALL LOCATIONS AND DIMENSIONS OF ROAD RIGHT-OF-WAYS OR ADJACENT TO THE SITE ARE SHOWN ON THE PLAN.
 - PEDESTRIAN FACILITIES ARE NOT PROPOSED WITH THIS PROJECT.
 - THERE ARE NO TRANSIT ROUTES FRONTING THE SITE.

TABLE 18.09.040	
BUILDING SETBACKS:	
FRONT:	20'
SIDE STREET:	20'
SIDE INTERIOR:	5'
REAR:	25'
MAX. LOT COVERAGE:	40%
MAX. BLDG. HEIGHT:	35'

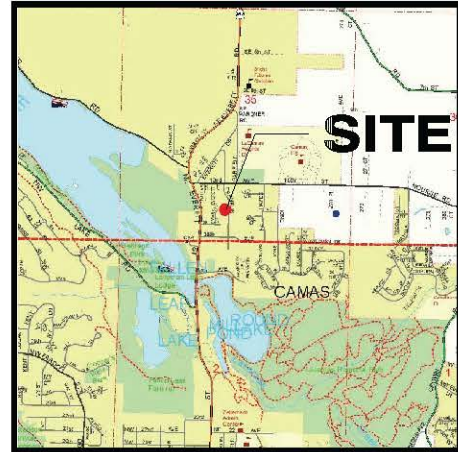
DUPLEX DWELLING WILL BE SUBJECT TO THE PAYMENT OF APPROPRIATE IMPACT FEES AT THE TIME OF BUILDING PERMIT ISSUANCE



BUILDING FOOTPRINT NOTE:
THE RESIDENTIAL DUPLEX BUILDING FOOT PRINT SHOWN IS FOR THE PURPOSES OF APPROVAL OF THE CONDITIONAL USE PERMIT. ACTUAL BUILDING PLANS MAY CHANGE DURING BUILDING PERMIT SUBMITTAL AND REVIEW TO BETTER FIT WITH CITY OF CAMAS COMPATIBILITY STANDARDS. THE PROPOSED RESIDENTIAL DUPLEX WILL MEET ALL APPLICABLE SETBACK AND LOT COVERAGE REQUIREMENTS OF THE CITY OF CAMAS CODE.

NOTE:
Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.

FRANKLIN DUPLEX
A Preliminary Site within a portion of the SW 1/4 of Sec. 35, T2N., R3E., W.M. Clark County, Washington



VICINITY MAP (NTS)

PREPARED BY:

STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD
VANCOUVER, WA 98661
PH. (360) 759-1794
FAX (360) 759-4983
mail@sterlingdesign.biz

STERLING DESIGN, INC.

PRELIMINARY SITE PLAN

FRANKLIN DUPLEX NORTH



SITE INFORMATION

ALIGNMENT & FIELD DATA MINISTER & GLAESER SURVEYING, INC. (360) 694-3313		Scale: AS SHOWN
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294'	Project Number: 708
SITE AREA: 0.25 ACRES	FILENAME: S:\708-Prelim.pro	Design/Drawn: JGS/BC
		Drawing Date: JAN. 2017
		Sheet 4 of 10 Sheet(s)

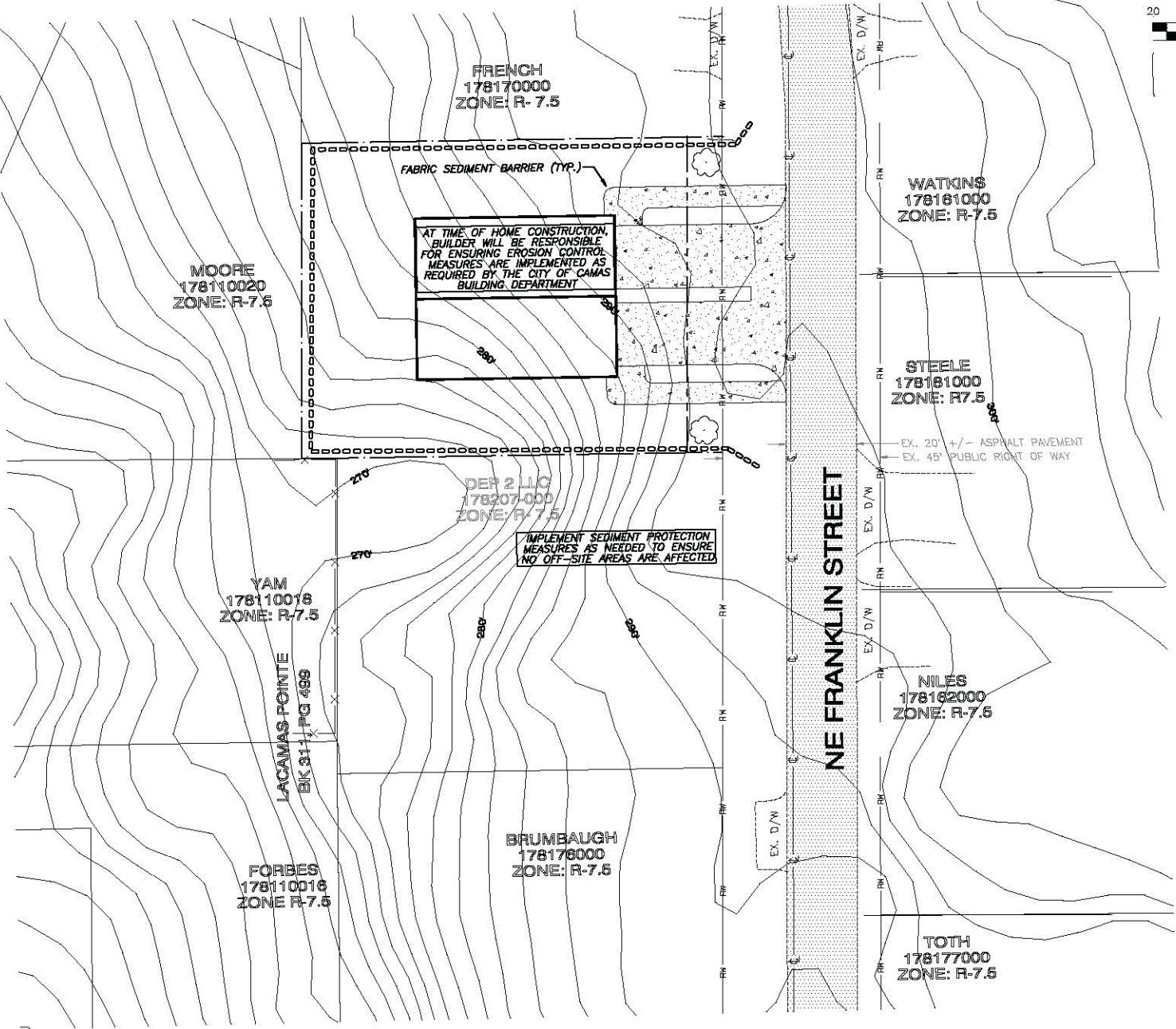
EROSION/SEDIMENT CONTROL NOTES:

1. THE EROSION/SEDIMENT CONTROL (ESC) PLAN IS TO BE UTILIZED AS A GUIDE TO CONTROL THE TRANSPORT OF LOOSE SOILS TO THE PROPERTY OUTSIDE OF THE CONSTRUCTION AREA AND AROUND THE CONSTRUCTION SITE. THE ESC MEASURES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DOES NOT LEAVE THE SITE.
2. THE IMPLEMENTATION OF THE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADE OF THE ESC MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND PERMANENT VEGETATION/LANDSCAPING IS ESTABLISHED.
3. IF THE CITY INSPECTOR OR ENGINEER(S) HAS EVIDENCE OF POOR CONSTRUCTION PRACTICES OR EROSION CONTROL TECHNIQUES, A STOP WORK ORDER SHALL BE ISSUED UNTIL PROPER MEASURES HAVE BEEN TAKEN AND APPROVED BY THE CITY ENGINEERING STAFF.
4. THE CONTRACTORS SHALL BE RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH THE CITY OF CAMAS EROSION/SEDIMENT CONTROL HANDBOOK AND THE STORMWATER MANUAL IN WASHINGTON STATE (LATEST EDITION), VOL. II.
5. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND IN WORKING CONDITION PRIOR TO DISTURBING AND EXPOSING ANY SOIL SURFACES (I.E. CONSTRUCTION ENTRANCES, FILTER FABRIC/STRAWBALE SEDIMENT BARRIERS, AND SEDIMENTATION TRAPS) AND MAINTAINED FOR THE DURATION OF THE PROJECT. TRAPPED SEDIMENT IN EXCESS OF 1 FOOT SHALL BE REMOVED OR STABILIZED ON-SITE. DISTURBED SOIL AREAS RESULTING FROM VEGETATION REMOVAL SHALL BE PERMANENTLY STABILIZED. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
6. TO MINIMIZE EROSION AND SEDIMENTATION TRANSPORTATION, EARTHWORK SHALL NOT BE PERFORMED WHILE SOILS ARE MORE THAN 5% ABOVE OPTIMUM MOISTURE CONTENT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE CLEARING LIMITS AND/OR ANY EASEMENTS, SENSITIVE OR CRITICAL AREAS, AND THEIR BUFFERS, TREES, AND DRAINAGE COURSES FLAGGED PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. FLAGGING LIMITS ARE TO BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
8. REMOVE ONLY THOSE TREES AND SHRUBS THAT NEED TO BE REMOVED FOR THE CONSTRUCTION OF ROADS, SIDEWALKS, UTILITIES, GRADING LIMITS AND STORMWATER FACILITIES.
9. ALL ROAD EXISTING AND NEWLY CONSTRUCTED CATCH BASINS OR CURB INLETS AFFECTED BY CONSTRUCTION SHALL BE PROTECTED AGAINST SEDIMENT DEPOSITS. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
10. ALL POLLUTANTS THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER SYSTEM.
11. ALL DISTURBED SOIL SURFACES ARE TO BE STABILIZED BY A SUITABLE APPLICATION OF BEST MANAGEMENT PRACTICES. NO SOILS SHALL REMAIN UNSTABILIZED FOR MORE THAN TWO DAYS DURING THE PERIOD OF OCTOBER 1 THRU JULY 5. FROM JULY 5 THRU OCTOBER 1, NO SOIL SHALL REMAIN UNSTABILIZED FOR MORE THAN 7 DAYS. STABILIZATION OF DISTURBED SOIL AREAS CAN CONSIST OF HYDROSEEDING OR HAND-SEEDING, MULCHING, PLACEMENT OF EROSION CONTROL BLANKETS OR PLASTIC. ALL SEEDING AREAS ARE TO BE FERTILIZED, WATERED, AND MAINTAINED TO ENSURE THAT THE REGROWTH OF VEGETATION IS AS SOON AS POSSIBLE.
12. ALL TEMPORARY SEDIMENT AND EROSION CONTROL BMP'S SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMP'S ARE NO LONGER NEEDED.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POLICING THE JOB SITE DAILY AND MAINTAINING THE EROSION/SEDIMENT CONTROL MEASURES THROUGHOUT ALL PHASES OF CONSTRUCTION. AN INSPECTION LOG SHALL BE KEPT AND MADE AVAILABLE TO THE CITY OF CAMAS. THE POLICING AND MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO:
 - VERIFYING THAT ALL AREAS ARE GRADED SUCH THAT ALL RUNOFF IS DIRECTED TO A SEDIMENTATION DEVICE BEFORE DISCHARGE TO SURFACE.
 - REMOVAL OF TRAPPED SILT AT SILT BARRIERS, SILT TRAPS, OR POINTS OF ACCUMULATION.
 - ADDITIONAL PROTECTIVE MEASURES DUE TO JOB SITE OR WEATHER CONDITIONS AS REQUIRED BY CITY OF CAMAS WATER QUALITY.
 - MONITORING OF VEHICLES LEAVING THE SITE TO MINIMIZE TRANSMISSION OF LOOSE SOILS TO THE PUBLIC ROADWAYS.
 - PLACING OF THE STRAWBALE SEDIMENTATION BARRIER AT THE ENTRANCE DURING PRECIPITATION OR AT THE END OF THE WORKDAY BEFORE LEAVING THE SITE.
 - VERIFY THAT ALL PROPERTIES ADJACENT TO THE PROJECT SITE ARE PROTECTED FROM SEDIMENTATION DEPOSITION. THIS MAY BE ACCOMPLISHED BY INSTALLING PERMETER CONTROLS SUCH AS SEDIMENTATION BARRIERS, FILTERS OR DIKES, SEDIMENTATION BASINS/TRAPS, OR BY A COMBINATION OF SUCH MEASURES.
14. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES SHALL BE STABILIZED IN ACCORDANCE WITH EROSION/SEDIMENT CONTROL NOTE 11. SLOPES FOUND TO BE ERODING EXCESSIVELY WITHIN TWO YEARS OF CONSTRUCTION MUST BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES. THESE MEASURES MAY CONSIST OF ROUGHENED SOIL SURFACES, INTERCEPTORS, DIVERSIONS OR TERRACES, TEMPORARY OR PERMANENT CHANNELS, ADDITIONAL VEGETATION, OR PIPE SLOPE DRAINS AS REQUIRED BY CITY OF CAMAS WATER QUALITY UNTIL THE PROBLEM IS CORRECTED.
15. THE ESC MEASURES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING A STORM EVENT.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING UNDERGROUND UTILITIES AS SPECIFIED BELOW:
 - WHERE FEASIBLE, NO MORE THAN 500 FEET OF TRENCH SHALL BE OPEN AT ONE TIME.
 - WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - TRENCH DE-WATER DEVICES SHALL DISCHARGE INTO A SEDIMENT TRAP OR SEDIMENT POND.
17. CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER DURING ALL GRADING ACTIVITIES FOR FIELD VERIFICATION OF FILL PLACEMENT AND SITE SPECIFIC GRADING RECOMMENDATIONS. CONTRACTOR SHALL PROVIDE WRITTEN DOCUMENTATION FROM GEOTECHNICAL ENGINEER, FOR STRUCTURAL FILLS PRIOR TO ACCEPTANCE OF PROJECT BY CITY OF CAMAS.
18. SLOPES SHALL BE HYDRO-SEEDED AS SOON AS PROPOSED GRADES ARE ESTABLISHED. CONTRACTOR TO PREPARE SLOPES FOR SEED BY "TRACKING" SLOPES AS PER ATTACHED DETAIL.

EROSION PROTECTION SHALL BE PLACED ON ALL OFFSITE STORM STRUCTURES DOWNSTREAM OF THE SITE OR AS WILL BE AFFECTED BY SITE CONSTRUCTION (TYP.)

MINIMAL GROUND DISTURBANCE WILL TAKE PLACE ON THE PROPERTY AS PART OF THE RESIDENTIAL DUPLEX CONSTRUCTION AND WILL BE LIMITED TO THE MINIMUM REQUIRED FOR FOUNDATION INSTALLATION, DRIVEWAY CONSTRUCTION AND YARD CONTOURING.

IN THE EVENT THAT ANY ITEM OF ARCHAEOLOGICAL INTEREST IS UNCOVERED DURING THE COURSE OF A PERMITTED GROUND DISTURBING ACTION OR ACTIVITY, ALL GROUND DISTURBING ACTIVITIES SHALL IMMEDIATELY CEASE AND THE APPLICANT SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AND DAHP



NOTE:
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SITE INFORMATION

ALIGNMENT & FIELD DATA		MINISTER & GLAESER SURVEYING, INC. (360) 694-3313		Scale: AS SHOWN
SOL TYPE(s):	HYDROLOGIC GROUP:	AASHTO CLASSIFICATION:	DATE:	Project Number: 708
HeD & HeB	C	A-7		Design/Drawn: JGS/BC
SOLS TESTING BY:				Drawing Date: JAN. 2017
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV:	270'-294"		Sheet 5 of 10 Sheet(s)
SITE AREA: 0.25 ACRES	FILENAME: S:\708-Prelim.pro			

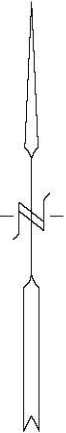
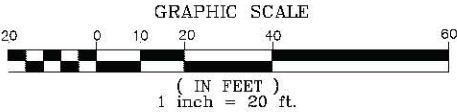
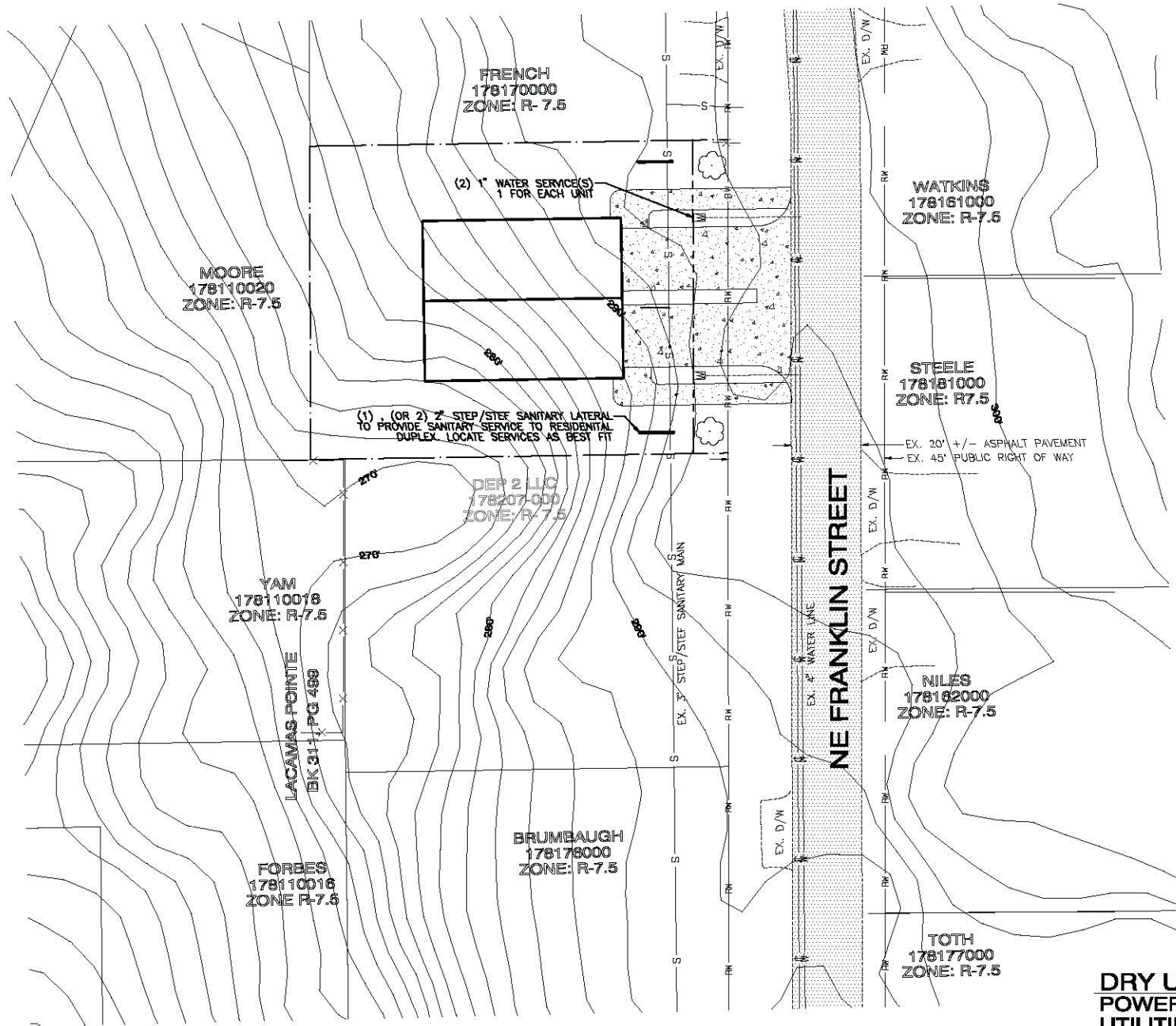
PREPARED BY:
STERLING DESIGN, INC.
2209 E EVERGREEN BLVD
VANCOUVER, WA 98681
TEL (360) 759-1794
FAX (360) 759-4993
mailto:sterlingdesign.biz

STERLING
DESIGN, INC.

Sheet Description:
GRADING & EROSION
CONTROL PLAN

Project:
FRANKLIN DUPLEX
NORTH





UTILITY NOTE(S)
RESIDENTIAL DUPLEX
WILL BE PROVIDED WITH:
1 (OR 2) - 6" SANITARY LATERAL
2- 1" WATER SERVICES

UTILITIES WILL BE INSTALLED IN
ACCORDANCE TO CITY OF CAMAS
STANDARDS

RESIDENTIAL FIRE SPRINKLERS ARE REQUIRED
PER NFPA 13D GUIDELINES AND CAMAS FMO

NOTE:
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DRY UTILITY NOTE:
POWER, CA TV AND OTHER FRANCHISE
UTILITIES ARE ON OVERHEAD LINES
ALONG THE EAST SIDE OF FRANKLIN ST.

SITE INFORMATION

ALIGNMENT & FIELD DATA: MINISTER & GLAESER SURVEYING, INC. (360) 694-3313		Scale: AS SHOWN
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	Project Number: 708
SITE AREA: 0.25 ACRES	FILENAME: S:\708-Prelim.pro	Design/Drawn: JGS/BC
DATE: 1/18/17		Drawing Date: JAN. 2017
SHEET 6 OF 10 SHEET(S)		

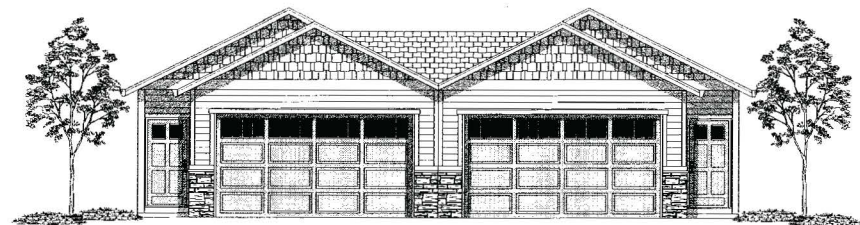
PREPARED BY:
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VANCOUVER, WA 98681
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FAX (360) 759-4993
mail@sterlingdesign.biz

STERLING
DESIGN, INC.

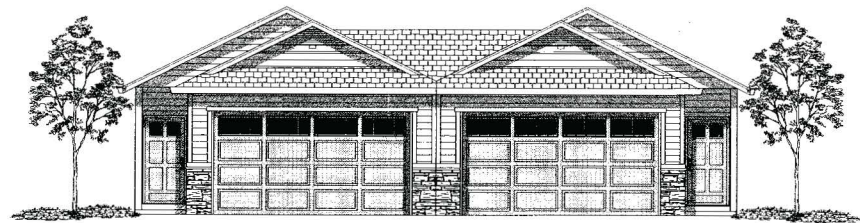
UTILITY CONNECTIONS PLAN

FRANKLIN DUPLEX
NORTH

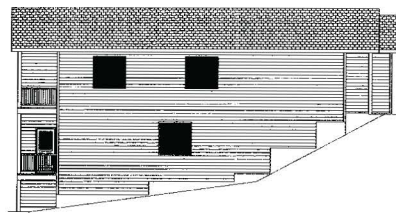




FRONT ELEVATION A
SCALE 1/8" = 1'-0"



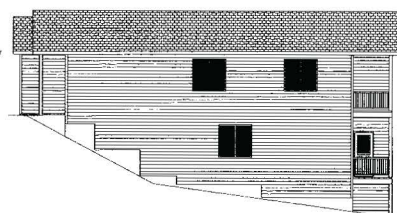
FRONT ELEVATION B
SCALE 1/8" = 1'-0"



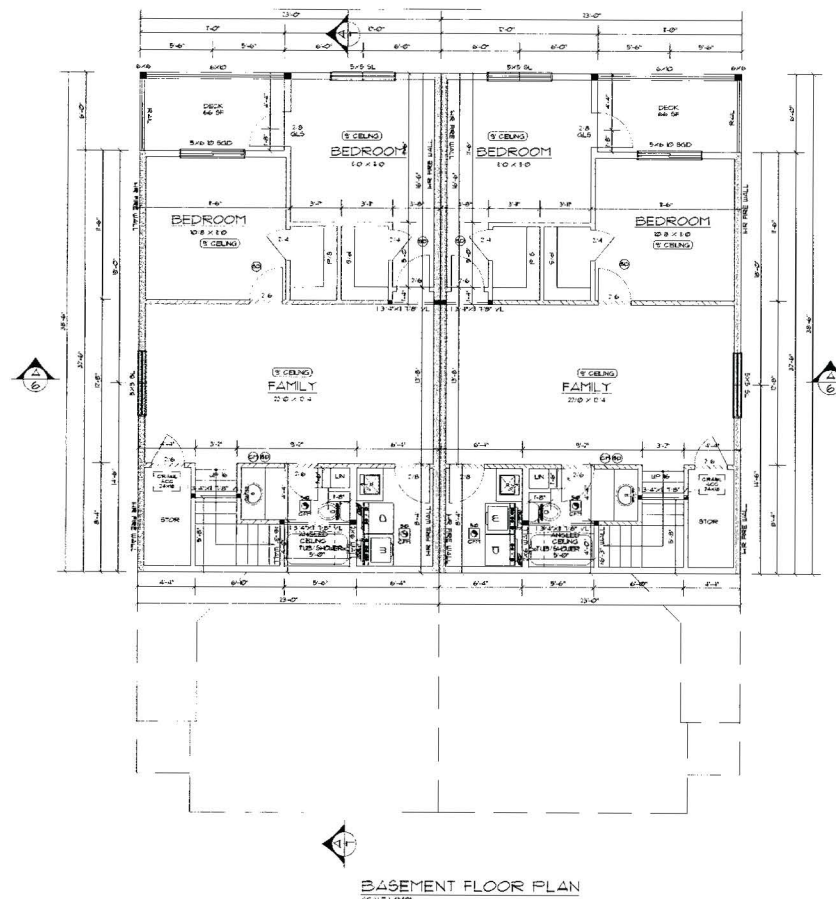
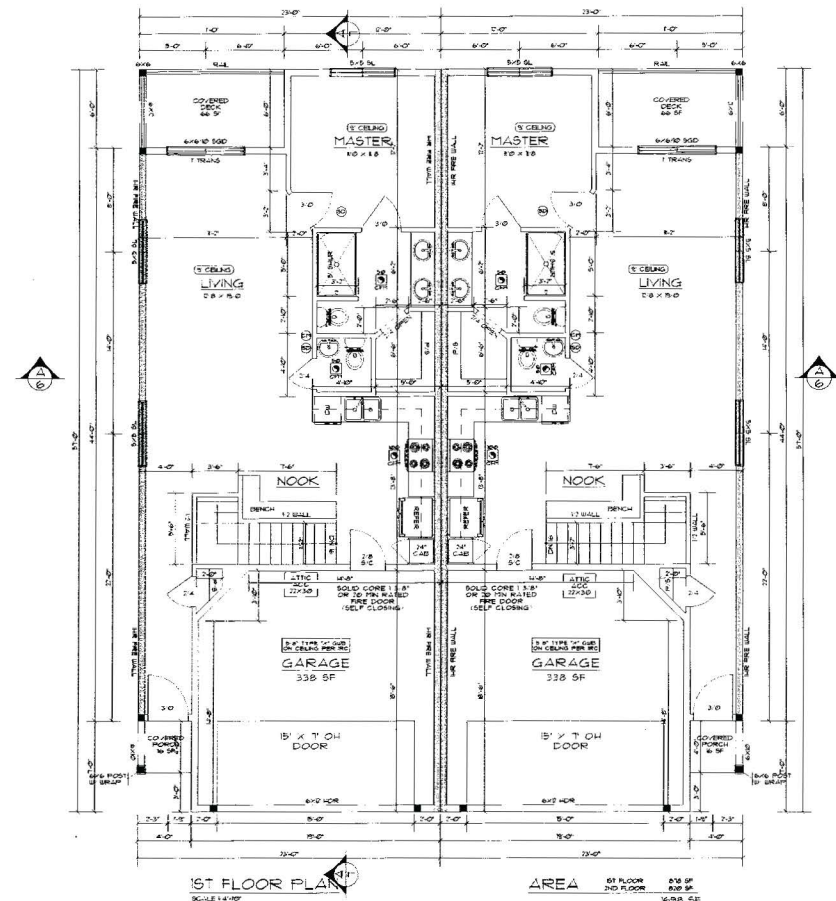
LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"



REAR ELEVATION
SCALE 1/8" = 1'-0"



RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"



SITE INFORMATION

ALIGNMENT & FIELD DATA: MINISTER & GLAESER SURVEYING, INC. (360) 894-3313		Scale: AS SHOWN
SOIL TYPE(S): HeD & HeB	HYDROLOGIC GROUP: C AASHTO CLASSIFICATION: A-7	Project Number: 708
SOILS TESTING BY:	DATE:	Design/Drawn: JGS/BC
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	Drawing Date: JAN. 2017
SITE AREA:	FILENAME: S:\708-Prelim.pro	Sheet 7 of 10 Sheet(s)

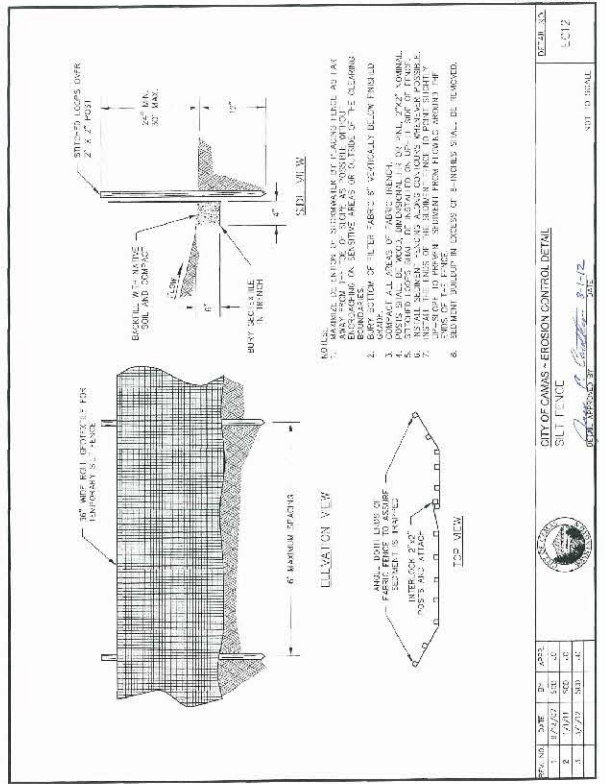
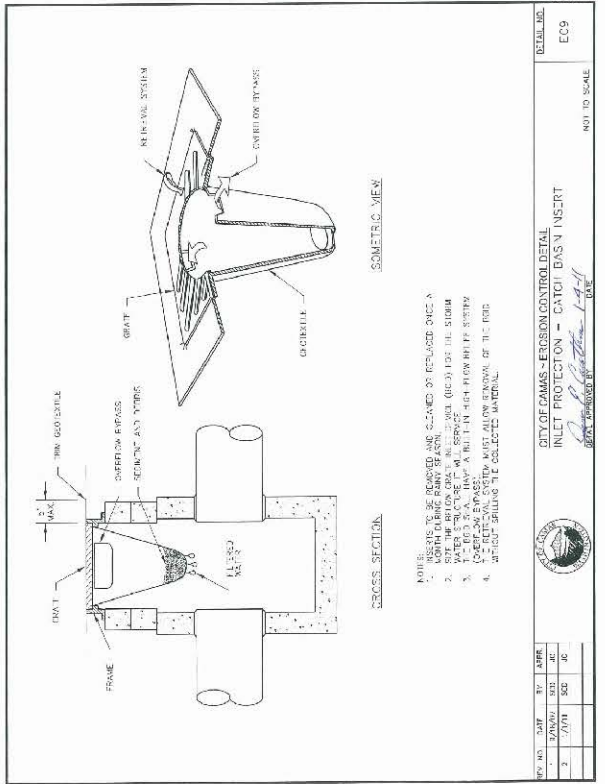
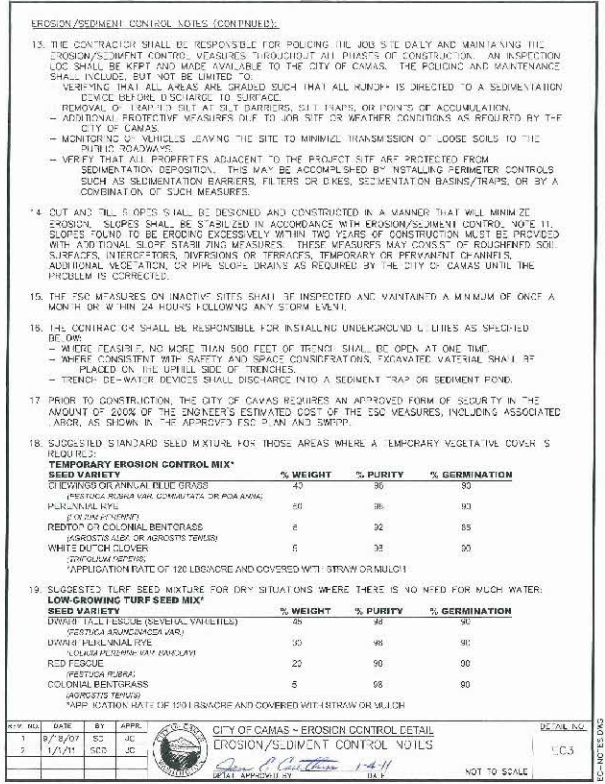
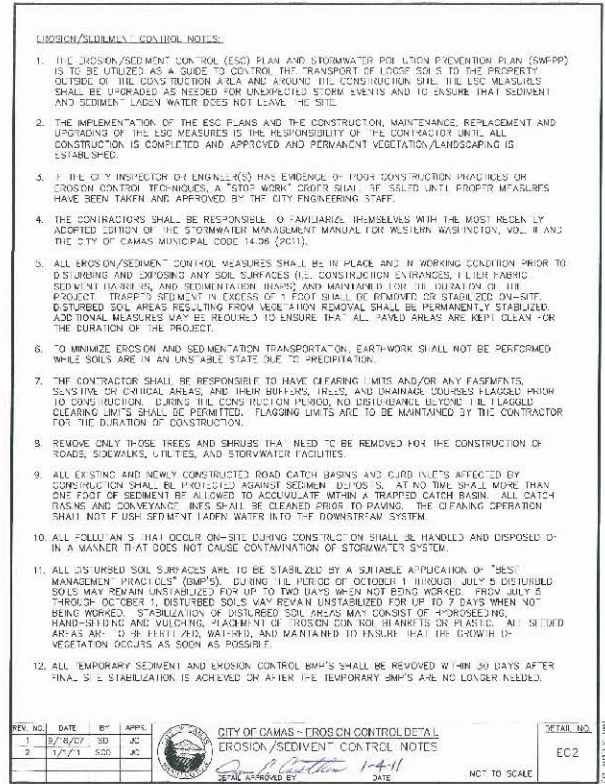
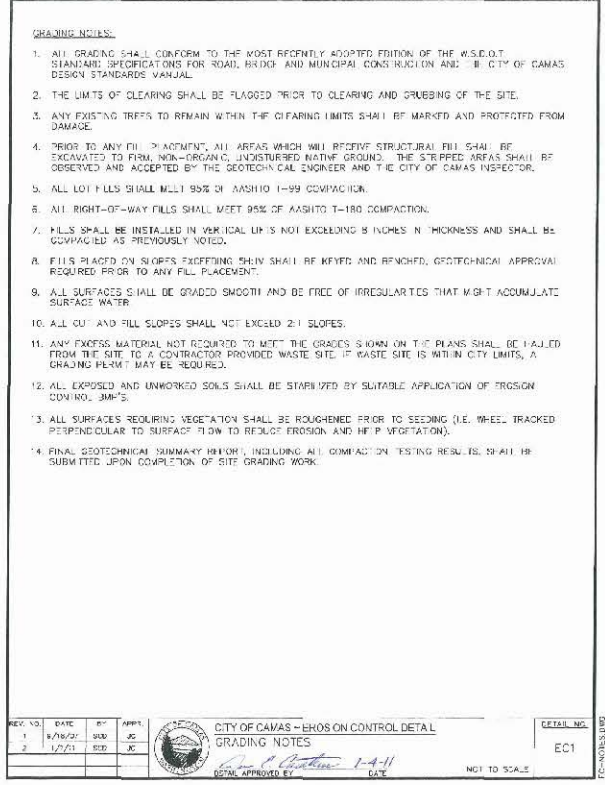
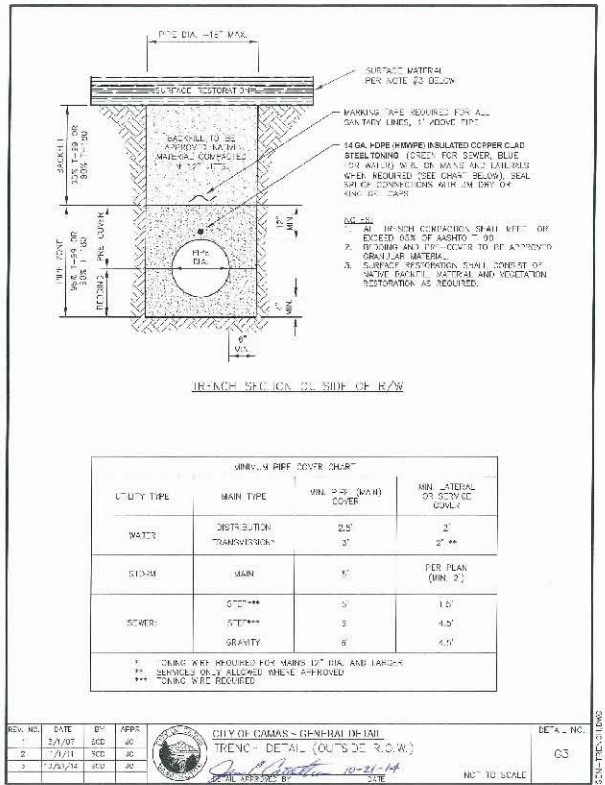
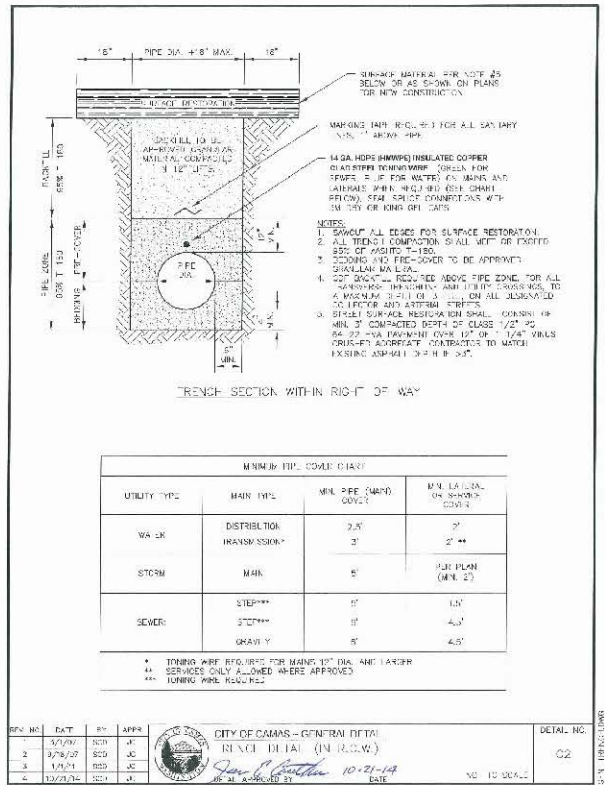
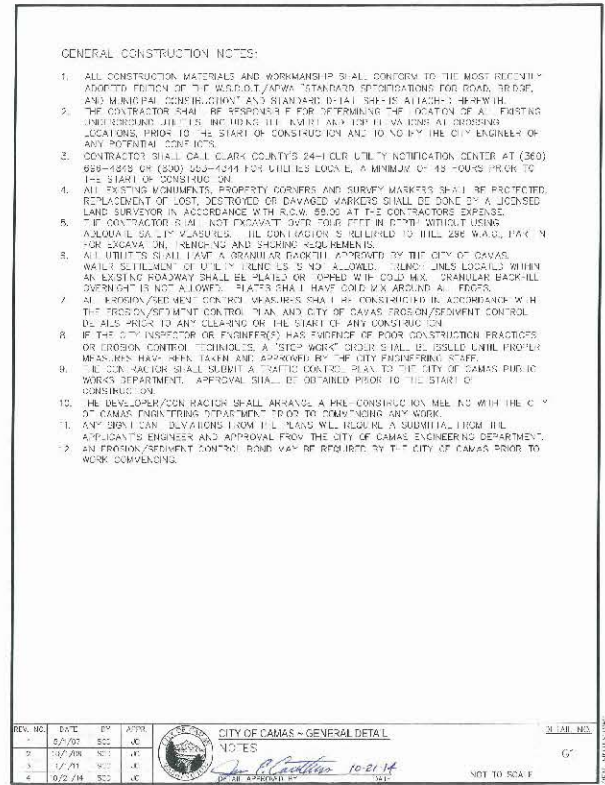
PREPARED BY:
STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD
VANCOUVER, WA 98661
PH: (360) 759-1794
FAX: (360) 759-4983
mail@sterlingdesign.biz

STERLING
DESIGN, INC.

Sheet Description:
EXAMPLE RESIDENTIAL
DUPLEX PLAN

Project:
FRANKLIN DUPLEX





- | | | | | | |
|----------|----------|-----|--------|--|-------------------------------------|
| REV. NO. | DATE | BY | REASON |  CITY OF CAMAS - SANITARY DETAIL
SEWER CONSTRUCTION NOTES
 | DETAIL NO.

SP1 |
| 1 | 5/1/90 | SGD | JD | | |
| 2 | 1/1/91 | SGD | JD | | |
| 3 | 10/21/94 | SGD | JD | | |
| | | | | DESIGNED BY:  DATE: 10-21-14 | NOT TO SCALE |



- | | | | | | | |
|----------|----------|-----|-------|--|--|-----|
| REV. NO. | DATE | BY | APPR. |  CITY OF CAMAS - SANITARY DETAIL
STEF SEWER CONSTRUCTION NOTES
 10-27-14 | DETAIL NO. | |
| 1 | 5/1/07 | SGD | JC | |  CITY OF CAMAS - SANITARY DETAIL
STEF SEWER CONSTRUCTION NOTES
 10-27-14 | SF1 |
| 2 | 1/1/11 | SGD | JC | | | |
| 3 | 10/28/14 | SGD | JC | | | |



STERLING
DESIGN^{INC.}

Description:

DETAILS SHEET

Project: **FRANKLIN DUPLEX**



Scale: AS SHOWN

Project Number: 708

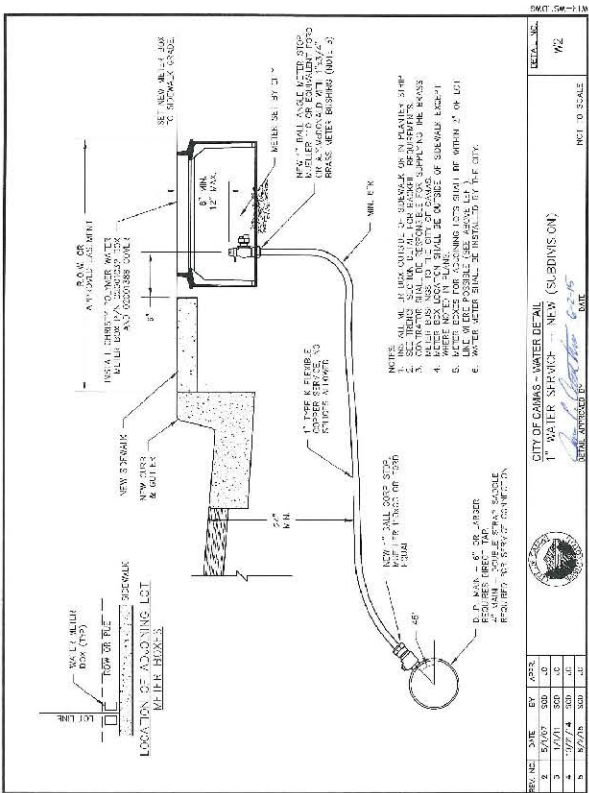
Design/ JGS/BC
Drawn

Drawing Date: JAN. 2017

Sheet 9 of 10 Sheet(s)

[illegible]

REV. NO.	DATE	BY	APPR.	 CITY OF CANAS - WATER DEPT. WATER CONSTRUCTION NOTES <i>R. P. Costello</i> 1-4-11 DESIGNED BY 1-4-11	CDSH NO. 471 NOT TO SCALE
1	7/17/08	SCD	DEP/0701		
2	5/1/09	DEO	JC		
3	1/1/11	SCD	JC		



PREPARED BY:
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mail@sterlingdesign.biz

STERLING
DESIGN, INC.

Sheet Description:

DETAILS SHEET

Project:

FRANKLIN DUPLEX



Scale: AS SHOWN

Project Number: 708

Design/ Drawn JGS/BC

Drawing Date: JAN. 2017

Sheet 10 of 10 Sheet(s)

<p><u>TAB F.</u> PRE-APPLICATION REPORT</p>



**Pre-Application Meeting Notes
Galanter Duplex
File PA 16-24**

Thursday, September 1, 2016
Council Chambers
616 NE Fourth Avenue, Camas, WA 98607

Applicant:

Dave Galanter
6614 NE 126th ST
Vancouver, WA 98686
360.904.7151
dgalanter@bannerbank.com

Property Owner:

Donald Grafton
2457 NW Fargo
Camas, WA 98607

Representing City of Camas:

Sarah Fox, Sr. Planner
Randy Miller, Fire Marshal
Norm Wurzer, Engineer
Jeff Noga, Plans Examiner

Location: 4033 and 4055 NE Franklin

Tax Accounts: 178211-000 and 178207-000

Zoning: R-7.5

Description: Applicant proposes to build a duplex on each lot

NOTICE: Notwithstanding any representation by City staff at a pre-application conference, staff is not authorized to waive any requirement of the City Code. Any omission or failure by staff to recite to an applicant all relevant applicable code requirements shall not constitute a waiver by the City of any standard or requirement. [CMC 18.55.060 (C)] This pre-application conference shall be valid for a period of 180 days from the date it is held. If no application is filed within 180 days of the conference or meeting, the applicant must schedule and attend another conference before the City will accept a permit application. [CMC 18.55.060 (D)] Any changes to the code or other applicable laws, which take effect between the pre-application conference and submittal of an application, shall be applicable. [CMC 18.55.060 (D)]. **A link to the Camas Municipal Code (CMC) can be found on the City of Camas website, <http://www.cityofcamas.us/> on the main page under "Business and Development".**

STAFF NOTES

PLANNING DIVISION

Sarah Fox | 817-7269

Applicable codes for this development include Title 16 Environment, Title 17 Land Development, and Title 18 Zoning of the Camas Municipal Code ("CMC"). The applicant is responsible for reviewing the code and addressing the applicable provisions. A duplex development in a single family zone requires **Conditional Use Permit approval**.

Type III Permits	Fee
Conditional Use Permit	\$3000 + \$95/per unit
Archaeological Review	\$120

Application Materials:

1. **General application** materials are listed at CMC18.55.110 (A through G). Include a site plan with the applicable setbacks, building footprint and elevations. Each lot will be required to install a street tree within the planter strip of the right-of-way.

A development sign will need to be installed on the property, which is within view of the road. The sign must be four feet by eight feet and remain on site until a decision has been rendered.

2. **Conditional Use Permit (CUP)**. The CUP requires a public hearing before the city's Hearings Examiner. The public hearings are scheduled as needed and require a minimum of two week notice prior to the hearing date.

The application narrative must include a response to the CUP approval criteria at CMC§18.43.050 Criteria.

18.43.050 - Criteria

The hearings examiner shall be guided by all of the following criteria in granting or denying a conditional use permit:

A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;

B. The proposed use shall meet or exceed the development standards that are required in the zoning district in which the subject property is situated;

C. The proposed use shall be compatible with the surrounding land uses in terms of traffic and pedestrian circulation, density, building, and site design;

Staff note: The surrounding neighborhood has a mix of housing types, with ranch homes flanking either side of the properties (page 6 or these notes). The proposed design with a garage door as the dominant feature, is inconsistent with the design of the houses along that street. A modification to the design to provide more area for living space windows facing the street and a lesser percentage of garage door frontage would be advised.

D. Appropriate measures have been taken to minimize the possible adverse impacts that the proposed use may have on the area in which it is located;

E. The proposed use is consistent with the goals and policies expressed in the comprehensive plan;

F. Any special conditions and criteria established for the proposed use have been satisfied. In granting a conditional use permit the hearings examiner may stipulate additional requirements to carry out the intent of the Camas Municipal Code and comprehensive plan.

3. **Archaeological Review.** The property is within an area that is considered to have a moderate-high probability for containing archaeological resources, and is within one-quarter mile of known archaeological resources. A predetermination report must be submitted as described at CMC§ 16.31.080. The city requires that a copy of the report be mailed to the following tribes and provide proof of mailing to the city. Refer to CMC§ 16.31.160 for the notification requirements.

Tribes	Contact(s)	Address
Chinook Indian Nation	Tony Johnson, Chairman	PO Box 368, Bay Center, WA 98527
Confederated Tribes and Band of the Yakama Indian Nation	Kate Valdez, THPO Cultural Resources	PO Box 151, Toppenish, WA 98948
	Johnson Meninick, Cultural Resources Program Manager	
Confederated Tribes of the Grande Ronde	Jordan Mercier, THPO, Cultural Protection Coordinator	9615 Grand Ronde Road, OR 97347-9712
Confederated Tribes of the Umatilla Indian Nation	Teara Farrow Ferman, Cultural Resources	46411 Timine Way, Pendleton, OR 97801-9467
Confederated Tribes of Warm Springs	Robert Brunoe, Tribal Historic Preservation Officer	PO Box 460, Warm Springs, OR 97761
Cowlitz Indian Tribe	dAVE Burlingame, Director Cultural Resources	PO Box 2547, Longview, WA 98632-8594
	James Gordon, Cultural Resources	PO Box 2547, Longview, WA 98632-8594
Nez Perce Tribe	Mary Jane Miles, Chairman	PO Box 305, Lapwai, ID 83540
Shoalwater Bay Tribe	Earl Davis, Heritage and Cultural Coordinator	PO Box 130, Tokeland, WA 98590

BUILDING DIVISION

Jeff Noga | 817-1568

1. The placement of buildings and structures on or adjacent to slopes steeper than one unit vertical in three units horizontal shall conform to Sections R403.1.7.1 through R403.1.7.4. A geotechnical reports may be required.
2. The structures will be reviewed under the most current building codes as adopted by The State of Washington.
3. The structural drawings and calculations shall be prepared and stamped by a Professional Engineer licensed by the State of Washington.
4. Required fire distance between buildings and from property line

5. If required the fire suppression system shall be in accordance with IBC and other applicable codes standards and shall be reviewed by the Camas Fire Marshal's office.
6. System Development Charges and Impact fees shall be assessed prior to permits
7. Storm sewer disposal/connections
8. Any development located within a special flood hazard area shall be in accordance with CMC 16.57
9. Verify Water and sewer availability with the public works department
10. Storm water from existing developments that slope towards the newly proposed developments should be taken into consideration.
11. Flag lots shall have a monument address sign at the street/driveway entrance
12. All lots shall be provided a storm drain lateral at the lowest practical location.

ENGINEERING DIVISION

Norm Wurzer | 817-1561

General Requirements:

- Construction plans shall be prepared by a licensed Washington State engineer in accordance with City of Camas standards.
- Existing wells and septic tanks and septic drain fields shall be abandoned in accordance with state and county guide lines per CMC 17.19.020 (A3).
- Per CMC 17.19.020 (A) Applicant shall provide public water and sewer services to each lot.
- A 3% plan review and inspection fee will be required per resolution number 1023. The fee will be based on an engineer's estimate or construction bid. The fee is due prior to approved construction drawings being released by the City.
- Regulations for installation of public improvements, improvement agreements, bonding, final platting and final acceptance can be found at CMC 17.21.
- Exception requests to the requirements of Title 17 shall meet the requirements of CMC 17.23.

Stormwater:

- If the applicant proceeds with an application that includes both lots, then they will be considered as one development when determining stormwater requirements (exceeding 5000 SF).
- Per CMC 14.02 stormwater treatment and runoff control, if triggered (5,000 SF of impervious surface), shall be designed in accordance with the 2012 Stormwater Management Manual for Western Washington and the City of Camas Stormwater Design Standards Manual.
- Stormwater facilities shall be located and landscaped per CMC 17.19.030 (F6) and CMC 17.19.040 (C3a).
- Maintenance of the storm water facilities will be the responsibility of the owner per CMC 17.19.040 (C3).

Streets:

- The applicant will be responsible for all traffic control signs, street name signs, pavement markings and street lighting per CMC 17.19.030 (I) (J). As of October, 2014 LED lighting is a requirement for all street lighting.
- The applicant will be responsible for the design and submittal of the utility plan showing the locations for underground power, telephone, gas, CATV, street lights and associated appurtenances.
- Per CMC 17.19.040 (B) the applicant will be required to dedicate a 10' half street Right-Of-Way.

Water:

- There is a 4" water line on NE Franklin

Sanitary Sewer:

- There is a 3" sanitary line STEP/STEF (contractor to confirm with City Water/Sewer dept.).

System Development Charges (SDC)

All fees are subject to change and are paid at time of building permit issuance.

For each single family detached residential structure the 2016 SDC will be as follows:

- | | |
|------------------------|-------------|
| • TIF North District | \$ 2,995.00 |
| • School impact fee | \$ 5,371.00 |
| • ¾" Water Meter fee | \$ 4,778.00 |
| • Water Connection fee | \$ 350.00 |
| • Sewer | \$ 2,493.00 |
| • Park/O.S. | \$ 2,290.00 |
| • Fire | \$ 0.20/SF |

FIRE MARSHAL

Randy Miller | 834-8866

- 1) Life Safety Residential Fire Sprinklers are required in all new residential structures, installed per NFPA 13D guidelines and Camas FMO review notes.
- 2) Special attention to the water service line into the house is required and shall be evaluated by your fire sprinkler contractor for correct sizing. Contact our office if you have any questions about the water service line size. If the underground contractor is going to install the line without following the fire sprinkler contractor design specs, then a 2 inch line is required. However the water line size could easily be down sized based on fire sprinkler contractor evaluation.
- 3) Provide address numbers that can easily be seen from NW 3rd St. and will not be blocked by parked vehicles, landscaping etc.

Sample of housing styles adjacent to the subject properties
1- 4015 NE Franklin



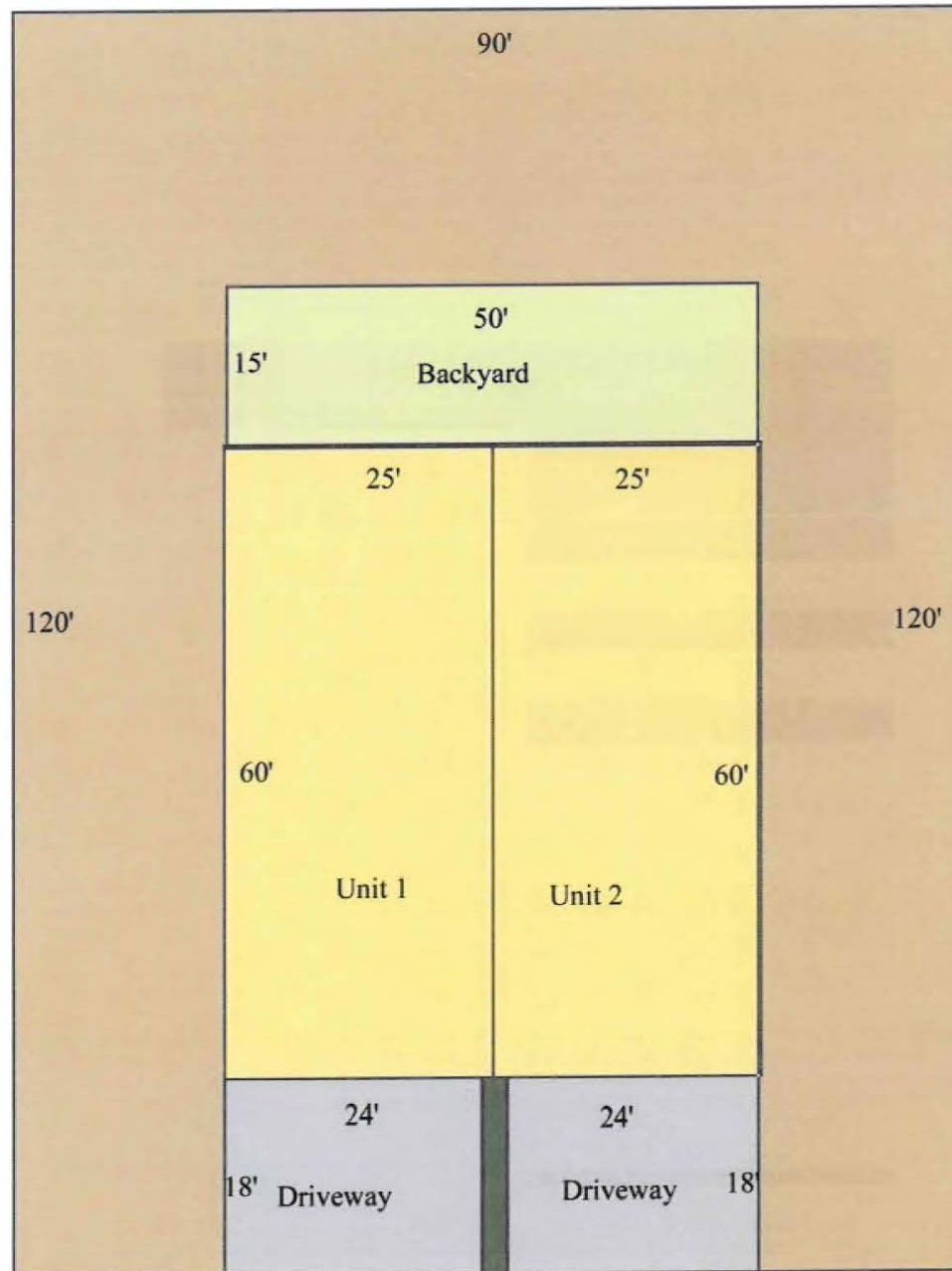
2- 4110 NE Franklin



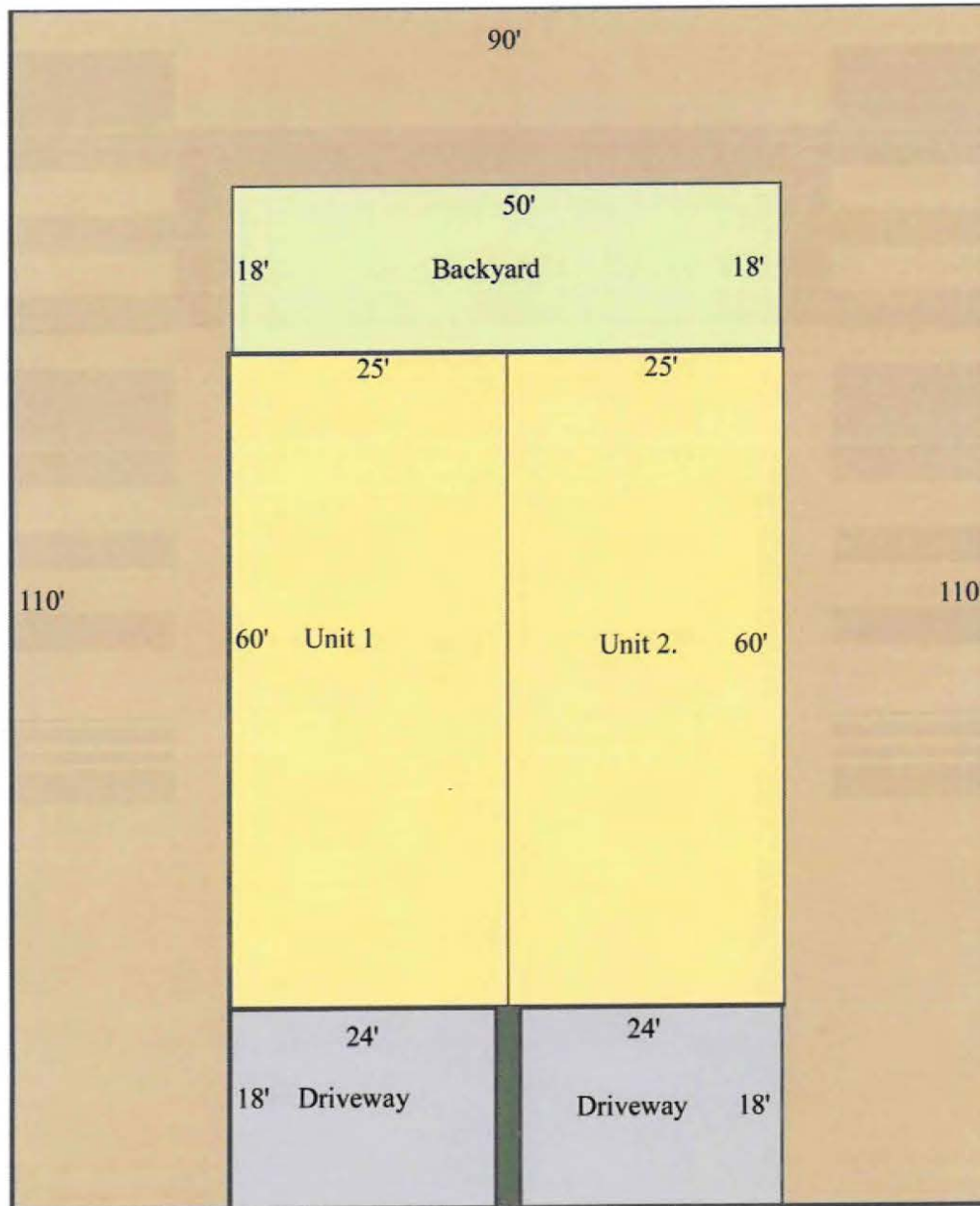
3- 4024 NW Franklin



Plot Map 4055 NE Franklin



Plot Map 4033 NE Franklin



TAB G.
SEPA CHECKLIST

N/A

TAB H.
SIGNAGE

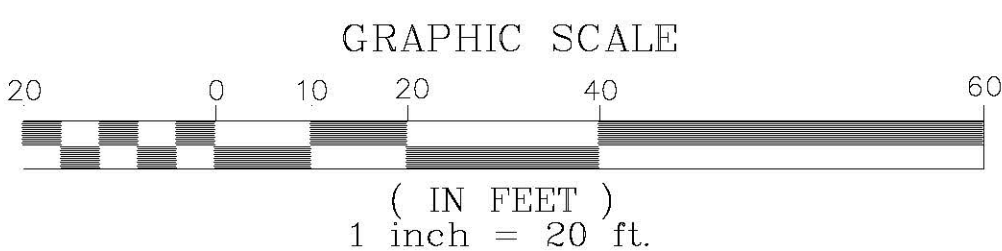
**SIGNAGE FOR TYPE III APPLICATION
SHALL BE INSTALLED PRIOR TO BEING
DEEMED COMPLETE**

PRE APPLICATION:

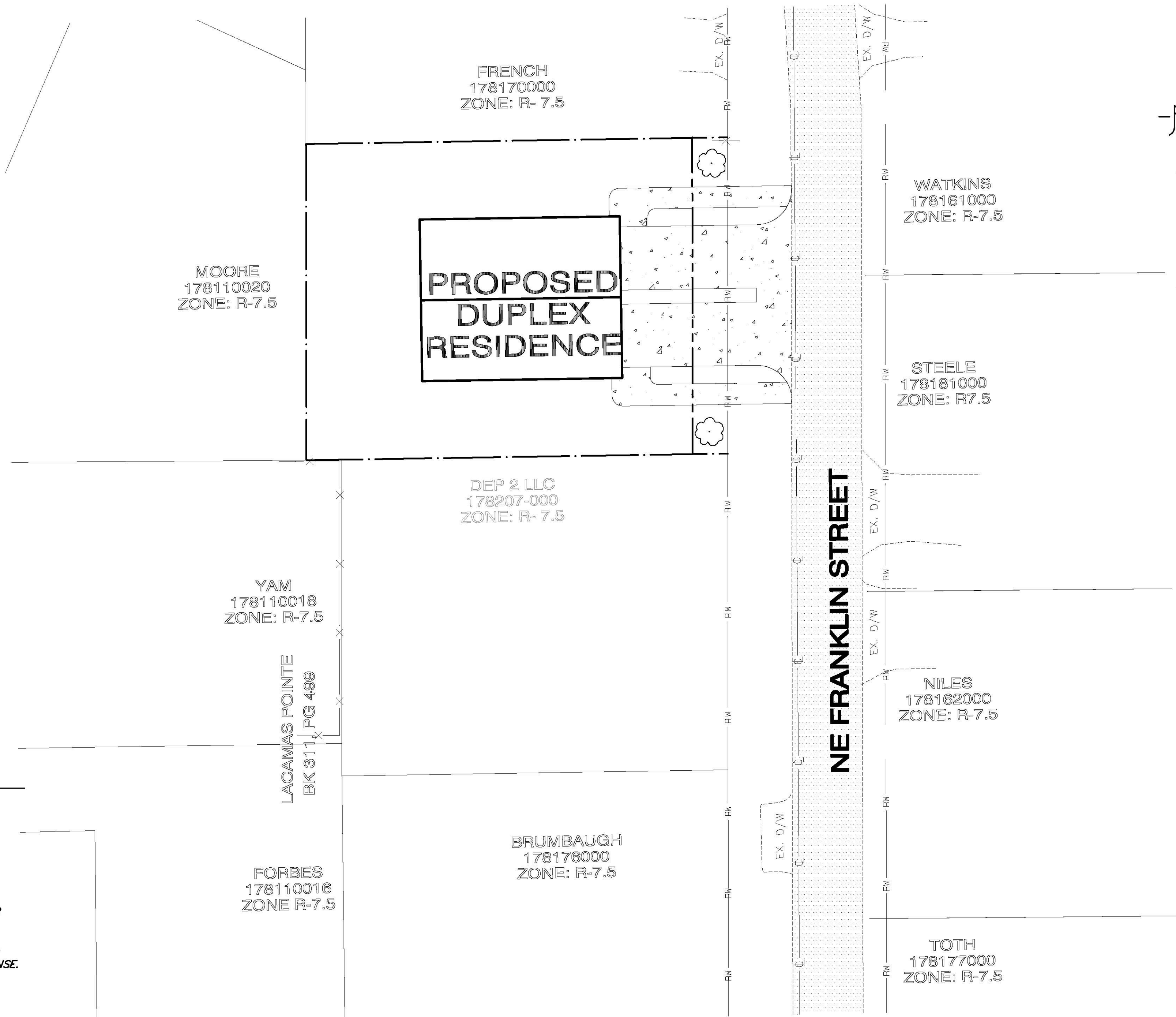
• **PA16-24**

PERMITS REQUESTED:

- **CONDITIONAL USE PERMIT**
- **GENERAL APPLICATION**



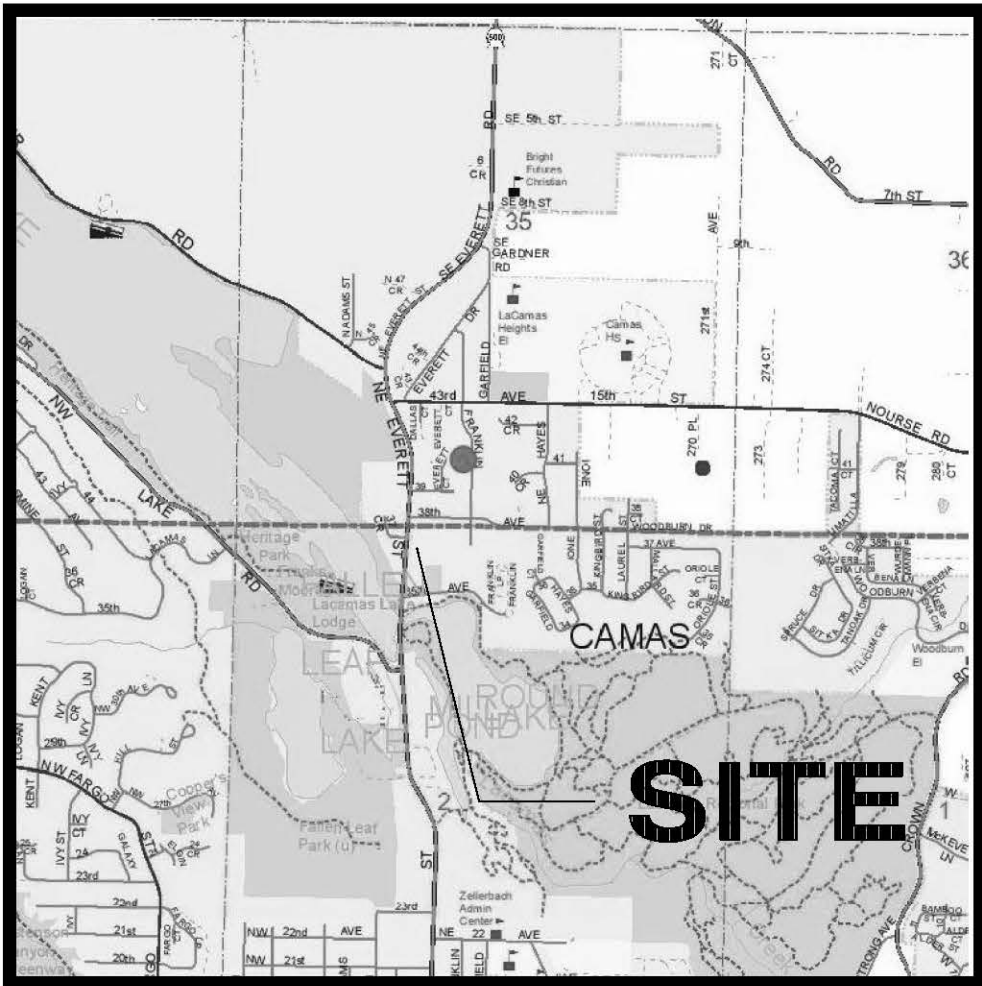
TYPE II CONDITIONAL USE PERMIT



GENERAL NOTES:

1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE 2006 EDITION OF THE WSDOT/APWA STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION AND STANDARD DETAIL SHEETS ATTACHED HERE IN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES, INCLUDING THE INVERT AND TOP ELEVATIONS AT CROSSING LOCATIONS, PRIOR TO THE START OF CONSTRUCTION AND TO NOTIFY THE ENGINEER OF ANY POTENTIAL CONFLICTS.
3. CONTRACTOR SHALL CALL CLARK COUNTY'S 24-HOUR UTILITY NOTIFICATION CENTER AT (360) 696-4848 OR (800) 553-4344 FOR UTILITIES LOCATE, A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
4. ALL EXISTING MONUMENTS, PROPERTY CORNERS AND SURVEY MARKERS SHALL BE PROTECTED. REPLACEMENT OF LOST, DESTROYED OR DAMAGED MARKERS SHALL BE DONE BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH R.C.W. 58.17 AT THE CONTRACTORS EXPENSE.
5. THE CONTRACTOR SHALL NOT EXCAVATE OVER FOUR FEET IN DEPTH WITHOUT USING ADEQUATE SAFETY MEASURES. THE CONTRACTOR IS REFERRED TO TITLE 296 W.A.C., PART N FOR EXCAVATION, TRENCHING AND SHORING REQUIREMENTS.
6. ALL UTILITIES SHALL HAVE A GRANULAR BACKFILL APPROVED BY THE CITY OF CAMAS. WATER SETTLEMENT OF UTILITY TRENCHES IS NOT ALLOWED.
7. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE EROSION/SEDIMENT CONTROL PLAN AND CITY OF CAMAS EROSION/SEDIMENT CONTROL DETAILS PRIOR TO ANY CLEARING OR THE START OF ANY CONSTRUCTION.
8. IF THE CITY INSPECTOR OR ENGINEER(S) HAS EVIDENCE OF POOR CONSTRUCTION PRACTICES OR EROSION CONTROL TECHNIQUES, A STOP WORK ORDER SHALL BE ISSUED UNTIL PROPER MEASURES HAVE BEEN TAKEN AND APPROVED BY THE CITY ENGINEERING STAFF.
9. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF CAMAS PUBLIC WORKS DEPARTMENT. APPROVAL SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
10. THE DEVELOPER/CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE CITY OF CAMAS ENGINEERING DEPARTMENT PRIOR TO COMMENCING ANY WORK.
11. ANY SIGNIFICANT DEVIATIONS FROM THE PLANS WILL REQUIRE A SUBMITTAL FROM THE APPLICANT'S ENGINEER AND APPROVAL FROM THE CITY OF CAMAS ENGINEERING DEPARTMENT.
12. AN EROSION/SEDIMENT CONTROL BOND WILL BE REQUIRED BY THE CITY OF CAMAS PRIOR TO WORK COMMENCING.

FRANKLIN DUPLEX
A Preliminary Site within
a portion of the SW 1/4
of Sec. 35, T2N., R3E., W.M.
Clark County, Washington



VICINITY MAP (NTS)

PROPERTY OWNER:
TIMBER GROVE LLC
1625 NW IVY STREET
CAMAS WA, 98607

CONTACT:
JOEL STIRLING
STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD.
VANCOUVER, WA 98661
PH.: (360) 759-1794
FAX: (360) 759-4983
EMAIL: Joel@SterlingDesign.biz

SITE INFORMATION:

- AREA: 0.25 ACRES
- TAX LOT: 119
- SERIAL NUMBER: 178211-000
- SITE ADDRESS: 4055 NE FRANKLIN ST, CAMAS, 98607
- ZONING: R-7.5
- COMPREHENSIVE PLAN: SFM

SHEET INDEX

COVER SHEET	1
EXISTING CONDITIONS PLAN	2
BOUNDARY SURVEY	3
SITE PLAN	4
GRADING & EROSION CONTROL PLAN	5
UTILITY CONNECTIONS PLAN	6
EXAMPLE RESIDENTIAL DUPLEX PLANS	7
DETAILS SHEET	8
DETAILS SHEET	9
DETAILS SHEET	10

CITY OF CAMAS

CITY ENGINEER			DATE
REVISION NO.	SHEETS AFFECTED	INITIAL APPROVAL	DATE

SITE INFORMATION

ALIGNMENT & FIELD DATA:	MINISTER & GLAESER SURVEYING, INC. (360) 694-3313	Scale: AS SHOWN
SOIL TYPE(s):	HYDROLOGIC GROUP: C AASHTO CLASSIFICATION: A-7	Project Number: 708
SOILS TESTING BY:	DATE:	Design/Drawn JGS/BC
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	Drawing Date: JAN. 2017
SITE AREA: 0.25 ACRES	FILENAME: S:\708-Prelim.pro	Sheet 1 of 10 Sheet(s)

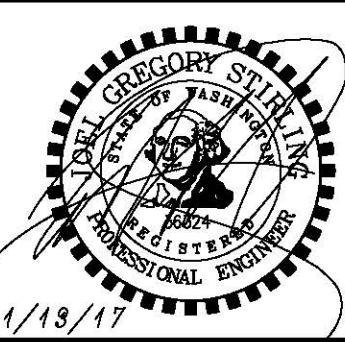
NOTE:
Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.

PREPARED BY:
STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD
VANCOUVER, WA 98661
PH. (360) 759-1794
FAX (360) 759-4983
mail@sterlingdesign.biz

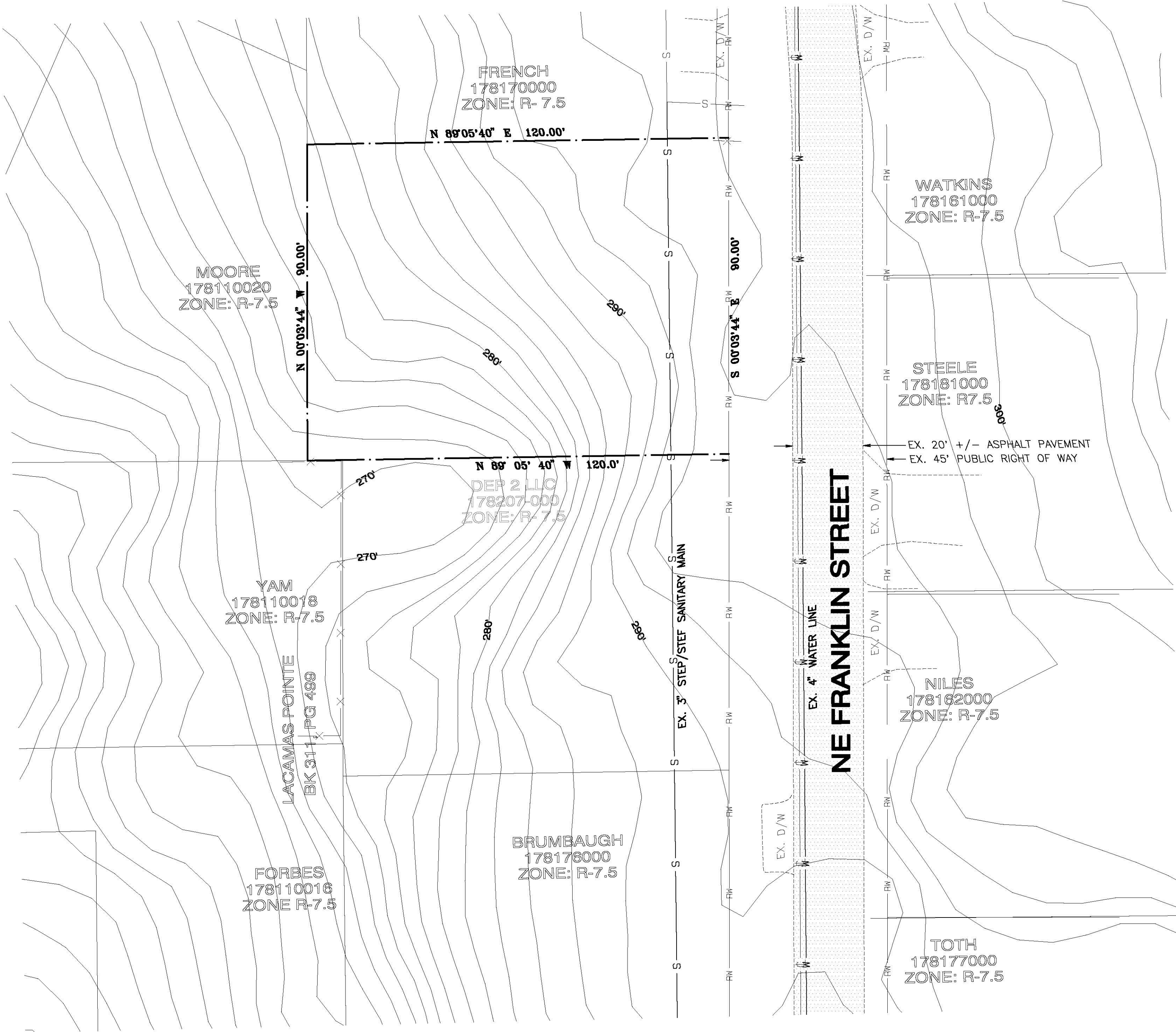
STERLING
DESIGN, INC.

COVER SHEET

Project:
FRANKLIN DUPLEX
NORTH

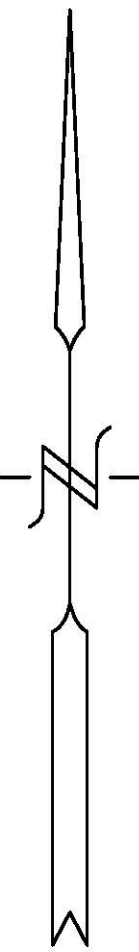
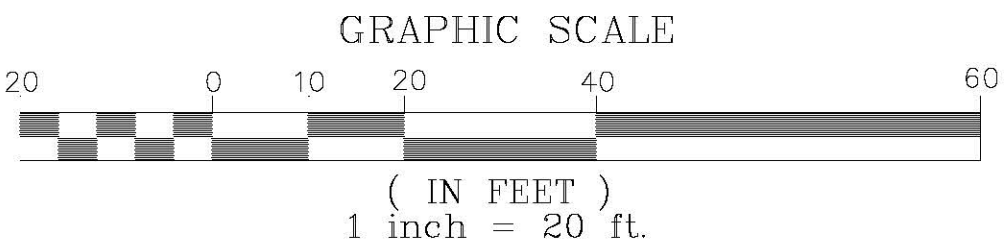


REFER TO SHEETS 4 FOR
SITE SURVEY INFORMATION



DRY UTILITY NOTE:
POWER, CA TV AND OTHER FRANCHISE
UTILITIES ARE ON OVERHEAD LINES
ALONG THE EAST SIDE OF FRANKLIN ST.

NOTE:
Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.



SITE INFORMATION

ALIGNMENT & FIELD DATA: MINISTER & GLAESER SURVEYING, INC. (360) 694-3313			Scale: AS SHOWN
SOIL TYPE(s): HoD & HoB	HYDROLOGIC GROUP: C	AASHTO CLASSIFICATION: A-7	Project Number: 708
SOILS TESTING BY: -	DATE: -	Design/ Drawn JGS/BC	Drawing Date: JAN. 2017
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	Sheet 2 of 10 Sheet(s)	
SITE AREA: 0.25 ACRES	FILENAME: S\708-Prelim.pro		

Project:

Sheet Description:

**STERLING
DESIGN, INC.**

**EXISTING CONDITIONS
PLAN**

**FRANKLIN DUPLEX
NORTH**



PREPARED BY:
STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD
VANCOUVER, WA 98661
PH: (360) 759-1794
FAX: (360) 759-4983
mail@sterlingdesign.biz

SURVEY
IN A PORTION OF THE
SE 1/4 OF THE SW 1/4
OF SECTION 35
T. 2 N., R. 3 E., W. M.
CITY OF CAMAS
CLARK COUNTY, WASHINGTON

LEGEND:

- INDICATES 1/2" x 24" IRON ROD WITH "BETHJE 37535" CAP FOUND PER SURVEY REFERENCE #1
- ⊙ INDICATES 1/2" x 24" IRON ROD WITH "DENNY 32451" CAP SET
- () INDICATES RECORD DISTANCE
- X- INDICATES RIGHT-OF-WAY
- ASSR. NO. INDICATES ASSESSOR TAX IDENTIFICATION NUMBER

SURVEY REFERENCES:

- 1) LACAMAS POINTE BOOK 311, PAGE 499
- 2) TOWLE SURVEY BOOK 048, PAGE 068
- 3) TOWLE SURVEY BOOK 049, PAGE 168
- 4) LACAMAS SUMMIT PHASE 2 BOOK 310, PAGE 894

DEED REFERENCES:

ADDRESS: 4055 NE FRANKLIN ST.
GRANTOR: ROGER NEERLAND AND OLLIE NEERLAND
GRANTEE: DONALD GRAFTON AND JOY GRAFTON
AF NO.: G 738295
DATE: 09-27-76

ADDRESS: 4033 NE FRANKLIN ST.
GRANTOR: RALPH LYHLEN JOHNSON
GRANTEE: DONALD GRAFTON AND JOY GRAFTON
AF NO.: C738294
DATE: 09-27-76

NARRATIVE:

THE PURPOSE OF THIS SURVEY WAS TO MONUMENT THE PERIMETER BOUNDARIES OF PARCELS IDENTIFIED AS ASSR. NO.'S 178211000 & 178207000. I HELD SURVEY REFERENCE NO. 1 TO CONTROL THE BASIS OF BEARING AND THE WEST LINE OF SAID PARCELS. I HELD THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 35 TO CONTROL THE NORTHERLY DIRECTION OF THE DEED CALLS. THIS CORRESPONDS WITH AUDITOR'S FILE NO.'S 3386062, 8704300141 & 8610210062 RECORDS OF CLARK COUNTY, OF WHICH DEFINE THE LOCATION OF THE EAST LINE OF NE FRANKLIN STREET (FORMERLY KNOWN AS LAKEVIEW COUNTY ROAD) TO BE PARALLEL WITH SAID EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 35. I HELD THE EASTERLY & WESTERLY DIRECTION OF THE DEED CALLS TO BE PARALLEL WITH THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF SECTION 35.

AUDITOR'S CERTIFICATE

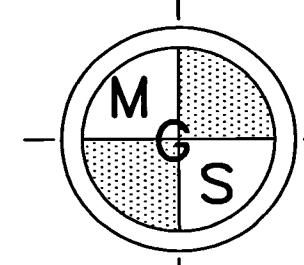
FILED FOR RECORD THIS 27 DAY OF July, 2016
AT 7:40 O'CLOCK PM, IN BOOK 65 OF SURVEYS,
AT PAGE 165
AT THE REQUEST OF MINISTER AND GLAESER SURVEYING INC.

John Berman
DEPUTY/COUNTY AUDITOR

SURVEYOR'S CERTIFICATE

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF DAVE GALANTER, IN JUNE, 2016.

Edmund Denny Jr. 2-25-2016
EDMUND DENNY, JR., PROFESSIONAL LAND SURVEYOR, LS# 32451



**MINISTER-GLAESER
SURVEYING INC.**
2200 E. EVERGREEN BLVD.
VANCOUVER, WA 98661
(360) 694-3313

SCALE: 1"=30'
JOB NO. 16-318
DATE: 07-25-16
CALC BY: ED
DRAWN BY: ED
CHECKED BY: ED
SHEET 1 OF 1

LACAMAS POINTE
BK 311, PG 499

10

9

8

NE FRANKLIN STREET

BASIS OF BEARING: N 00°03'44" W ALONG THE EAST LINE OF LOTS 10 OF LACAMAS POINTE BETWEEN MONUMENTS FOUND AS SHOWN ON SURVEY REFERENCE NO. 1.

ASSR. NO. 178170000

N 00°03'44" W
21.39'

N 89°05'40" E
(120.00')

WEST END OF FENCE IS
0.70' SOUTH OF LINE
AND 4.31' WEST OF LINE

ASSR. NO. 178211000
10,798.8 SQUARE FEET

FENCE IS 0.30' SOUTH OF LINE

FENCE IS 0.20' SOUTH OF LINE
AND 0.40' WEST OF LINE

N 89°05'40" E
(110.00')

ASSR. NO. 178207000
9,898.9 SQUARE FEET

FENCE CORNER IS 0.65' WEST OF LINE
AND 11.50' NORTH OF THE SOUTH LINE

NW CORNER OF CONCRETE WALL
IS 0.30' NORTH OF LINE
AND 37.00' WEST OF LINE

S 89°05'40" W
(110.00')

ASSR. NO. 178176000

45' RIGHT-OF-WAY
SURVEY REFERENCE 1

NORTH EDGE OF CONCRETE WALL
0.10' SOUTH OF LINE

N 00°03'44" W
(617.50')

45.00'

120.01'

34 35
3 2

S 89°05'40" W

2616.54'

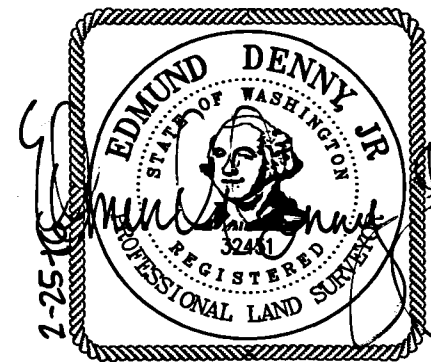
CALCULATED POSITION OF SOUTHWEST
CORNER OF SECTION 35 PER SURVEY
REFERENCE NO. 1, SEE LCR BK. 10 PG. 156

CALCULATED POSITION OF CLARK COUNTY
MONUMENT AT SOUTH QUATER CORNER OF
SECTION 35 PER SURVEY REFERENCE NO. 1,
SEE LCR BK. 13, PG. 7

MINISTER AND GLAESER SURVEYING, INC. MAKES NO WARRANTIES AS TO MATTERS OF UNWRITTEN TITLE SUCH AS ADVERSE POSSESSION, ACQUIESCENCE, ESTOPPLE, ETC.

A FIELD TRAVERSE WAS PERFORMED USING A ONE SECOND TOTAL STATION. THE FIELD TRAVERSE MET THE MINIMUM STANDARDS FOR SURVEYS AS DESIGNATED IN WAC 332-130-090. ALL CORNERS NOTED AS FOUND WERE VISITED ON 06-30-16.

30 15 0 30 45 60
SCALE 1 INCH = 30 FEET



65-165

PRELIMINARY SITE INFORMATION
GENERAL INFORMATION

- APPLICANT/CONTACT:
JOEL STIRLING
2208 E. EVERGREEN BLVD.
VANCOUVER, WA 98661
PH. (360) 759-1794
JOEL@STERLINGDESIGN.BIZ
- PROPERTY OWNER:
TIMBER GROVE LLC
1625 NW IVY STREET
CAMAS WA, 98607
- AREA: 0.25 ACRES
- TAX LOT: 119
- SERIAL NUMBER: 178211-000
- SITE ADDRESS: 4055 NE FRANKLIN STREET, CAMAS, 98607
- ZONING: R-7.5
- COMPREHENSIVE PLAN: SFM

EXISTING CONDITIONS (REFER TO SHEETS 2 & 3)

- Environmental**
- TOPOGRAPHY IS SHOWN ON THE PROPOSED DEVELOPMENT PLAN.
 - THERE ARE NO SITE WATERCOURSES (STREAMS, RIVERS, ETC) OR AREAS PRONE TO FLOODING AS SHOWN.
 - THERE ARE NO FEMA DESIGNATED FLOODPLAINS, FLOOD FRINGE, OR FLOODWAYS ON THE SITE.
 - THERE ARE NO DESIGNATED SHORELINE AREAS ON THE SITE.
 - THERE ARE NO WATER BODIES OR WETLANDS ON THE SITE.
 - THERE ARE NO WETLAND DELINEATION AREAS ON THE SITE.
 - THERE ARE UNSTABLE SLOPES OR LANDSLIDE HAZARD AREAS ON THE SITE PER CLARK COUNTY MAPS ONLINE.
 - THERE ARE NO KNOWN RIPARIAN HABITAT AND OR VEGETATION BUFFERS ON THE SITE. (SEE REPORT BY CASCADIA ECOLOGICAL LAND SERVICES)
 - THERE ARE NO KNOWN SIGNIFICANT HISTORIC, CULTURAL OR ARCHAEOLOGICAL RESOURCES ON THE SITE.
- Land Use and Transportation**
- THE PROPOSED SITE AREA IS APPROX. 0.23 ACRES. THE LAYOUT AND DIMENSIONS OF EXISTING PARCEL ARE SHOWN.
 - THERE ARE EXISTING STRUCTURES ON THE SITE.
 - EXISTING ACCESS, DRAINAGE & UTILITY EASEMENT LOCATIONS & WIDTHS ARE AS SHOWN.
 - NAME, LOCATION & WIDTH OF EXISTING RIGHT OF WAY IS SHOWN.
 - LOCATIONS & DIMENSIONS OF CENTERLINE & RIGHT-OF-WAY FOR NW 10th AVE. ARE SHOWN.
 - NAME, LOCATION, WIDTH & SURFACING MATERIAL OF ROADWAY & EASEMENTS AND WHETHER PUBLIC OR PRIVATE ARE SHOWN.
 - LOCATION OF EXISTING DRIVEWAYS ALONG NW 10th AVE ARE SHOWN.
 - LOCATION & WIDTH OF PEDESTRIAN & BICYCLE FACILITIES WITHIN 100' OF THE SITE ARE AS SHOWN.
 - THERE ARE NO TRANSIT ROUTES & STOPS WITHIN 600' OF THE DEVELOPMENT SITE. (PER THE GIS PACKET)

- Water and Sewer**
- THE NEAREST EXISTING FIRE HYDRANTS TO THE SITE ARE SHOWN.
 - THERE ARE NO KNOWN SEPTIC SYSTEM(S) OR WELL(S) ON THIS SITE.

PROPOSED IMPROVEMENTS

- Environmental**
- THERE ARE NO WETLANDS, STEEP SLOPE BUFFER AREAS/PROTECTED AREAS, OR PLANNED ENHANCEMENT AREAS LOCATED ON THE PORTION OF THE SITE WHERE NEW HOMES WILL BE CONSTRUCTED.
 - PLANTING & BUFFER ENHANCEMENT WILL OCCUR WITHIN PRIVATE TRACTS.

- Land Use and Transportation**
- THE CONFIGURATION & DIMENSIONS OF BOUNDARIES, PROPOSED LOTS, DRAINAGE TRACTS & EASEMENTS ARE SHOWN ON THE PLAN. THERE ARE NO PARKS OR OPEN SPACES PROPOSED AS PART OF THE SHORT PLAT.
 - DIMENSIONS OF ALL PROPOSED EASEMENTS ARE SHOWN ON PLAN.
 - THERE ARE EXISTING STRUCTURES ON THE SITE THAT WILL REMAIN.
 - ALL LOCATIONS AND DIMENSIONS OF ROAD RIGHT-OF-WAYS ON OR ADJACENT TO THE SITE ARE SHOWN ON THE PLAN.
 - PEDESTRIAN FACILITIES ARE NOT PROPOSED WITH THIS PROJECT.
 - THERE ARE NO TRANSIT ROUTES FRONTING THE SITE.

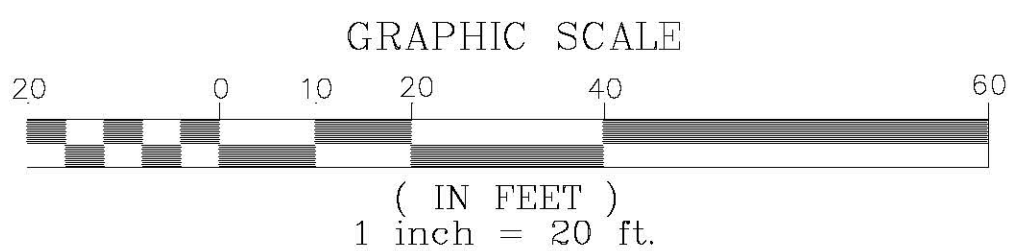
TABLE 18.09.040	
BUILDING SETBACKS:	
FRONT:	20'
SIDE STREET:	20'
SIDE INTERIOR:	5'
REAR:	25'
MAX. LOT COVERAGE:	40%
MAX. BLDG. HEIGHT:	35'

DUPLEX DWELLING WILL BE SUBJECT TO THE PAYMENT OF APPROPRIATE IMPACT FEES AT THE TIME OF BUILDING PERMIT ISSUANCE

BUILDING FOOTPRINT NOTE:
THE RESIDENTIAL DUPLEX BUILDING FOOT PRINT SHOWN IS FOR THE PURPOSES OF APPROVAL OF THE CONDITIONAL USE PERMIT. ACTUAL BUILDING PLANS MAY CHANGE DURING BUILDING PERMIT SUBMITTAL AND REVIEW TO BETTER FIT WITH CITY OF CAMAS COMPATIBILITY STANDARDS. THE PROPOSED RESIDENTIAL DUPLEX WILL MEET ALL APPLICABLE SETBACK AND LOT COVERAGE REQUIREMENTS OF THE CITY OF CAMAS CODE.

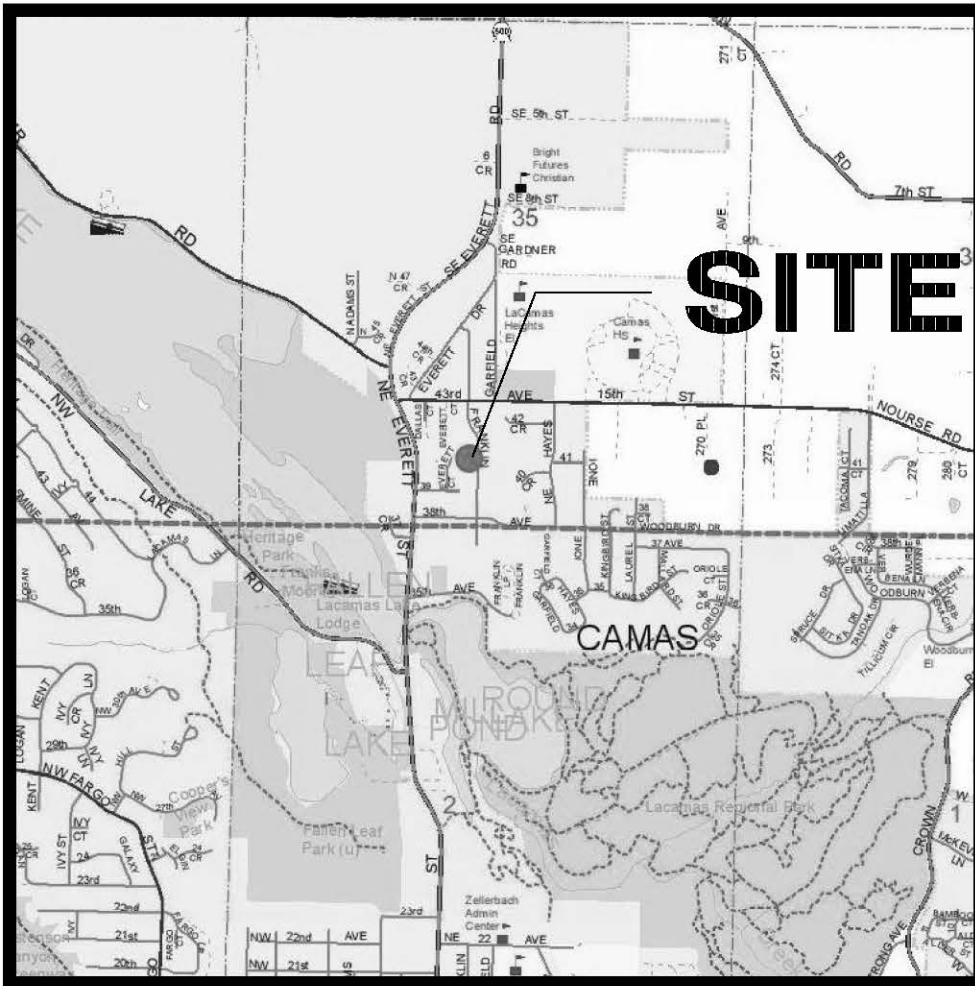
NOTE:

Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.



FRANKLIN DUPLEX

A Preliminary Site within
a portion of the SW 1/4
of Sec. 35, T2N., R3E., W.M.
Clark County, Washington



VICINITY MAP (NTS)

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STERLING
DESIGN, INC.

Sheet Description:
PRELIMINARY SITE PLAN

Project:
**FRANKLIN DUPLEX
NORTH**



SITE INFORMATION

ALIGNMENT & FIELD DATA:		Scale: AS SHOWN
MINISTER & GLAESER SURVEYING, INC. (360) 694-3313		
SOIL TYPE(s): HoD & HoB	HYDROLOGIC GROUP: C AASHTO CLASSIFICATION: A-7	Project Number: 708
SOILS TESTING BY:	DATE:	Design/ Drawn JGS/BC
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	Drawing Date: JAN. 2017
SITE AREA: 0.25 ACRES	FILENAME: S\708-Prelim.pro	Sheet 4 of 10 Sheet(s)

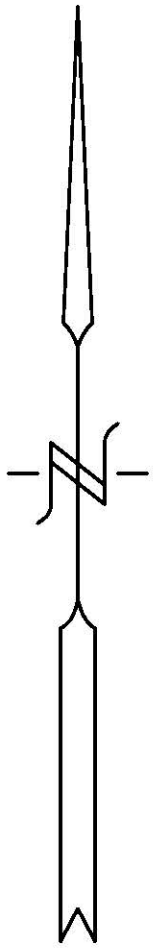
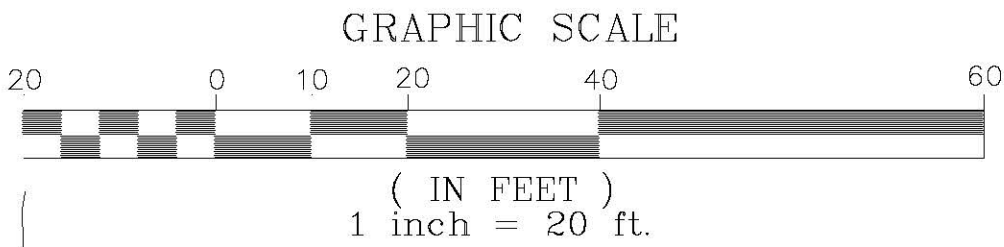
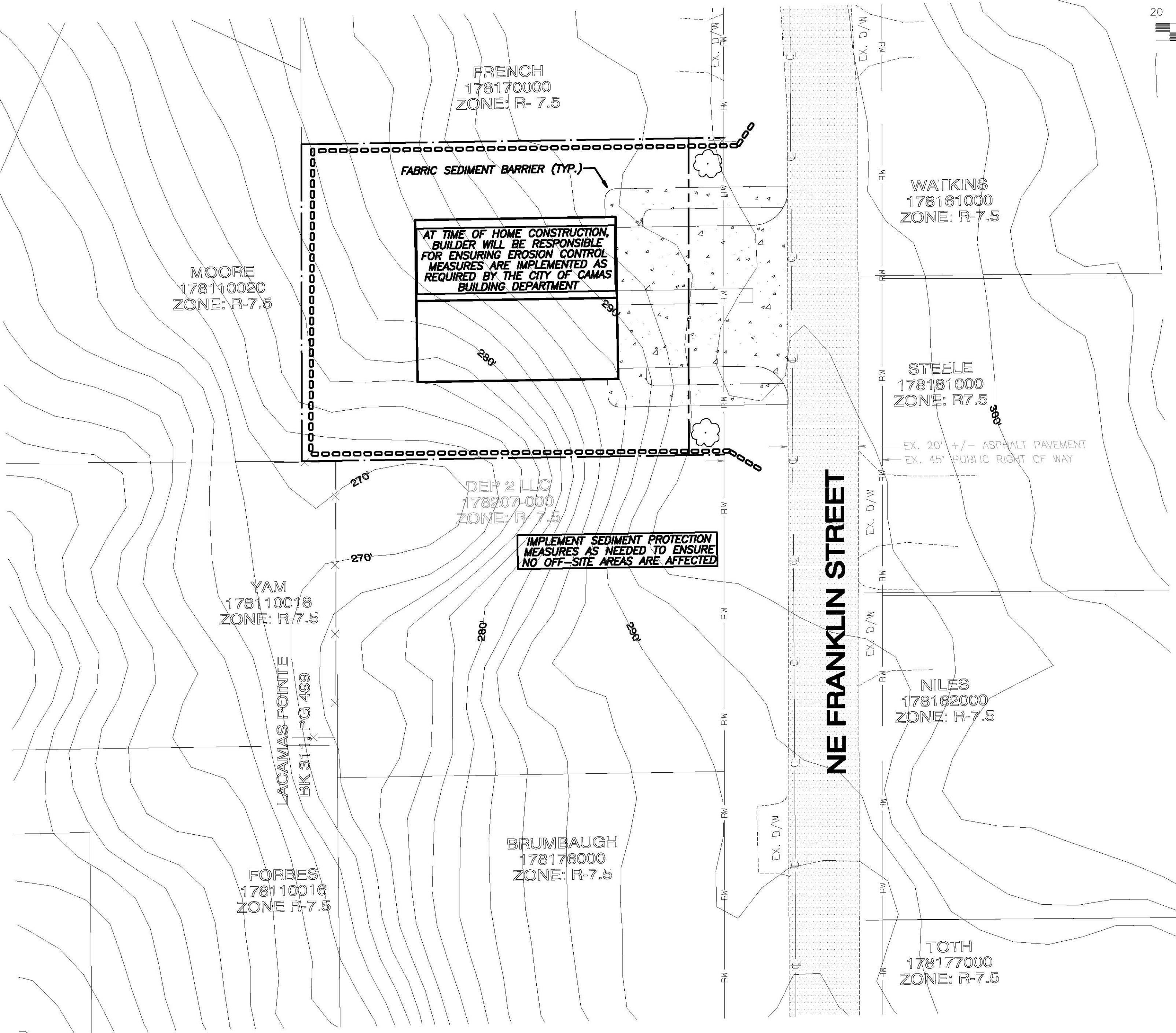
EROSION/SEDIMENT CONTROL NOTES:

1. THE EROSION/SEDIMENT CONTROL (ESC) PLAN IS TO BE UTILIZED AS A GUIDE TO CONTROL THE TRANSPORT OF LOOSE SOILS TO THE PROPERTY OUTSIDE OF THE CONSTRUCTION AREA AND AROUND THE CONSTRUCTION SITE. THE ESC MEASURES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DOES NOT LEAVE THE SITE.
2. THE IMPLEMENTATION OF THE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADE OF THE ESC MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND PERMANENT VEGETATION/LANDSCAPING IS ESTABLISHED.
3. IF THE CITY INSPECTOR OR ENGINEER(S) HAS EVIDENCE OF POOR CONSTRUCTION PRACTICES OR EROSION CONTROL TECHNIQUES, A STOP WORK ORDER SHALL BE ISSUED UNTIL PROPER MEASURES HAVE BEEN TAKEN AND APPROVED BY THE CITY ENGINEERING STAFF.
4. THE CONTRACTORS SHALL BE RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH THE CITY OF CAMAS EROSION/SEDIMENT CONTROL HANDBOOK AND THE STORMWATER MANUAL IN WASHINGTON STATE (LATEST EDITION), VOL. II.
5. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND IN WORKING CONDITION PRIOR TO DISTURBING AND EXPOSING ANY SOIL SURFACES (I.E. CONSTRUCTION ENTRANCES, FILTER FABRIC/STRAWBALE SEDIMENT BARRIERS, AND SEDIMENTATION TRAPS) AND MAINTAINED FOR THE DURATION OF THE PROJECT. TRAPPED SEDIMENT IN EXCESS OF 1 FOOT SHALL BE REMOVED OR STABILIZED ON-SITE. DISTURBED SOIL AREAS RESULTING FROM VEGETATION REMOVAL SHALL BE PERMANENTLY STABILIZED. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
6. TO MINIMIZE EROSION AND SEDIMENTATION TRANSPORTATION, EARTHWORK SHALL NOT BE PERFORMED WHILE SOILS ARE MORE THAN 5% ABOVE OPTIMUM MOISTURE CONTENT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE CLEARING LIMITS AND/OR ANY EASEMENTS, SENSITIVE OR CRITICAL AREAS, AND THEIR BUFFERS, TREES, AND DRAINAGE COURSES FLAGGED PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. FLAGGING LIMITS ARE TO BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
8. REMOVE ONLY THOSE TREES AND SHRUBS THAT NEED TO BE REMOVED FOR THE CONSTRUCTION OF ROADS, SIDEWALKS, UTILITIES, GRADING LIMITS AND STORMWATER FACILITIES.
9. ALL ROAD EXISTING AND NEWLY CONSTRUCTED CATCH BASINS OR CURB INLETS AFFECTED BY CONSTRUCTION SHALL BE PROTECTED AGAINST SEDIMENT DEPOSITS. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
10. ALL POLLUTANTS THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER SYSTEM.
11. ALL DISTURBED SOIL SURFACES ARE TO BE STABILIZED BY A SUITABLE APPLICATION OF BEST MANAGEMENT PRACTICES. NO SOILS SHALL REMAIN UNSTABILIZED FOR MORE THAN TWO DAYS DURING THE PERIOD OF OCTOBER 1 THRU JULY 5. FROM JULY 5 THRU OCTOBER 1, NO SOIL SHALL REMAIN UNSTABILIZED FOR MORE THAN 7 DAYS. STABILIZATION OF DISTURBED SOIL AREAS CAN CONSIST OF HYDROSEEDING OR HAND-SEEDING, MULCHING, PLACEMENT OF EROSION CONTROL BLANKETS OR PLASTIC. ALL SEEDING AREAS ARE TO BE FERTILIZED, WATERED, AND MAINTAINED TO ENSURE THAT THE REGROWTH OF VEGETATION IS AS SOON AS POSSIBLE.
12. ALL TEMPORARY SEDIMENT AND EROSION CONTROL BMP'S SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMP'S ARE NO LONGER NEEDED.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POLICING THE JOB SITE DAILY AND MAINTAINING THE EROSION/SEDIMENT CONTROL MEASURES THROUGHOUT ALL PHASES OF CONSTRUCTION. AN INSPECTION LOG SHALL BE KEPT AND MADE AVAILABLE TO THE CITY OF CAMAS. THE POLICING AND MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO:
- VERIFYING THAT ALL AREAS ARE GRADED SUCH THAT ALL RUNOFF IS DIRECTED TO A SEDIMENTATION DEVICE BEFORE DISCHARGE TO SURFACE.
 - REMOVAL OF TRAPPED SILT AT SILT BARRIERS, SILT TRAPS, OR POINTS OF ACCUMULATION.
 - ADDITIONAL PROTECTIVE MEASURES DUE TO JOB SITE OR WEATHER CONDITIONS AS REQUIRED BY CITY OF CAMAS WATER QUALITY.
 - MONITORING OF VEHICLES LEAVING THE SITE TO MINIMIZE TRANSMISSION OF LOOSE SOILS TO THE PUBLIC ROADWAYS.
 - PLACING OF THE STRAWBALE SEDIMENTATION BARRIER AT THE ENTRANCE DURING PRECIPITATION OR AT THE END OF THE WORKDAY BEFORE LEAVING THE SITE.
 - VERIFY THAT ALL PROPERTIES ADJACENT TO THE PROJECT SITE ARE PROTECTED FROM SEDIMENTATION DEPOSITION. THIS MAY BE ACCOMPLISHED BY INSTALLING PERIMETER CONTROLS SUCH AS SEDIMENTATION BARRIERS, FILTERS OR DIKES, SEDIMENTATION BASINS/TRAPS, OR BY A COMBINATION OF SUCH MEASURES.
14. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES SHALL BE STABILIZED IN ACCORDANCE WITH EROSION/SEDIMENT CONTROL NOTE 11. SLOPES FOUND TO BE ERODING EXCESSIVELY WITHIN TWO YEARS OF CONSTRUCTION MUST BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES. THESE MEASURES MAY CONSIST OF ROUGHENED SOIL SURFACES, INTERCEPTORS, DIVERSIONS OR TERRACES, TEMPORARY OR PERMANENT CHANNELS, ADDITIONAL VEGETATION, OR PIPE SLOPE DRAINS AS REQUIRED BY CITY OF CAMAS WATER QUALITY UNTIL THE PROBLEM IS CORRECTED.
15. THE ESC MEASURES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING A STORM EVENT.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING UNDERGROUND UTILITIES AS SPECIFIED BELOW:
- WHERE FEASIBLE, NO MORE THAN 500 FEET OF TRENCH SHALL BE OPEN AT ONE TIME.
 - WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - TRENCH DE-WATER DEVICES SHALL DISCHARGE INTO A SEDIMENT TRAP OR SEDIMENT POND.
17. CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER, DURING ALL GRADING ACTIVITIES FOR FIELD VERIFICATION OF FILL PLACEMENT AND SITE SPECIFIC GRADING RECOMMENDATIONS. CONTRACTOR SHALL PROVIDE WRITTEN DOCUMENTATION FROM GEOTECHNICAL ENGINEER, FOR STRUCTURAL FILLS PRIOR TO ACCEPTANCE OF PROJECT BY CITY OF CAMAS.
18. SLOPES SHALL BE HYDRO-SEEDED AS SOON AS PROPOSED GRADES ARE ESTABLISHED. CONTRACTOR TO PREPARE SLOPES FOR SEED BY "TRACKING" SLOPES AS PER ATTACHED DETAIL.

EROSION PROTECTION SHALL BE PLACED ON ALL OFFSITE STORM STRUCTURES DOWNSTREAM OF THE SITE OR AS WILL BE AFFECTED BY SITE CONSTRUCTION (TYP.)

MINIMAL GROUND DISTURBANCE WILL TAKE PLACE ON THE PROPERTY AS PART OF THE RESIDENTIAL DUPLEX CONSTRUCTION AND WILL BE LIMITED TO THE MINIMUM REQUIRED FOR FOUNDATION INSTALLATION, DRIVEWAY CONSTRUCTION AND YARD CONTOURING.

IN THE EVENT THAT ANY ITEM OF ARCHAEOLOGICAL INTEREST IS UNCOVERED DURING THE COURSE OF A PERMITTED GROUND DISTURBING ACTION OR ACTIVITY, ALL GROUND DISTURBING ACTIVITIES SHALL IMMEDIATELY CEASE AND THE APPLICANT SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AND DAHP



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mailto:sterlingdesign.biz

STERLING
DESIGN, INC.

Sheet Description:
GRADING & EROSION
CONTROL PLAN

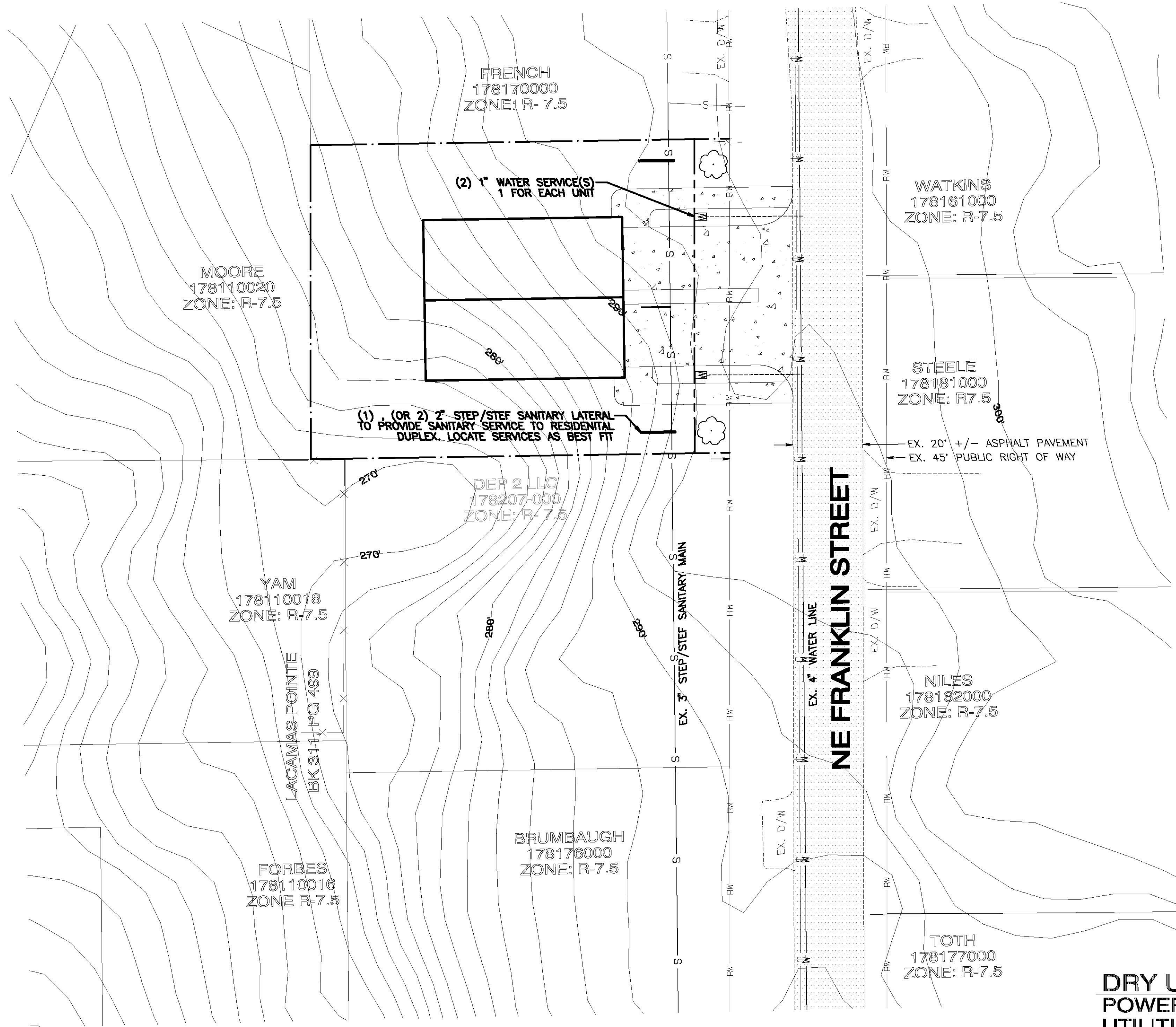
Project:
FRANKLIN DUPLEX
NORTH



SITE INFORMATION

ALIGNMENT & FIELD DATA:			Scale:	AS SHOWN
MINISTER & GLAESER SURVEYING, INC. (360) 694-3313			Project Number:	708
SOIL TYPE(s):	HYDROLOGIC GROUP: C	AASHTO CLASSIFICATION: A-7	Design/Drawn:	JGS/BC
SOILS TESTING BY:		DATE:	Drawing Date:	JAN. 2017
SITE LOCATION:	CLARK COUNTY, WA	APPROX. SURFACE ELEV:	270'-294"	Sheet 5 of 10 Sheet(s)
SITE AREA:	0.25 ACRES	FILENAME:	S\708-Prelim.pro	

NOTE:
Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.



UTILITY NOTE(S)
RESIDENTIAL DUPLEX
WILL BE PROVIDED WITH:
1 (OR 2) - 6" SANITARY LATERAL
2- 1" WATER SERVICES

UTILITIES WILL BE INSTALLED IN
ACCORDANCE TO CITY OF CAMAS
STANDARDS

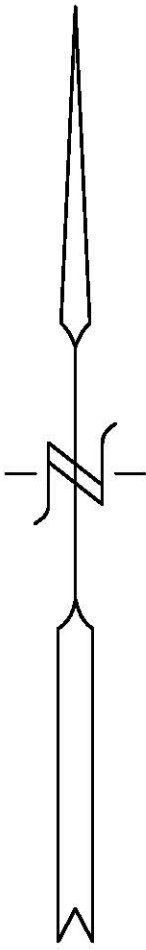
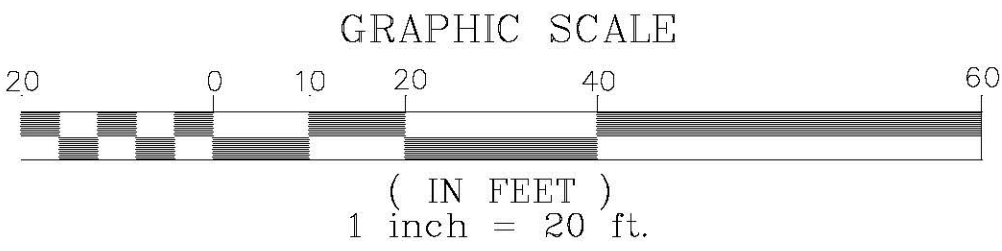
RESIDENTIAL FIRE SPRINKLERS ARE REQUIRED
PER NFPA 13D GUIDELINES AND CAMAS FMO

NOTE:
Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.

DRY UTILITY NOTE:
POWER, CA TV AND OTHER FRANCHISE
UTILITIES ARE ON OVERHEAD LINES
ALONG THE EAST SIDE OF FRANKLIN ST.

SITE INFORMATION

ALIGNMENT & FIELD DATA:		Scale:	AS SHOWN
MINISTER & GLAESER SURVEYING, INC. (360) 694-3313		Project Number: 708	
SOIL TYPE(S):	HYDROLOGIC GROUP: C	AASHTO CLASSIFICATION: A-7	Design/Drawn: JGS/BC
SOILS TESTING BY: HoD & HoB	DATE:	Drawing Date: JAN. 2017	Sheet 6 of 10 Sheet(s)
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV: 270'-294"		
SITE AREA: 0.25 ACRES	FILENAME: S:\708-Prelim.pro		



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STERLING
DESIGN, INC.

UTILITY CONNECTIONS PLAN

FRANKLIN DUPLEX
NORTH

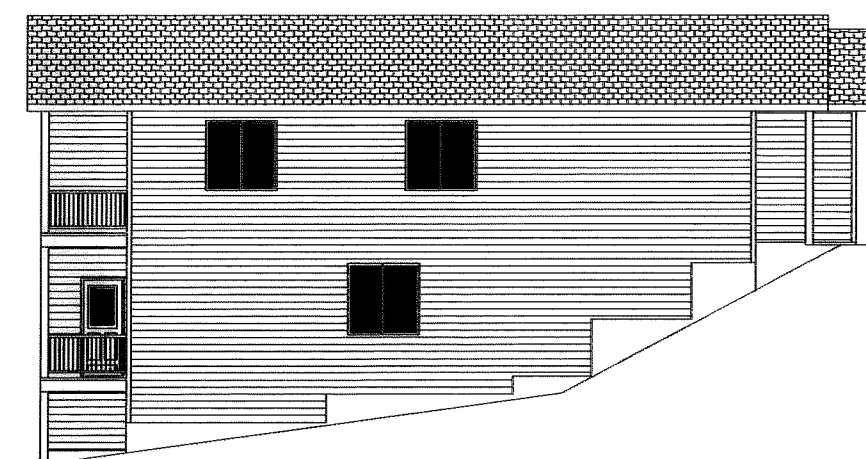




FRONT ELEVATION A
SCALE 1/4"=1'-0"



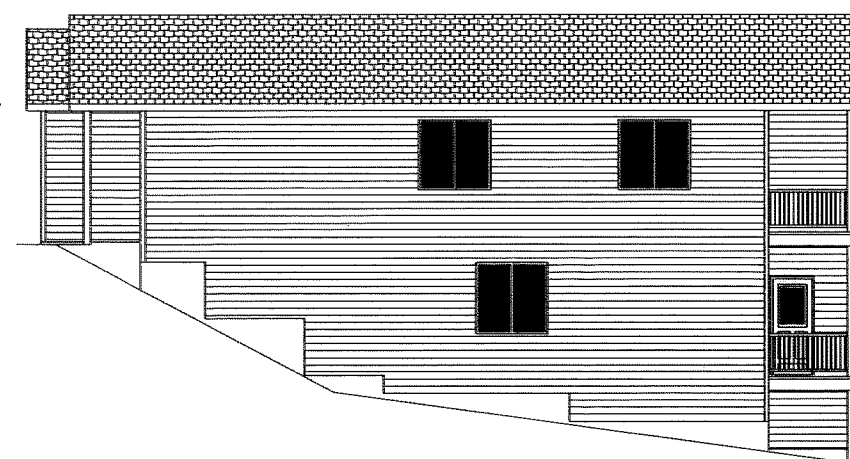
FRONT ELEVATION B
SCALE 1/4"=1'-0"



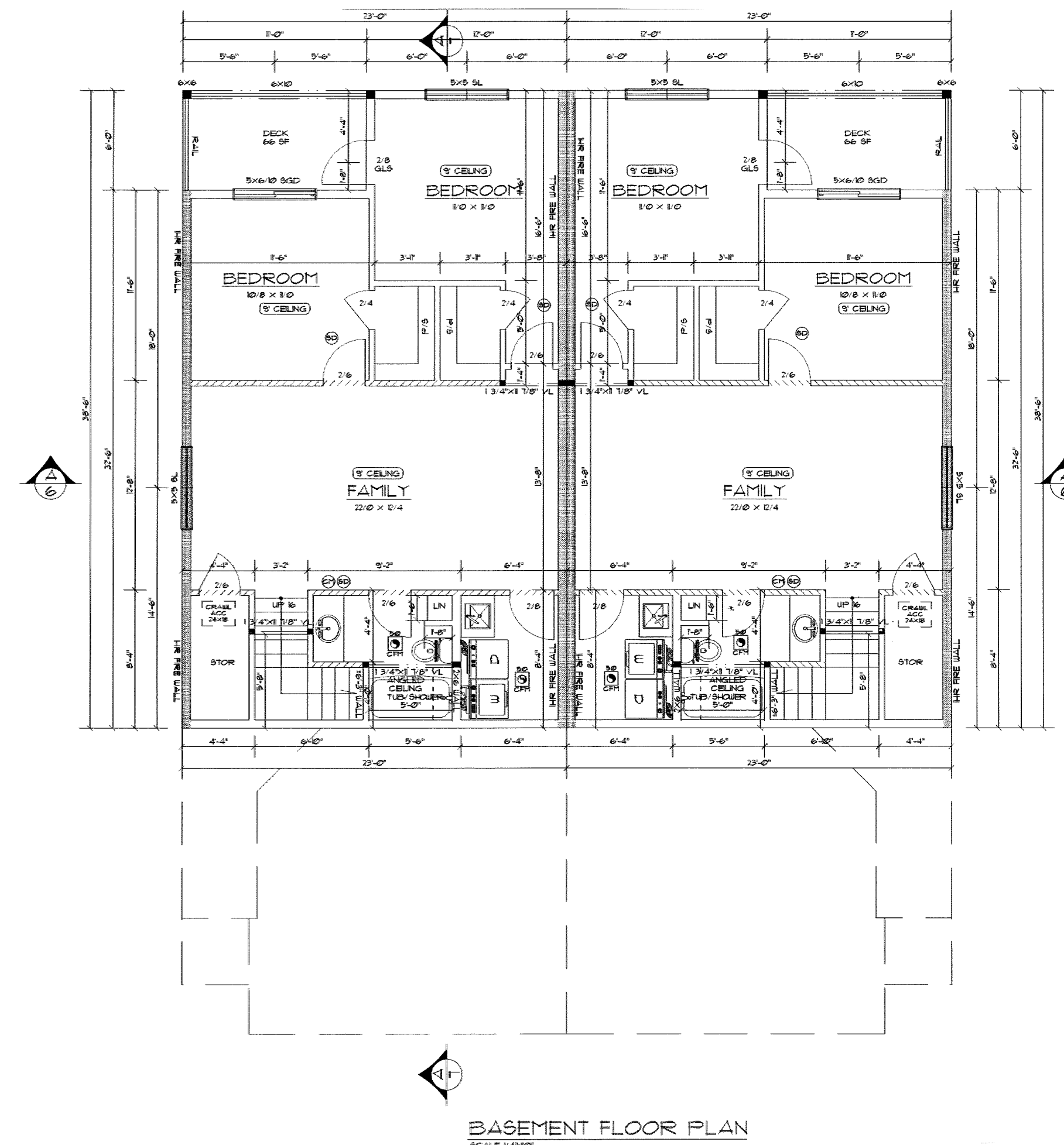
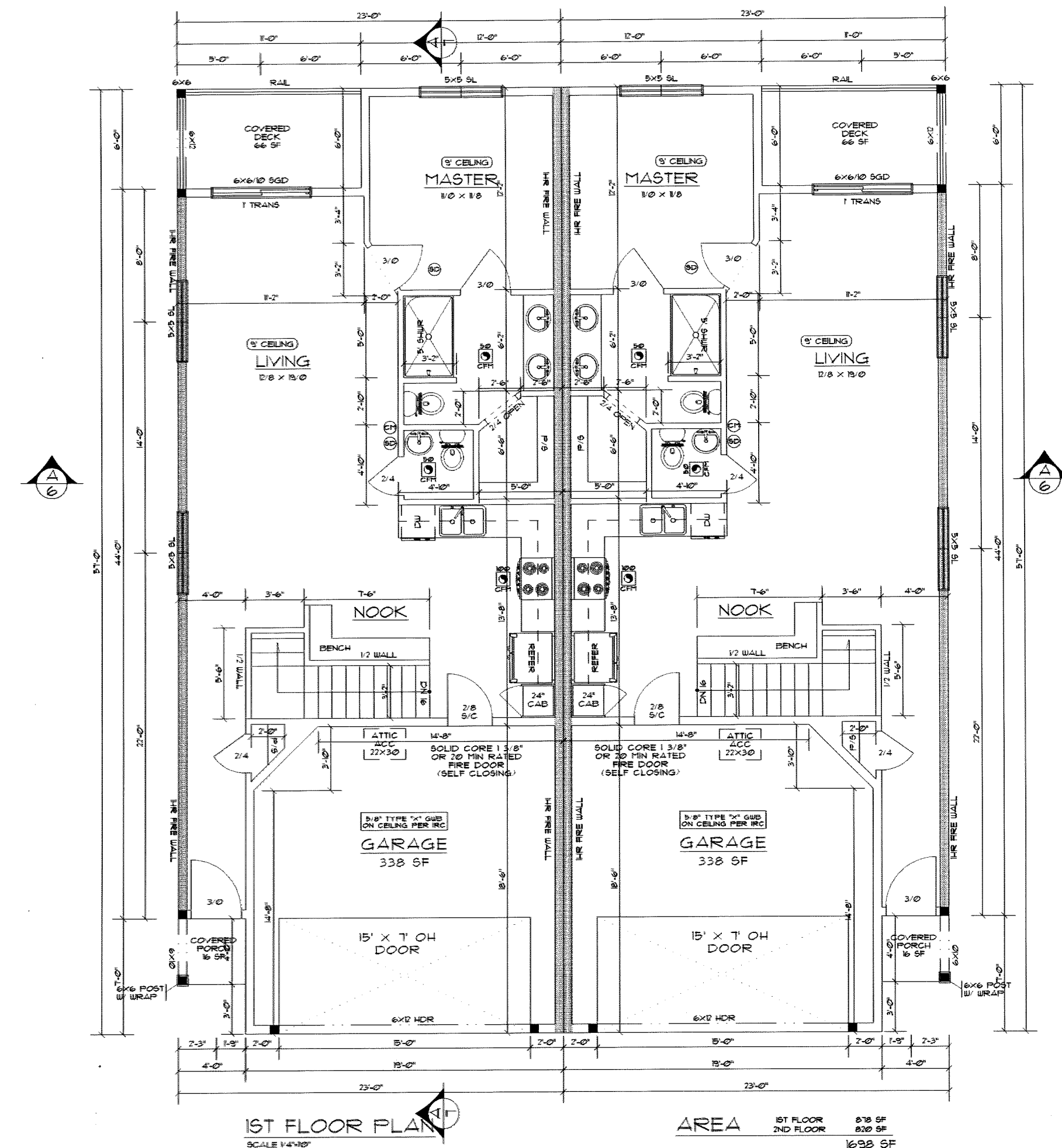
LEFT SIDE ELEVATION
SCALE 1/8"=1'-0"



REAR ELEVATION
SCALE 1/8"=1'-0"



RIGHT SIDE ELEVATION
SCALE 1/8"=1'-0"



SITE INFORMATION

ALIGNMENT & FIELD DATA:			MINISTER & GLAESER SURVEYING, INC. (360) 694-3313		Scale:	AS SHOWN
SOIL TYPE(S):	HYDROLOGIC GROUP:	AASHTO CLASSIFICATION:		Project Number: 708		
HeD & HeB	C	A-7		Design/ Drawn JGS/BC		
SOILS TESTING BY:		DATE:		Drawing Date: JAN. 2017		
SITE LOCATION:		CLARK COUNTY, WA		APPROX. SURFACE ELEV:		270'-294"
SITE AREA:		FILENAME:		Sheet 7 of 10 Sheet(s)		
		S:\708-Prelim.pro				

PREPARED BY:
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STERLING
DESIGN, INC.

Sheet Description:
EXAMPLE RESIDENTIAL
DUPLEX PLAN

Project:
FRANKLIN DUPLEX

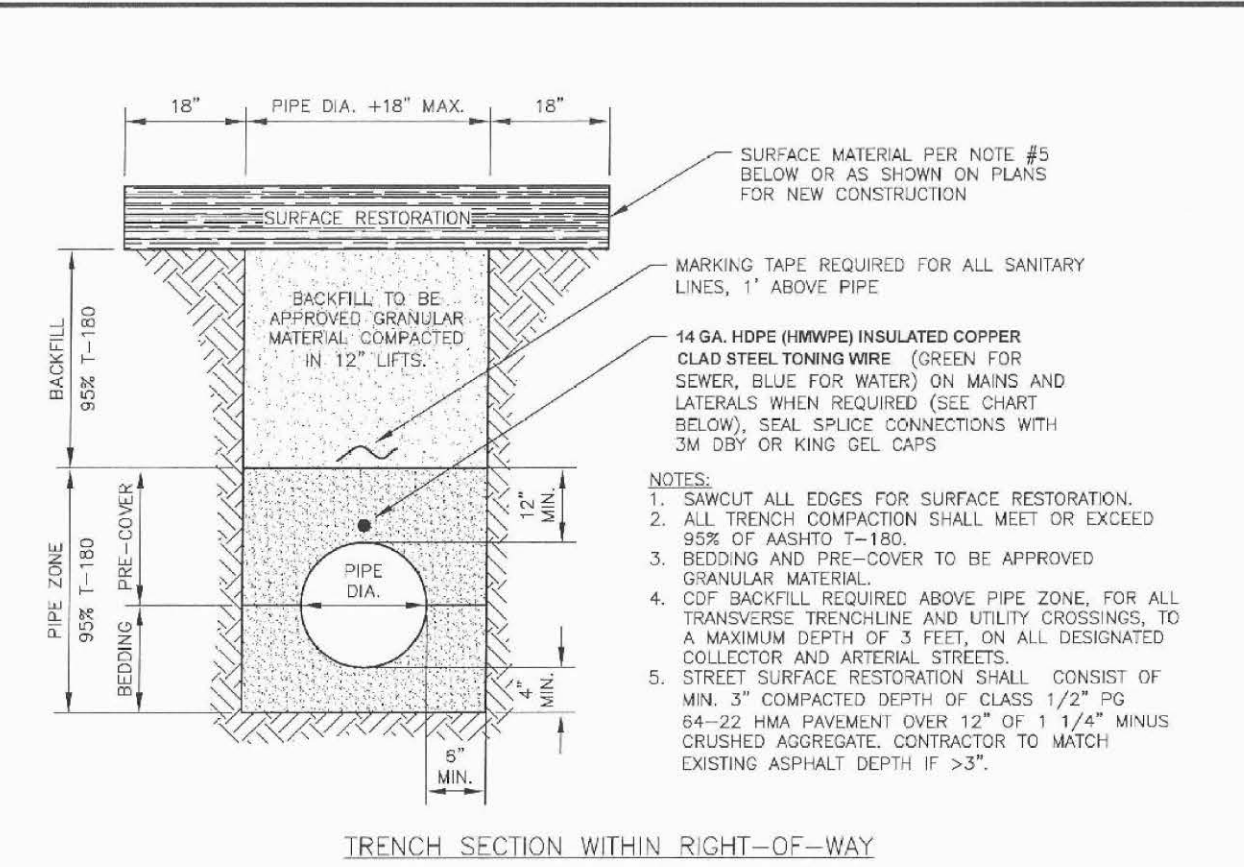


GENERAL CONSTRUCTION NOTES:

- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE W.S.D.O.T./APWA "STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION" AND STANDARD DETAIL SHEETS ATTACHED HERewith.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES, INCLUDING THE INVERT AND TOP ELEVATIONS AT CROSSING LOCATIONS, PRIOR TO THE START OF CONSTRUCTION AND TO NOTIFY THE CITY ENGINEER OF ANY POTENTIAL CONFLICTS.
- CONTRACTOR SHALL CALL CLARK COUNTY'S 24-HOUR UTILITY NOTIFICATION CENTER AT (360) 696-4848 OR (800) 553-4344 FOR UTILITIES LOCATE, A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING MONUMENTS, PROPERTY CORNERS AND SURVEY MARKERS SHALL BE PROTECTED. REPLACEMENT OF LOST, DESTROYED OR DAMAGED MARKERS SHALL BE DONE BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH R.C.W. 48.09 AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL NOT EXCAVATE OVER FOUR FEET IN DEPTH WITHOUT USING ADEQUATE SAFETY MEASURES. THE CONTRACTOR IS REFERRED TO TITLE 296 W.A.C., PART N FOR EXCAVATION, TRENCHING AND SHORING REQUIREMENTS.
- ALL UTILITIES SHALL HAVE A GRANULAR BACKFILL APPROVED BY THE CITY OF CAMAS. WATER SETTLEMENT OF UTILITY TRENCHES IS NOT ALLOWED. TRENCH LINES LOCATED WITHIN AN EXISTING ROADWAY SHALL BE FLARED OR TOPPED WITH COLD MIX. GRANULAR BACKFILL OVERNIGHT IS NOT ALLOWED. PLATES SHALL HAVE COLD MIX AROUND ALL EDGES.
- ALL EROSION/SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE EROSION/SEDIMENT CONTROL PLAN AND CITY OF CAMAS EROSION/SEDIMENT CONTROL DETAILS PRIOR TO ANY CLEARING OR THE START OF ANY CONSTRUCTION.
- IF THE CITY INSPECTOR OR ENGINEER(S) HAS EVIDENCE OF POOR CONSTRUCTION PRACTICES OR EROSION CONTROL TECHNIQUES, A "STOP WORK" ORDER SHALL BE ISSUED UNTIL PROPER MEASURES HAVE BEEN TAKEN AND APPROVED BY THE CITY ENGINEERING STAFF.
- THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF CAMAS PUBLIC WORKS DEPARTMENT. APPROVAL SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- THE DEVELOPER/CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE CITY OF CAMAS ENGINEERING DEPARTMENT PRIOR TO COMMENCING ANY WORK.
- ANY SIGNIFICANT DEVIATIONS FROM THE PLANS WILL REQUIRE A SUBMITTAL FROM THE APPLICANT'S ENGINEER AND APPROVAL FROM THE CITY OF CAMAS ENGINEERING DEPARTMENT.
- AN EROSION/SEDIMENT CONTROL BOND MAY BE REQUIRED BY THE CITY OF CAMAS PRIOR TO WORK COMMENCEMENT.

REV. NO.	DATE	BY	APPR.	CITY OF CAMAS - GENERAL DETAIL	DETAIL NO.
1	5/1/07	SCD	JC	NOTES	G1
2	10/1/08	SCD	JC		
3	1/1/11	SCD	JC		
4	10/21/14	SCD	JC	DETAIL APPROVED BY: <i>Joe P. Githen</i> 10-21-14 DATE	NOT TO SCALE

EC-NOTES.DWG

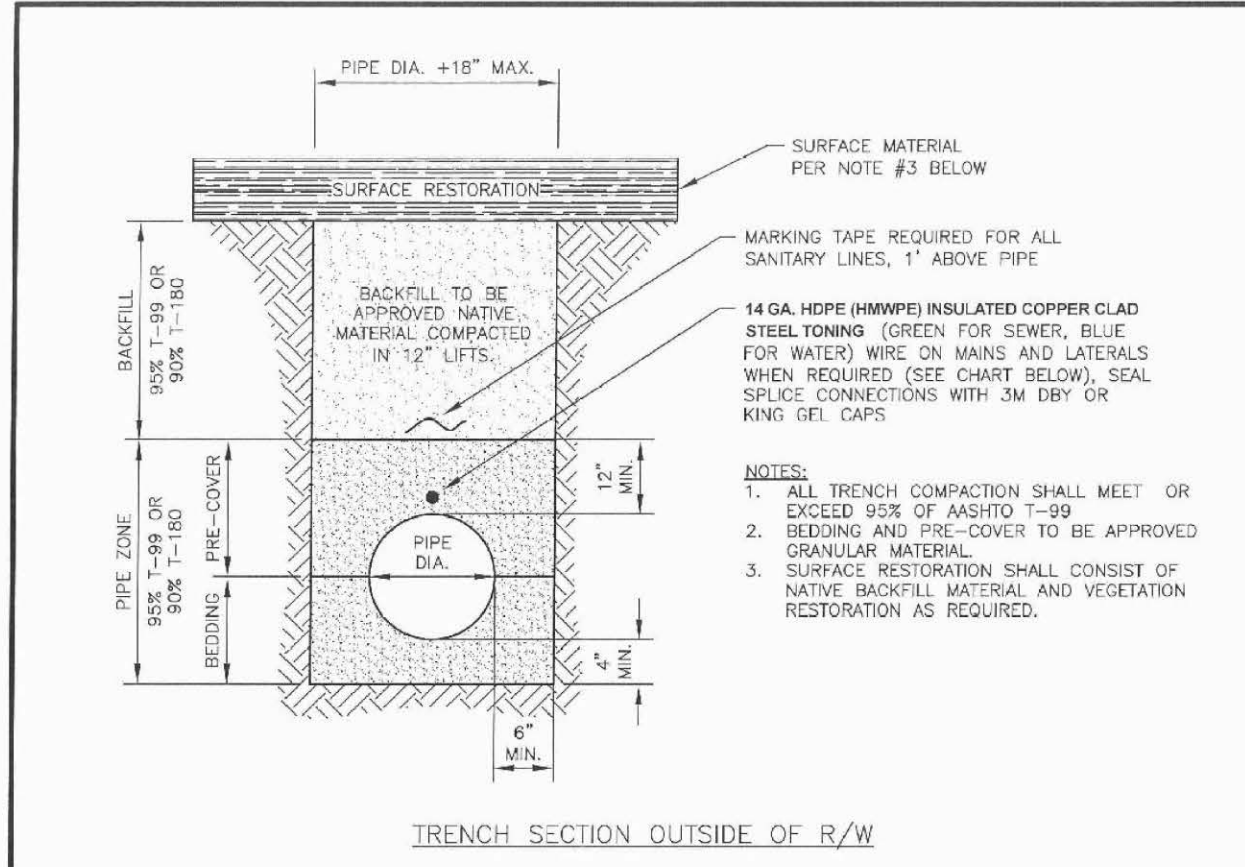


MINIMUM PIPE COVER CHART			
UTILITY TYPE	MAIN TYPE	MIN. PIPE (MAIN) COVER	MIN. LATERAL OR SERVICE COVER
WATER	DISTRIBUTION	2.5'	2'
	TRANSMISSION*	3'	2' **
STORM	MAIN	5'	PER PLAN (MIN. 2')
	STEP***	5'	1.5'
SEWER	STEP***	6'	4.5'
	GRAVITY	6'	4.5'

* TONING WIRE REQUIRED FOR MANS 12" DIA. AND LARGER
** SERVICES ONLY ALLOWED WHERE APPROVED
*** TONING WIRE REQUIRED

REV. NO.	DATE	BY	APPR.	CITY OF CAMAS - GENERAL DETAIL	DETAIL NO.
1	3/1/07	SCD	JC	TRENCH DETAIL (IN R.O.W.)	G2
2	9/18/07	SCD	JC		
3	1/1/11	SCD	JC		
4	10/21/14	SCD	JC	DETAIL APPROVED BY: <i>Joe P. Githen</i> 10-21-14 DATE	NOT TO SCALE

EC-NOTES.DWG



MINIMUM PIPE COVER CHART			
UTILITY TYPE	MAIN TYPE	MIN. PIPE (MAIN) COVER	MIN. LATERAL OR SERVICE COVER
WATER	DISTRIBUTION	2.5'	2'
	TRANSMISSION*	3'	2' **
STORM	MAIN	5'	PER PLAN (MIN. 2')
	STEP***	5'	1.5'
SEWER	STEP***	6'	4.5'
	GRAVITY	6'	4.5'

* TONING WIRE REQUIRED FOR MANS 12" DIA. AND LARGER
** SERVICES ONLY ALLOWED WHERE APPROVED
*** TONING WIRE REQUIRED

REV. NO.	DATE	BY	APPR.	CITY OF CAMAS - GENERAL DETAIL	DETAIL NO.
1	3/1/07	SCD	JC	TRENCH DETAIL (OUTSIDE R.O.W.)	G3
2	1/1/11	SCD	JC		
3	10/21/14	SCD	JC	DETAIL APPROVED BY: <i>Joe P. Githen</i> 10-21-14 DATE	NOT TO SCALE

EC-NOTES.DWG

GRADING NOTES:

- ALL GRADING SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE W.S.D.O.T. STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION AND THE CITY OF CAMAS DESIGN STANDARDS MANUAL.
- THE LIMITS OF CLEARING SHALL BE FLAGGED PRIOR TO CLEARING AND GRUBBING OF THE SITE.
- ANY EXISTING TREES TO REMAIN WITHIN THE CLEARING LIMITS SHALL BE MARKED AND PROTECTED FROM DAMAGE.
- PRIOR TO ANY FILL PLACEMENT, ALL AREAS WHICH WILL RECEIVE STRUCTURAL FILL SHALL BE EXCAVATED TO FIRM, NON-ORGANIC, UNDISTURBED NATIVE GROUND. THE STRIPPED AREAS SHALL BE OBSERVED AND ACCEPTED BY THE GEOTECHNICAL ENGINEER AND THE CITY OF CAMAS INSPECTOR.
- ALL LOT FILLS SHALL MEET 95% OF AASHTO T-99 COMPACTION.
- ALL RIGHT-OF-WAY FILLS SHALL MEET 95% OF AASHTO T-180 COMPACTION.
- FILLS SHALL BE INSTALLED IN VERTICAL LIFTS NOT EXCEEDING 8 INCHES IN THICKNESS AND SHALL BE COMPACTED AS PREVIOUSLY NOTED.
- FILLS PLACED ON SLOPES EXCEEDING 3H:1V SHALL BE KEYED AND BENCHED, GEOTECHNICAL APPROVAL REQUIRED PRIOR TO ANY FILL PLACEMENT.
- ALL SURFACES SHALL BE GRADED SMOOTH AND BE FREE OF IRREGULARITIES THAT MIGHT ACCUMULATE SURFACE WATER.
- ALL CUT AND FILL SLOPES SHALL NOT EXCEED 2:1 SLOPES.
- ANY EXCESS MATERIAL NOT REQUIRED TO MEET THE GRADES SHOWN ON THE PLANS SHALL BE HAULED FROM THE SITE TO A CONTRACTOR PROVIDED WASTE SITE. IF WASTE SITE IS WITHIN CITY LIMITS, A GRADING PERMIT MAY BE REQUIRED.
- ALL EXPOSED AND UNWORKED SOILS SHALL BE STABILIZED BY SUITABLE APPLICATION OF EROSION CONTROL BMP'S.
- ALL SURFACES REQUIRING VEGETATION SHALL BE ROUGHENED PRIOR TO SEEDING (I.E. WHEEL TRACKED PERPENDICULAR TO SURFACE FLOW TO REDUCE EROSION AND HELP VEGETATION).
- FINAL GEOTECHNICAL SUMMARY REPORT, INCLUDING ALL COMPACTION TESTING RESULTS, SHALL BE SUBMITTED UPON COMPLETION OF SITE GRADING WORK.

REV. NO.	DATE	BY	APPR.	CITY OF CAMAS - EROSION CONTROL DETAIL	DETAIL NO.
1	9/18/07	SCD	JC	GRADING NOTES	EC1
2	1/1/11	SCD	JC		
				DETAIL APPROVED BY: <i>Joe P. Githen</i> 1-4-11 DATE	NOT TO SCALE

EC-NOTES.DWG

EROSION/SEDIMENT CONTROL NOTES:

- THE EROSION/SEDIMENT CONTROL (ESC) PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) ARE TO BE UTILIZED AS A GUIDE TO CONTROL THE TRANSPORT OF LOOSE SOILS TO THE PROPERTY OUTSIDE OF THE CONSTRUCTION AREA AND AROUND THE CONSTRUCTION SITE. THE ESC MEASURES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DOES NOT LEAVE THE SITE.
- THE IMPLEMENTATION OF THE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADE OF THE ESC MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND PERMANENT VEGETATION/LANDSCAPING IS ESTABLISHED.
- IF THE CITY INSPECTOR OR ENGINEER(S) HAS EVIDENCE OF POOR CONSTRUCTION PRACTICES OR EROSION CONTROL TECHNIQUES, A "STOP WORK" ORDER SHALL BE ISSUED UNTIL PROPER MEASURES HAVE BEEN TAKEN AND APPROVED BY THE CITY ENGINEERING STAFF.
- THE CONTRACTORS SHALL BE RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH THE MOST RECENTLY ADOPTED EDITION OF THE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON, VOL. II AND THE CITY OF CAMAS MUNICIPAL CODE 14.06 (2011).
- ALL EROSION/SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND IN WORKING CONDITION PRIOR TO DISTURBING AND EXPOSING ANY SOIL SURFACES (I.E. CONSTRUCTION ENTRANCES, FILTER FABRIC SEDIMENT BARRIERS, AND SEDIMENTATION TRAPS) AND MAINTAINED FOR THE DURATION OF THE PROJECT. TRAPPED SEDIMENT IN EXCESS OF 1 FOOT SHALL BE REMOVED OR STABILIZED ON-SITE. DISTURBED SOIL AREAS RESULTING FROM VEGETATION REMOVAL SHALL BE PERMANENTLY STABILIZED. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- TO MINIMIZE EROSION AND SEDIMENTATION TRANSPORTATION, EARTHWORK SHALL NOT BE PERFORMED WHILE SOILS ARE IN AN UNSTABLE STATE DUE TO PRECIPITATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE CLEARING LIMITS AND/OR ANY EASEMENTS, SENSITIVE OR CRITICAL AREAS, AND THEIR BUFFERS, TREES, AND DRAINAGE COURSES FLAGGED PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. FLAGGING LIMITS ARE TO BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- REMOVE ONLY THOSE TREES AND SHRUBS THAT NEED TO BE REMOVED FOR THE CONSTRUCTION OF ROADS, SIDEWALKS, UTILITIES, AND STORMWATER FACILITIES.
- ALL EXISTING AND NEWLY CONSTRUCTED ROAD CATCH BASINS AND CURB INLETS AFFECTED BY CONSTRUCTION SHALL BE PROTECTED AGAINST SEDIMENT DEPOSITS. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- ALL POLLUTANTS THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER SYSTEM.
- ALL DISTURBED SOIL SURFACES ARE TO BE STABILIZED BY A SUITABLE APPLICATION OF "BEST MANAGEMENT PRACTICES" (BMP'S). DURING THE PERIOD OF OCTOBER 1 THROUGH JULY 5 DISTURBED SOILS MAY REMAIN UNSTABILIZED FOR UP TO TWO DAYS WHEN NOT BEING WORKED. FROM JULY 5 THROUGH OCTOBER 1, DISTURBED SOILS MAY REMAIN UNSTABILIZED FOR UP TO 7 DAYS WHEN NOT BEING WORKED. STABILIZATION OF DISTURBED SOIL AREAS MAY CONSIST OF HYDROSEEDING, HAND-SEEDING AND MULCHING. PLACEMENT OF EROSION CONTROL BLANKETS OR PLASTIC. SEEDING AREAS ARE TO BE FERTILIZED, WATERED, AND MAINTAINED TO ENSURE THAT THE GROWTH OF VEGETATION OCCURS AS SOON AS POSSIBLE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL BMP'S SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMP'S ARE NO LONGER NEEDED.

REV. NO.	DATE	BY	APPR.	CITY OF CAMAS - EROSION CONTROL DETAIL	DETAIL NO.
1	9/18/07	SCD	JC	EROSION/SEDIMENT CONTROL NOTES	EC2
2	1/1/11	SCD	JC		
				DETAIL APPROVED BY: <i>Joe P. Githen</i> 1-4-11 DATE	NOT TO SCALE

EC-NOTES.DWG

EROSION/SEDIMENT CONTROL NOTES (CONTINUED):

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR POLICING THE JOB SITE DAILY AND MAINTAINING THE EROSION/SEDIMENT CONTROL MEASURES THROUGHOUT ALL PHASES OF CONSTRUCTION. AN INSPECTION LOG SHALL BE KEPT AND MADE AVAILABLE TO THE CITY OF CAMAS. THE POLICING AND MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO:
 - VERIFYING THAT ALL AREAS ARE GRADED SUCH THAT ALL RUNOFF IS DIRECTED TO A SEDIMENTATION DEVICE BEFORE DISCHARGE TO SURFACE.
 - REMOVAL OF TRAPPED SILT AT SILT BARRIERS, SILT TRAPS, OR POINTS OF ACCUMULATION.
 - ADDITIONAL PROTECTIVE MEASURES DUE TO JOB SITE OR WEATHER CONDITIONS AS REQUIRED BY THE CITY OF CAMAS.
 - MONITORING OF VEHICLES LEAVING THE SITE TO MINIMIZE TRANSMISSION OF LOOSE SOILS TO THE PUBLIC ROADWAYS.
 - VERIFY THAT ALL PROPERTIES ADJACENT TO THE PROJECT SITE ARE PROTECTED FROM SEDIMENTATION DEPOSITION. THIS MAY BE ACCOMPLISHED BY INSTALLING PERIMETER CONTROLS SUCH AS SEDIMENTATION BARRIERS, FILTERS OR Dikes, SEDIMENTATION BASINS/TRAPS, OR BY A COMBINATION OF SUCH MEASURES.
- CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES SHALL BE STABILIZED IN ACCORDANCE WITH EROSION/SEDIMENT CONTROL NOTE 11. SLOPES FOUND TO BE ERODING EXCESSIVELY WITHIN TWO YEARS OF CONSTRUCTION MUST BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES. THESE MEASURES MAY CONSIST OF ROUGHENED SOIL SURFACES, INTERCEPTORS, DIVERSIONS OR TERRACES, TEMPORARY OR PERMANENT CHANNELS, ADDITIONAL VEGETATION, OR PIPE SLOPE DRAINS AS REQUIRED BY THE CITY OF CAMAS UNTIL THE PROBLEM IS CORRECTED.
- THE ESC MEASURES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING ANY STORM EVENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING UNDERGROUND UTILITIES AS SPECIFIED BELOW:
 - WHERE FEASIBLE, NO MORE THAN 500 FEET OF TRENCH SHALL BE OPEN AT ONE TIME.
 - WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - TRENCH DE-WATER DEVICES SHALL DISCHARGE INTO A SEDIMENT TRAP OR SEDIMENT POND.
- SUGGESTED STANDARD SEED MIXTURE FOR THOSE AREAS WHERE A TEMPORARY VEGETATIVE COVER IS REQUIRED:

SEED VARIETY	% WEIGHT	% PURITY	% GERMINATION
CHEWINGS OR ANNUAL BLUE GRASS	40	98	90
(FESTUCA RUBRA VAR. COMMUTATA OR PCA ANNU)			
PERENNIAL RYE	50	98	90
(LOLIUM PERENNE)			
RED TOP OR COLONIAL BENTGRASS	5	92	85
(AGROSTIS ALBA OR AGROSTIS TENUS)			
WHITE DUTCH CLOVER	5	98	90
(TRIFOLIUM REPENS)			

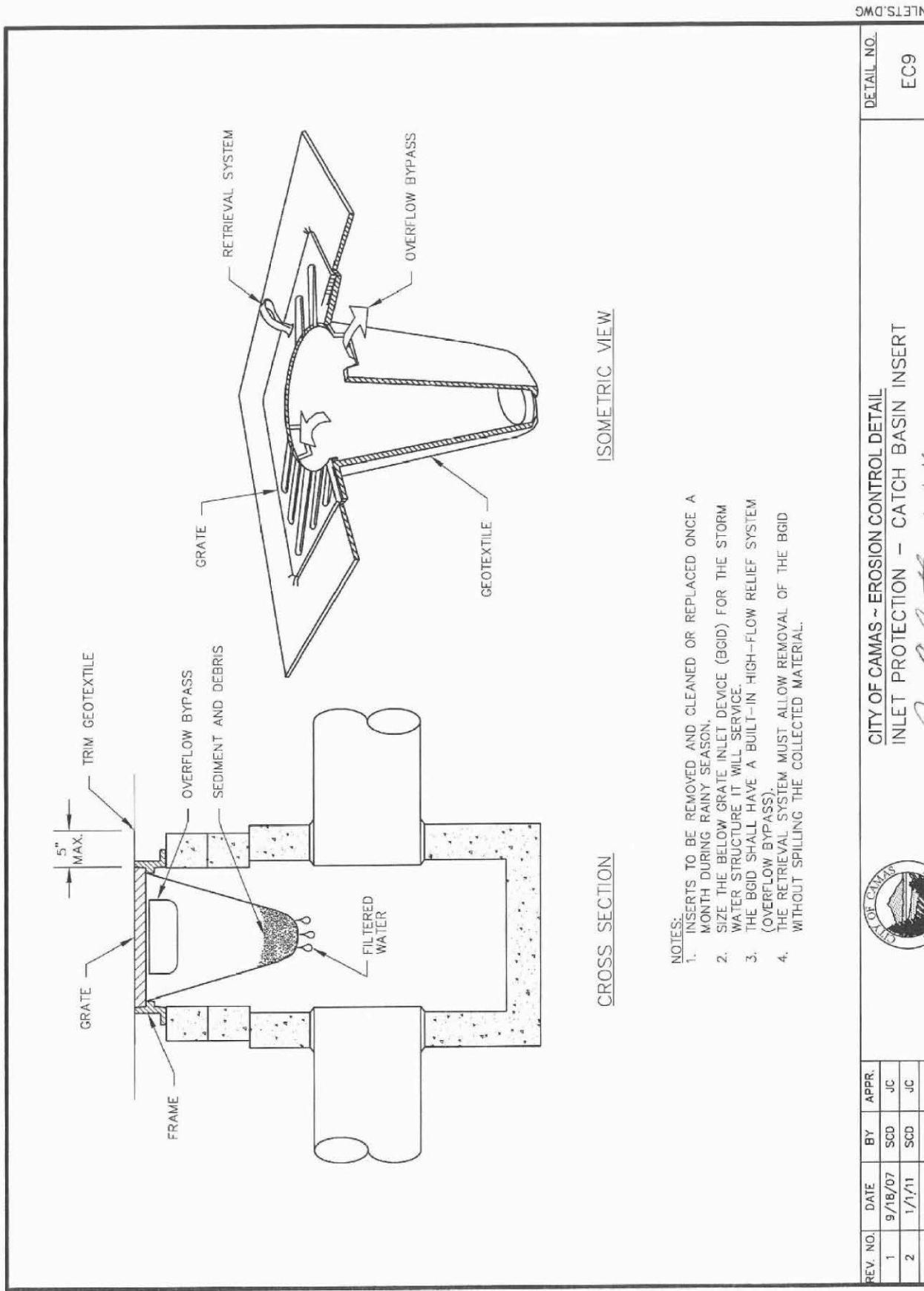
 *APPLICATION RATE OF 120 LBS/ACRE AND COVERED WITH STRAW OR MULCH
- SUGGESTED TURF SEED MIXTURE FOR DRY SITUATIONS WHERE THERE IS NO NEED FOR MUCH WATER:

SEED VARIETY	% WEIGHT	% PURITY	% GERMINATION
DWARF FESCUE (SEVERAL VARIETIES)	45	98	90
(FESTUCA ARUNDINACEA VAR.)			
DWARF PERENNIAL RYE	30	98	90
(LOLIUM PERENNE VAR. BARCLAY)			
RED FESCUE	20	98	90
(FESTUCA RUBRA)			
COLONIAL BENTGRASS	5	98	90
(AGROSTIS TENUS)			

 *APPLICATION RATE OF 120 LBS/ACRE AND COVERED WITH STRAW OR MULCH

REV. NO.	DATE	BY	APPR.	CITY OF CAMAS - EROSION CONTROL DETAIL	DETAIL NO.
1	9/18/07	SCD	JC	EROSION/SEDIMENT CONTROL NOTES	EC3
2	1/1/11	SCD	JC		
				DETAIL APPROVED BY: <i>Joe P. Githen</i> 1-4-11 DATE	NOT TO SCALE

EC-NOTES.DWG



EC-NOTES.DWG

EC9

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CITY OF CAMAS - EROSION CONTROL DETAIL

INLET PROTECTION - CATCH BASIN INSERT

DETAIL APPROVED BY: *Joe P. Githen* 1-4-11 DATE

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CITY OF CAMAS - EROSION CONTROL DETAIL

INLET PROTECTION - CATCH BASIN INSERT

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DETAIL APPROVED BY: *Joe P. Githen* 1-4-11 DATE

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CITY OF CAMAS - EROSION CONTROL DETAIL

ALL TRENCH EXCAVATION AND PIPE INSTALLATION SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE W.S.D.O.T. STANDARD SPECIFICATIONS SECTION 7-08.3(1) AND (A.A.S.H.T.O. M 293). ALL TRENCHES SHALL BE PROTECTED BY AN APPROVED TYPE OF SHIELDING.

PIPE SHALL BE LAPPED OR BUTT JOINTED. ALL TRENCH BACKFILL SHALL BE AN APPROVED GRANULAR MATERIAL OF EITHER WASHED SCREENINGS OR 5/8 INCH MINUS CRUSHED ROCK. SAND BACKFILL IS NOT ALLOWED.

CONTRACTOR SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE W.S.D.O.T. STANDARD SPECIFICATIONS SECTION 7-08.3(3), CONTRACTOR TO DETERMINE THE TYPE OF EQUIPMENT AND METHOD TO USE TO ACHIEVE THE REQUIRED COMPACTION. EACH END OF THE COMBINATION OF PIPE AND FITTINGS SHALL BE COMPACTED TO MAXIMUM DENSITY AS DETERMINED BY THE A.A.S.H.T.O. T-180 TEST METHOD.

PREPARATION OF THE FINISHED SURFACE WITHIN THE WARRANTY PERIOD SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN AND MAKE GOOD ANY SETTLEMENT BY THE CONTRACTOR AT NO EXPENSE TO THE CITY.

ALL SIZES OF SEWER AND FITTINGS SHALL BE THE SAME SIZE AND RATING LARGER SHALL BE P.V.C GASKETED PIPE, ASTM D4036. FITTINGS SHALL BE RATED FOR 200 PSI UNLESS OTHERWISE NOTED. ALL SANITARY SEWER PIPE AND FITTINGS SMALLER THAN 2 INCH DIAMETER SHALL BE CAST IRON.

PIPE SHALL BE BEDDED WITH A MINIMUM OF 4 INCHES OF APPROVED GRANULAR MATERIAL.

14 GAUGE GREEN PIPE (HMWPE) INSULATED COPPER CLAD STEEL TONING WRAP SHALL BE USED ON ALL 42" O.D. PIPE.

ALL SPACES AND CONNECTIONS TO TONING WRAP SHALL BE PROTECTED WITH KING GEL CAPS, 3/4" DIA. BURY, OR OTHER APPROVED MEANS.


ALL PIPE AND FITTINGS SHALL BE HYDROSTATICALLY TESTED AT 150 P.S.I. FOR FIFTEEN MINUTES, EXCEPT LATERAL SERVICES, WHICH SHALL BE TESTED AT 100 P.S.I. FOR 30 SECONDS.

ALL S.T.E.P. SANITARY SEWER MAINLINES SHALL BE INSTALLED WITH A MINIMUM COVER OF 5 FEET.

ALL S.T.E.P. SANITARY SEWER LATERALS SHALL BE INSTALLED IN A DEDICATED TRENCH FROM THE SERVICE CONNECTION TO THE TANK. BACKFILL SHALL BE APPROVED GRANULAR MATERIAL AS ABOVE AND SHALL BE COMPACTED TO MAXIMUM DENSITY.

ALL TANKS WITH A BURY DEPTH OVER 4'-0" MUST HAVE H=20 RATED TANK LID.

REV. NO.	DATE	BY	APPV.
1	5/1/07	SCD	JC
2	1/1/11	SCD	JC
3	10/21/14	SCD	JC



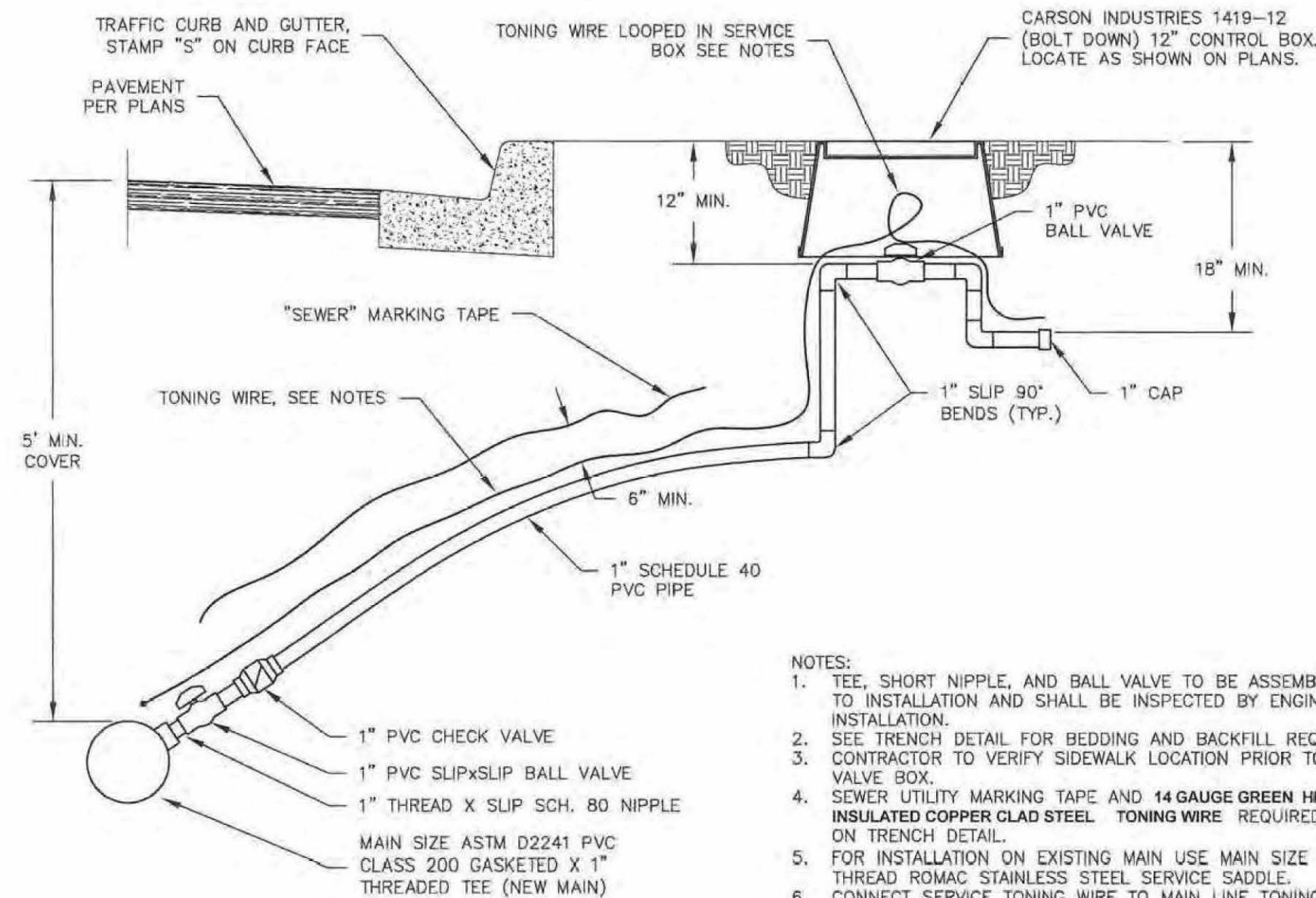
CITY OF CAMAS ~ SANITARY DETAIL

STEP SEWER CONSTRUCTION NOTES

Don E. Heather 10-21-14

DESIGN: ADDITIONAL BY DATE

NOT TO SCALE



- NOTES:
1. TEE, SHORT NIPPLE, AND BALL VALVE TO BE ASSEMBLED PRIOR TO INSTALLATION AND SHALL BE INSPECTED BY ENGINEER BEFORE INSTALLATION.
 2. SEE TRENCH DETAIL FOR BEDDING AND BACKFILL REQUIREMENTS.
 3. CONTRACTOR TO VERIFY SIDEWALK LOCATION PRIOR TO LOCATING VALVE BOX.
 4. SEWER UTILITY MARKING TAP, 14 GAUGE GREEN HDPE INSULATED COPPER CLAD STEEL TONING WIRE REQUIRED AS SHOWN ON TRENCH DETAIL.
 5. FOR INSTALLATION ON EXISTING MAIN USE MAIN SIZE X 1" I.P. THREAD ROMAC STAINLESS STEEL SERVICE SADDLE.
 6. CONNECT SERVICE TONING WIRE TO MAIN LINE TONING WIRE WITH KNIFE, GEL CAPS, OR BY DIRECT BURST CAPS, OR OTHER APPROVED CONNECTION, AT ALL SPLICES.

REV. NO.	DATE	BY	APPR.
1	5/1/07	SCD	JC
2	1/1/11	SCD	JC
3	10/21/14	SCD	JC

CITY OF CAMAS ~ SANITARY DETAIL
STEP SEWER SERVICE

DETAIL APPROVED BY Det. P. Carsten 10-21-14 DATE

DETAIL NO.


SP2

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STEP-SERVING

- ALL TRENCH EXCAVATION AND PIPE INSTALLATION SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE W.S.D.O.T. STANDARD SPECIFICATIONS SECTION 7-06.3(1) AND SECTION 7-06.3(2).
- EXPOSED EARTH SHALL BE PROTECTED BY A WASHED SCREENINGS OR 5/8 INCH MINUS GRUSHED ROCK. SAND BACKFILL IS NOT ALLOWED.
- TRENCH PROTECTION SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE W.S.D.O.T. STANDARD SPECIFICATIONS SECTION 7-06.5(3). CONTRACTOR TO DETERMINE THE TYPE OF EQUIPMENT AND METHOD TO USE TO ACHIEVE THE REQUIRED PROTECTION. EACH LIFT SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE M.V.T. METHOD.
- SETTLEMENT OF THE FINISHED SURFACE WITHIN THE WARRANTY PERIOD SHALL BE CONSIDERED TO BE A RESULT OF IMPROPER PROTECTION AND SHALL BE PROMPTLY REMEDIATED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- ALL PIPE AND FITTINGS SHALL BE P.V. GASKETED PIPE, ASTM D2241 PRESSURE RATED FOR 200 PSI, 12 INCHES OR SMALLER.
- PIPE SHALL BE BEDDED WITH A MINIMUM OF 4 INCHES OF APPROVED GRANULAR MATERIAL.
- 14 GAUGE GREEN HDPE (HMWPE) INSULATED COPPER CLAD STEEL TONING WIRE SHALL BE INSTALLED TO PROTECT ALL TONING WIRE. THE TONING WIRE SHALL BE PROTECTED BY A MINIMUM OF 4 INCHES OF APPROVED GRANULAR MATERIAL.
- PIPE SHALL BE ACCESSIBLE AT ALL SERVICE TANK, LAUNCHER MARKER, BARS, A.R.V.'S, RISERS, AND CLEANOUTS. ALL SPLICES AND CONNECTIONS TO TONING WIRE SHALL BE PROTECTED WITH 12 INCHES OF 1/2" MIN. GRAVEL.
- ALL TONING WIRE CONNECTIONS SHALL BE TONE TESTED PRIOR TO INSTALLING BASE ROCK. MAINLINE CLEANOUTS SHALL BE SPACED A MAXIMUM OF 400 FEET AND/OR FOR EVERY 90 DEGREES.
- ALL PIPE AND FITTINGS SHALL BE AIR TESTED AT FIVE P.S.I. FOR ONE MINUTE PER EVERY 100 FEET OF MAINLINE.
- ALL SERVICE TANKS AND LATERALS SHALL EXTEND 8 FEET PAST THE STREET RIGHT-OF-WAY LINE OR AS SHOWN ON THE PLANS AND MARKED WITH A 10 FOOT LONG 2 X 4.
- ALL SANITARY LINES SHALL BE INSTALLED WITH A MINIMUM COVER OF 6 FEET AND A MINIMUM SLOPE OF 1/8" PER 4' UNLESS OTHERWISE NOTED.
- ALL S.T.E.F. SANITARY SEWER LATERALS SHALL BE INSTALLED IN A DEDICATED TRENCH FROM THE SERVICE CONNECTION TO THE TANK. BACKFILL SHALL BE APPROVED GRANULAR MATERIAL AS APPROVED BY THE DISTRICT ENGINEER.
- ALL TANKS WITH A BURY DEPTH OVER 4'-0" MUST HAVE H-20 RATED TANK LID

REV. NO.	DATE	BY	APPR.
1	5/1/07	SCD	JC
2	1/1/11	SCD	JC
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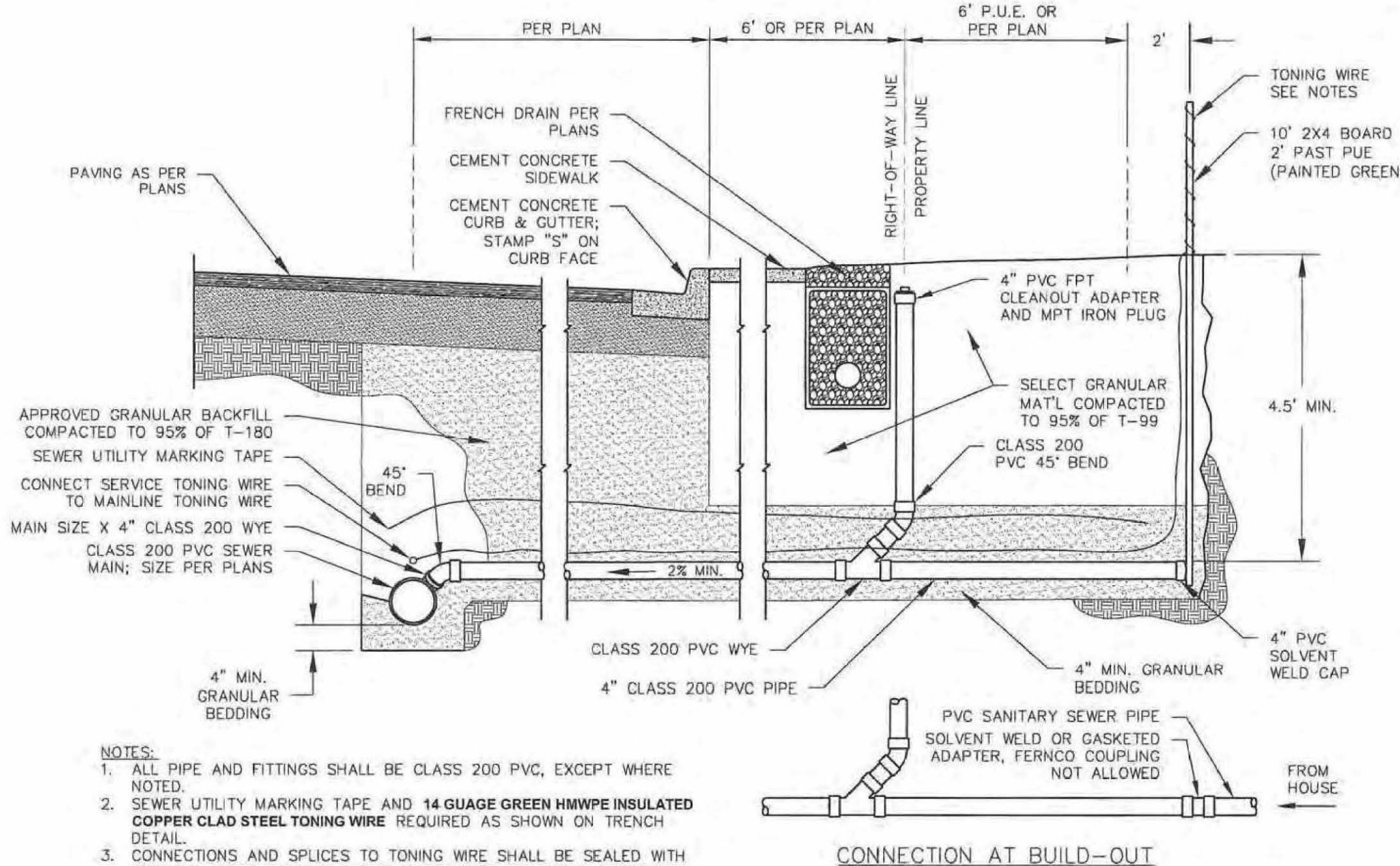


CITY OF CAMAS ~ SANITARY DETAIL

STEF SEWER CONSTRUCTION NOTES

[Signature] 10-21-14

NOT TO SCALE



- NOTES:**
1. ALL PIPE AND FITTINGS SHALL BE CLASS 200 PVC, EXCEPT WHERE NOTED.
 2. SEWER UTILITY MARKING TAPE AND 14 GAUGE GREEN HMWPE INSULATED COPPER CLAD STEEL TONING WIRE REQUIRED AS SHOWN ON TRENCH DETAIL.
 3. CONNECTIONS AND SPLICES TO TONING WIRE SHALL BE SEALED WITH KING CL CAPS, 3M DBY DIRECT BURY CAPS, OR OTHER APPROVED CONNECTION, AT ALL SPLICES.
 4. ELEVATION OF SERVICE STUB OUT AND CONNECTION SHALL BE NOTED ON AS-BUILT DRAWINGS.

REV. NO.	DATE	BY	APPR
1	5/1/07	SCD	JC
2	1/1/11	SCD	JC



CITY OF CAMAS ~ SANITARY DETAIL
STEF SEWER SERVICE STUB OUT

DETAIL APPROVED BY Don P. Carstensen DATE 1-4-11

DETAIL NO
SF2

NOT TO SCALE

ITEF-SERV.DWG

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STERLING
DESIGN, INC.

Sheet Description:

DETAILS SHEET

Project:

FRANKLIN DUPLEX



Scale: AS SHOWN

Project Number: 708

Design/Drawn **JGS/BC**

Drawing Date: JAN. 2017

Sheet 9 of 10 Sheet(s)

WATER CONSTRUCTION NOTES:

1. ALL TRENCH EXCAVATION AND PIPE INSTALLATION SHALL CONFORM TO THE MOST CURRENT A.W.W.A. STANDARDS, AND THE MOST RECENTLY ADOPTED EDITION OF THE W.S.D.O.T. STANDARD SPECIFICATIONS SECTION 7-08.3(1) AND SECTION 7-08.3(2). ALL EXCESS MATERIAL FROM THE TRENCH EXCAVATION SHALL BE LOADED DIRECTLY INTO A DUMP TRUCK AND DISPOSED OF AT AN APPROVED SITE.

2. PIPE BEDDING, PIPE ZONE MATERIAL AND TRENCH BACKFILL SHALL BE AN APPROVED GRANULAR MATERIAL OF EITHER WASHED SCREENINGS OR 5/8 INCH MINUS CRUSHED ROCK. SAND BACKFILL IS NOT ALLOWED.

3. TRENCH COMPACTION SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE W.S.D.O.T. STANDARD SPECIFICATIONS SECTION 7-08.3(3). CONTRACTOR TO DETERMINE THE TYPE OF EQUIPMENT AND METHOD USED TO ACHIEVE THE REQUIRED COMPACTION AND BE APPROVED BY THE CITY OF CAMAS. EACH LIFT SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE A.A.S.H.T.O. T-180 TEST METHOD.

4. SETTLEMENT OF THE FINISHED SURFACE WITHIN THE WARRANTY PERIOD SHALL BE CONSIDERED TO BE A RESULT OF IMPROPER COMPACTION AND SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE CITY.

5. ALL VALVES 10 INCHES OR LESS IN DIAMETER SHALL BE A.W.W.A. APPROVED RESILIENT WEDGE GATE VALVES, BUBBLE TIGHT AT 200PSI, HAVE NON RISING STEMS, AND OPEN BY TURNING TO THE LEFT. PROVIDE A 2 INCH SQUARE NUT TO CONFORM TO A.W.W.A. C-504. ALL VALVES 12 INCHES OR LARGER IN DIAMETER SHALL BE A.W.W.A. APPROVED BUTTERFLY VALVES.

6. ALL WATER PIPE 12 INCHES OR LESS IN DIAMETER SHALL BE DUCTILE IRON CLASS 52 PIPE. ALL WATER PIPE 14 INCHES IN DIAMETER AND LARGER SHALL BE DUCTILE IRON CLASS 51 PIPE. RUBBER GASKET TYPE SHALL BE U.S. PIPE, TYTON OR APPROVED EQUAL. ALL FITTINGS SHALL BE DUCTILE IRON AND SHALL CONFORM TO THE A.W.W.A. STANDARD C-110.

7. ALL TEES, FLANGES, CAPS, BENDS AND OFFSETS, AS WELL AS ALL OTHER APPURTENANCES WHICH ARE SUBJECT TO UNBALANCED THRUST, SHALL BE PROPERLY BRACED BY ONE OF THE FOLLOWING METHODS:
A. CONCRETE THRUST BLOCKING- AS DETAILED IN THE PLANS, SHALL BE PLACED AT BENDS, TEES, DEAD ENDS AND CROSSES. BLOCKING SHALL BE 3000 PSI CONCRETE POURED IN PLACE. CONCRETE BLOCKING SHALL BE AGAINST SOLID UNDISTURBED EARTH AT THE SIDES AND BOTTOM OF THE TRENCH EXCAVATION AND SHALL BE SHAPED SO AS NOT TO OBSTRUCT ACCESS TO THE JOINTS OF THE PIPE. 6 MIL. PLASTIC SHALL BE USED TO INSULATE PIPE.
B. MECHANICAL JOINT RESTRAINT-USE "CEBBA IRON SERIES 1100 MECA LUG MECHANICAL JOINT THRUST RESTRAINT" OR APPROVED EQUAL. CONTRACTOR TO RESTRAIN THE MINIMUM REQUIRED PIPE LENGTH WITH "FIELD-LOK" GASKETS OR APPROVED EQUAL.

8. ALL WATER MAINS SHALL BE TESTED AT 200PSI IN ACCORDANCE WITH SECTION 7-09.3(23) OF THE STANDARD SPECIFICATIONS. THE CITY SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ACCEPTANCE TESTING. MAXIMUM LENGTH OF PIPE TO BE TESTED AT ONE TIME IS 1000 FT.

9. CHLORINATION SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 7-09.3(24) OF THE STANDARD SPECIFICATIONS. CITY INSPECTOR WILL TAKE SAMPLES AND DELIVER TO LABORATORY FOR BACTERIA TESTING. NEGATIVE SAMPLE RESULTS SHALL BE CONFIRMED, PRIOR TO PRESSURE TESTING, DECHLORINATION OR DISPOSAL TO SANITARY MAIN MAY BE REQUIRED.

10. APPROPRIATE DISPOSAL AND/OR DECHLORINATION OF FLUSHED WATER DURING BLOWOFF IS THE RESPONSIBILITY OF THE CONTRACTOR. METHOD USED SHALL BE APPROVED BY CITY AND OTHER REGULATING AUTHORITIES.

11. WATER MAIN TO HAVE A MINIMUM COVER OF 30 INCHES. WATER SERVICES TO HAVE A MINIMUM 24" OF COVER.

12. ALL EXISTING VALVES TO BE OPERATED BY CITY OF CAMAS WATER/SEWER DEPARTMENT PERSONNEL ONLY.


13. NO CONNECTIONS TO EXISTING WATER MAINS SHALL BE MADE PRIOR TO SATISFACTORY PRESSURE TESTING, DISINFECTION, AND THE CONFIRMATION OF A NEGATIVE BACTERIA TEST.

REV. NO. DATE BY APPR. CITY OF CAMAS - WATER DETAIL WATER CONSTRUCTION NOTES DETAIL NO. W1

1 7/17/06 SED RFS1071

2 5/7/07 SED JC

3 1/17/11 SED JC



DETAIL APPROVED BY: *R. B. [Signature]* DATE: 1-4-11

NOT TO SCALE

W1-NOTESTING

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STERLING
DESIGN, INC.

Sheet Description:
DETAILS SHEET

Project:
FRANKLIN DUPLEX

Scale: AS SHOWN
Project Number: 708
Design/Drawn: JGS/BC
Drawing Date: JAN. 2017

Sheet 10 of 10 Sheet(s)

Exhibit 3

CUP17-01

From: [Matthew Huang](#)
To: [Community Development Email](#)
Subject: CUP17-01 and CUP17-02 Franklin Duplex North and South
Date: Saturday, April 01, 2017 2:23:59 PM

Dear Ms. Fox,

I am writing in regards to the Notice of Application for the Franklin Duplex North and South (CUP17-01 and CUP17-02).

I am a property owner and resident at 4202 NE Everett Ct., Camas. While I am willing to accept duplexes in our neighborhood, I am not in support of in approving this CUP.

The said properties are zones R-7.5 Residential-7,500. According to Section 18.05.040.E of the Camas Municipal Code, the zone is intended for densities of five to six dwelling units per acre. Timber Grove, LLC owns two properties, which I calculated to have a total land area of 0.47 acres. Based on this property size and the land use, I am willing to accept three residential units on this property, but four residential units are too much. Increasing the housing density beyond the land use places too much strain on our roads, public facilities and environment. We want to maintain our lifestyle, and urge the City not to start a precedent by allowing residential densities higher than the approved land use.

Thank you.

Matthew Huang



STAFF REPORT
FRANKLIN DUPLEX SOUTH
FILE NO. CUP17-02

TO: Hearings Examiner **HEARING DATE:** April 4, 2017

BY: Sarah Fox, Senior Planner **REPORT DATE:** March 22, 2017

PROPOSAL: To request conditional use approval to construct a duplex on a single family lot.

LOCATION: The site is located at 4033 NE Franklin Street, Camas, which is also described as Tax Parcel #178207-000.

APPLICANT: Timber Grove, LLC
1625 NW Ivy Street
Camas, WA 98607

APPLICATION SUBMITTED: January 13, 2017	Technically Complete: February 27, 2017
PUBLIC NOTICE: Notice of application and public hearing was mailed to property owners within 300 feet of the site on March 16, 2017, and published in the Post Record on March 16, 2017, legal publication #579270.	
APPLICABLE LAW: The application was submitted on January 13, 2017, and the applicable codes are those vested and in effect through Ordinance # 16-031 (12/05/16). Camas Municipal Code Chapters (CMC): Title 16 Environment, Title 17 Land Development; and Title 18 Zoning; Specifically (not limited to): Chapter 17.19 Design & Improvement Standards; Chapter 18.07 Use Authorization, Chapter 18.09 Density and Dimensions; Chapter 18.13 Landscaping; Chapter 18.19 Design Review; Chapter 18.43 Conditional Use Permits; and Chapter 18.55 Administrative Provisions. [Note: Citations from Camas Municipal Code (CMC) are indicated with <i>italicized type</i>.]	

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I. SUMMARY

The applicant has proposed to redevelop a residential lot with a duplex. The lot is in a single family zone, Residential 7,500 (R-7.5), where duplex developments must obtain conditional use approval per CMC§18.07.040-Table 2.

The 9,899 sq. ft. property is vacant and slopes away from the road. The homes along NE Franklin Street include a mix of ranch and two-story homes, generally built in the 1950's and 60's. There is a newer subdivision, Lacamas Pointe, to the rear of the property with a similar mix of single and two-story homes that were built within the last six years. There is a duplex located at the north end of NE Franklin Street (Figure 2), otherwise there are no other duplexes in the vicinity.

II. CRITERIA OF APPROVAL FOR CONDITIONAL USE PERMITS (CMC§18.43.050 "A" THROUGH "F")

A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;

Discussion: CMC 18.03.040 Definitions, defines duplex as *"a structure containing two dwelling units on one lot."* The applicant has proposed a structure with two dwelling units, which is consistent with this definition. The project is a redevelopment in a single family zone, but is a use that can be conditionally allowed.

Findings: The proposed development as a duplex is allowed with approval of a conditional use permit.

B. THE PROPOSED USE SHALL MEET OR EXCEED THE DEVELOPMENT STANDARDS THAT ARE REQUIRED IN THE ZONING DISTRICT IN WHICH THE SUBJECT PROPERTY IS SITUATED;

Discussion: Development standards at CMC§18.09.040 Table 2, for a single family lot include building setback minimums, maximum height standards, and maximum building lot coverage standards. Compliance with those standards is discussed below under the subheading "Setbacks". There are also specific building design standards for duplexes within CMC Chapter 18.19 that is discussed in detail at Criterion "C" of this report. There are landscaping requirements within both CMC Chapter 17.19 Design and Improvement Standards and CMC Chapter 18.13 Landscaping, which is discussed below at subheading "Landscaping".

SETBACKS: The applicant has proposed side yard setbacks of 22 feet. The minimum side yard setback is five feet. The neighboring homes are generally consistent with the standard with side yard setbacks ranging from five to ten feet. The rear yard proposed is 22-1/2 feet. The minimum rear yard setback is 25-feet, so the proposal does not meet this standard.

The lot slopes away from the road by approximately 24 percent from the front of the lot to the rear. There is an exception to the front setback for such lots that allows for a reduction to the standard setback of 20 feet. It is also noticeable that the most of the surrounding properties utilized a lesser front setback than the required minimum of 20-feet.

CMC§18.09.130(B) states, *"Sloping Lot in any Zone. If the natural gradient of a lot from front to rear along the lot depth line exceeds an average of twenty percent, the front yard may be reduced by one foot for each two percent gradient over twenty percent. In no case under the provisions of this subsection shall the setback be less than ten feet."* The front setback could be reduced to 18 feet, as there is an average of 24 percent grade. A note on the revised drawings will be recommended.

Findings: The rear setback does not meet the minimum standard of 25 feet. The side and front setbacks are in excess of the requirements. A condition to illustrate the minimum setbacks on the revised drawings is recommended.

LANDSCAPING: The applicant is proposing a tree in the front yard of each dwelling unit. A street tree for every new residential unit is a requirement per CMC17.19.030 (F)(1), “Each dwelling unit within a new development shall be landscaped with at least one tree in the planting strip of the right-of-way, or similar location in the front yard of each dwelling unit, with the exception of flag lots and lots accessed by tracts. Required trees shall be a minimum two-inch diameter at breast height (dbh) to create a uniform streetscape (dbh is four and one-half feet above the ground as measured from upside of tree).” The proposed tree in front of each unit complies with this standard.

However, the new use is also a conditional use, which requires compliance with additional landscaping standards at CMC§18.13.020. The following is an analysis of compliance with the landscaping standards of CMC Chapter 18.13 Landscaping at 18.13.050 - **Landscaping standards** (A through S). The application did not address landscaping for the CUP use.

A. The property owner shall be responsible for any future damage to a street, curb, or sidewalk caused by landscaping.

Findings: The building department will monitor if damage occurs during construction.

B. Landscaping shall be selected and located to deter sound, filter air contaminants, curtail erosion, minimize stormwater run-off, contribute to living privacy, reduce the visual impacts of large buildings and paved areas, screen, and emphasize or separate outdoor spaces of different uses or character.

C. Plants that minimize upkeep and maintenance shall be selected.

D. Plants shall complement or supplement surrounding natural vegetation.

E. Plants chosen shall be in scale with building development.

F. Minimum landscaping as a percent of gross site area shall be as follows:

Community Commercial (CC) standard applies of 10%

G. Deciduous trees shall have straight trunks, be fully branched, have a minimum caliper of one and one-half inches, be equivalent to a fifteen-gallon container size, and be adequately staked for planting.

H. Evergreen trees shall be a minimum of five feet in height, fully branched, and adequately staked for planting.

I. Shrubs shall be a minimum of five-gallon pot size. Upright shrubs shall have a minimum height at planting of eighteen inches. Spreading shrubs at planting shall have a minimum width of eighteen inches (smaller shrub sizes may be approved where it is more appropriate within a particular landscape plan).

J. Ground cover, defined as living material and not including bark chips or other mulch, shall at planting, have a maximum spacing of twelve inches on center for flats, and a maximum twenty-four inches on center between mature plants from containers of one gallon or larger.

Findings: A landscape plan must be submitted and reviewed for compliance with standards B through J.

K. Appropriate measures shall be taken, e.g., installations of watering systems, to assure landscaping success. If plantings fail to survive, it is the responsibility of the property owner to replace them.

Findings: Staff has included a condition in regard to the installation of a watering system.

L. Trees shall not be planted closer than twenty-five feet from the curb line of the intersections of streets or alleys, and not closer than ten feet from private driveways (measured at the back edge of the sidewalk), fire hydrants, or utility poles.

Findings: The proposed trees appear to be located approximately 25-feet from the existing paved roadway surface. They are approximately 10-feet from the private driveway.

M. Street trees shall not be planted closer than twenty feet to light standards. Except for public safety, no new light standard location should be positioned closer than ten feet to any existing street tree, and preferably such locations will be at least twenty feet distant.

Findings: There does not appear to be a light standard adjacent to the trees.

N. Trees shall not be planted closer than two and one-half feet from the face of the curb except at intersections, where it should be five feet from the curb in a curb return area.

Findings: Review of tree placement should occur with landscape plan review and approval.

O. Where there are overhead power lines, tree species that will not interfere with those lines shall be chosen.

Findings: Not applicable

P. Trees shall not be planted within two feet of any permanent hard surface paving or walkway. Sidewalk cuts in concrete for trees shall be at least four feet by four feet; however, larger cuts are encouraged because they allow additional area and water into the root system and add to the health of the tree. Space between the tree and such hard surface may be covered by permeable nonpermanent hard surfaces such as grates, bricks on sand, paved blocks, cobblestones, or ground cover.

Findings: The pathway as proposed will likely be too close to the tree. The applicant could meander the path, use pavers, or other permeable surfaces as noted in this criterion. A note to that effect will be recommended.

Q. Trees, as they grow, shall be pruned to their natural form to provide at least eight feet of clearance above sidewalks and twelve feet above street roadway surfaces.

Findings: Not applicable at this time.

R. Existing trees may be used as street trees if there will be no damage from the development which will kill or weaken the tree. Sidewalks of variable width and elevation may be utilized to save existing street trees, subject to approval by the city.

Findings: Not applicable

S. Vision clearance hazards shall be avoided.

Findings: The property is not a corner lot, and vision clearance hazards are not a concern.

ROADS: As noted above, the existing residential buildings in this zone have front yard setbacks that are less than required under the Camas zoning code. For this reason, the development standards for this street are not feasible as they are not attainable on neighboring properties due to lack of right of way and real estate. The standards at CMC§17.19.040(B) requires that new developments construct half street improvements. The applicant proposed to dedicate 10-feet of the property for right-of way to meet this standard. This would place the front building setback of the property at a distance that is incompatible with the surrounding neighborhood. For all of these reasons, the applicant should be required to meet the standards, but to the extent feasible. Dedication of 26' of street right of way from the *existing* center line will be required, along with installing minimal improvements as recommended by the City Engineer.

Findings: The dedication of sufficient right-of-way and installation of improvements to allow for future level of service considerations is warranted. Staff finds that the following requirements are feasible and are more compatible with the neighboring properties:

- Per CMC 17.19.040 (B) the applicant will be required to dedicate 26' from the existing center line of the street right-of-way.
- The applicant will be required to pave an additional 8' width for on-street parking.
- The applicant shall construct a 5' wide hard surface path that is ADA compliant. Path edge closest to centerline will be located 3' from the edge of the paved on-street parking area. Final design must be approved by the City Engineer.

C. THE PROPOSED USE SHALL BE COMPATIBLE WITH THE SURROUNDING LAND USES IN TERMS OF TRAFFIC AND PEDESTRIAN CIRCULATION, DENSITY, BUILDING, AND SITE DESIGN;

Discussion: The subject property is located along a street corridor that is dominated by ranch and two-story homes. The lots are generally 90-feet wide by 100-feet deep, which is similar to the subject property. The front building faces (linear measurement) of the surrounding homes are approximately 61 lineal feet. The average width of their garages is 20-feet wide (Figure 1). Among the ten homes surveyed, the setbacks vary from the improved roadway from 10 feet to 60 feet. The surrounding neighborhood currently lacks pedestrian circulation and paved on-street parking; however, mitigating conditions were proposed under Criterion B.

The applicant has proposed a design that appears to be two garages doors facing the street. The front doors of the dwellings are setback from the front building face 10-feet and are four feet wide. The submitted elevation drawing (Sheet 7) indicates that the front door would be visible, however that is unlikely given the distance from the front face of the structure.

The duplex is designed on a 90-foot wide lot, and would have a building that is 23 feet wide for each unit, with four feet of width for the entry door and 19 feet for the garage (door and trim). The width of the garage would be 82% of the front of each unit. There are not any homes in the vicinity that are similar to the proposed design with a garage door as the predominant feature. The average home in this area has 61% of their building frontage as living area (e.g. front doors and windows) and 39% as garage (Figures 1 and 4). Also, the existing duplex development at 4235 NE Franklin has a 12-foot wide garage for each unit, with a total lineal feet for the each side of the structure of 44 feet (27%). A condition to require that the design of the structure to better complement the existing buildings in the area should be provided.

The width of the lot is 90-feet, and with the required 5-foot side yard setbacks, the building could be 80-feet wide. A more suitable building style would match that of the surrounding homes with the garages being an average of 39% of the front. The Design Review standards for duplexes at CMC§18.19.050(B)(3)(C) restricts the size of garages to 50% of the front. Mitigation for this deficiency would ideally balance the amount of garage facing the street to be in the range of 39% to 50% is warranted.

Site design also includes the location of the entrance of the duplex, which is proposed 10-feet from the front face. This location is inconsistent with the surrounding homes. In general, the entry doors are at the front of the building envelope or setback a few feet with a covered porch, and are distinguished from the rest of the structure. A condition in regard to the placement of the front door is warranted and is proposed.

Findings: The development design is incompatible with the surrounding land uses and conditions to mitigate are proposed. Mitigation measures for the lack of pedestrian circulation and parking were proposed.

D. APPROPRIATE MEASURES HAVE BEEN TAKEN TO MINIMIZE THE POSSIBLE ADVERSE IMPACTS THAT THE PROPOSED USE MAY HAVE ON THE AREA IN WHICH IT IS LOCATED;

Discussion: The proposed use as a duplex should, if designed properly, blend into the surrounding neighborhood. Staff has proposed conditions in regard to the design of the structure, landscaping, and roadway improvements that should mitigate any potential adverse impacts of the project.

Findings: Staff has proposed conditions of approval to minimize potential adverse impacts.

E. THE PROPOSED USE IS CONSISTENT WITH THE GOALS AND POLICIES EXPRESSED IN THE COMPREHENSIVE PLAN;

Discussion: The citywide land use policy, Policy LU-1.3 requires compatibility of use and design of the surrounding and built environment for new development. Also, policy LU-1.5, states, *"Where compatible with surrounding uses, encourage redevelopment or infill development to support the efficient use of urban land."* Throughout this report, staff has discussed how the design of the project as proposed is incompatible, and has

proposed conditions on how the project can be more compatible with the surrounding land uses. The use of the project as a duplex does support the policy of “efficient use of urban land”.

Policy H-1.6, states, “Encourage in-fill development on vacant or underutilized sites, **subject to design review guidelines**, that have adequate urban services, and **ensure that the development is compatible with the surrounding neighborhood**” [Emphasis added]. Analysis of the surrounding neighborhood is provide with Figures 1 through 4 at the back of this report. Design review guidelines for a duplex development is focused on limiting the amount that the front of the structure is devoted to a garage per CMC§18.19.050(B)(3)(C). Staff evaluated the surrounding neighborhood and suggested a condition to remedy the deficiency.

Findings: Staff has proposed conditions that will carry out the intent and purposes of the comprehensive plan.

F. ANY SPECIAL CONDITIONS AND CRITERIA ESTABLISHED FOR THE PROPOSED USE HAVE BEEN SATISFIED. IN GRANTING A CONDITIONAL USE PERMIT THE HEARINGS EXAMINER MAY STIPULATE ADDITIONAL REQUIREMENTS TO CARRY OUT THE INTENT OF THE CAMAS MUNICIPAL CODE AND COMPREHENSIVE PLAN.

Findings: Staff has proposed conditions that will carry out the intent and purposes of the CMC and the comprehensive plan.

III. ARCHAEOLOGICAL REVIEW

Archaeological Resource Preservation – CMC Chapter 16.31

The criteria for approval of archaeological review can be found at CMC§16.31.140.

DISCUSSION: The applicant provided an archeological survey that is consistent with CMC§16.31.120. The applicant provided notification and copies of the report to tribes, as required per CMC§16.31.160. The report and findings are not subject to the open public records act and as such, the city cannot disclose the report. However, no additional archaeological work will be required.

IV. CONCLUSIONS OF LAW

Based on the above findings and discussion provided in this report, staff concludes that the consolidated application for a duplex (File #CUP17-02) should be approved, because it does or can comply with the applicable standards.

- The application materials are in conformance with CMC Chapter 18.55, Article III Application Requirements.
- As conditioned, the development can satisfy the public design standards of 17.19.040 Infrastructure Standards.
- As conditioned, the development can satisfy the Design Review Standards of CMC Chapter 18.19 Design Review.
- As conditioned, the development can satisfy the requirements of CMC Chapter 18.43 Conditional Use Permits.

V. RECOMMENDATIONS

Staff recommends APPROVAL of the application for Franklin Duplex South (File #CUP17-02) with conditions. The recommendation is based on the application meeting the minimum requirements of Camas Municipal Codes, and conditioned as follows:

PROPOSED CONDITIONS

The following conditions are in addition to any conditions required from other permits or approvals issued to this project. Unless otherwise waived or modified in this decision, the development must comply with the minimum requirements of the Camas Municipal Code.

1. Stormwater treatment, including phosphorous removal, and detention facilities shall be designed in accordance with the 2014 Stormwater Management Manual for Western Washington and the Camas Stormwater Design Standards Manual, if triggered under said manuals (e.g. over 5,000 sq. ft. of impervious surface). Final stormwater calculations shall be submitted at the time of final construction plan submittal.
2. All construction plans for work in the right of way will be prepared in accordance with City Design Standards Manual and City Standards. The plans will be prepared by a licensed civil engineer in Washington State and submitted to the City for review and approval.
3. Underground (natural gas, CATV, power, street light and telephone) utility plans shall be submitted to the City for review and approval prior to approval of the construction plans.
4. A 3% construction plan review and inspection fee shall be required for all civil site work in this development. The fee will be based on an engineer's estimate or construction bid. The specific estimate will be submitted to the City for review and approval. The fee will be paid prior to the construction plans being signed and released to the applicant. Under no circumstances will the applicant be allowed to begin construction prior to approval of the construction plans.
5. The applicant shall remove all temporary erosion prevention and sediment control measures from the site at the end of the two-year warranty period, unless otherwise directed by the Public Works Director.
6. Final as-built construction drawing submittals shall meet the requirements of the CMC 17.11.060, CMC 17.01.050 and the Camas Design Standards Manual for engineering as-built submittals.
7. The applicant shall dedicate 26' from the existing center line of the street right-of-way Per CMC 17.19.040 (B).
8. The applicant will be required to pave an additional 8' width for on-street parking.
9. The applicant shall construct a 5' wide hard surface path that is ADA compliant. Path edge closest to centerline will be located 3' from the edge of the paved on-street parking area. Final design must be approved by the City Engineer.
10. The applicant shall revise the site plan drawings to illustrate the location of the minimum setback standards per CMC18.09.040 Table 2, and to include the front setback exception standard for sloping lots per CMC18.09.130. **The front structure setback is 18-feet, the side setback is 5-feet and the rear setback is 25-feet. The maximum lot coverage is 40%.**
11. The design of the duplex will be revised to adjust the amount of garage frontage to be no greater than 50% of the total lineal feet of the front building face. The entrance of the residence will be either forward of the front face of the garage or flush with the garage and distinguished with architectural elements (e.g. covered porch, pillars).
12. A landscaping plan must be provided no later than building plan submittal, and approved by the Planning Division prior to commencement of site construction.

a. A landscaping plan must include trees (minimum 2" caliper) and shrubs (minimum five gallon) within the front yard.

b. *Trees shall not be planted within two feet of any permanent hard surface paving or walkway, or ten feet from private driveways. The applicant could provide an alternative to the concrete walkway by using permeable surfaces, pavers or a narrower, meandering pathway.*

13. The approved landscaping shall be maintained in a manner as to ensure plant survival for three years after installation. A watering system shall be required. If plantings fail to survive, they must be replaced promptly.

14. Landscaping and watering system shall be installed consistent with the approved final landscaping plan prior to receiving final occupancy permits from the Building Division.

15. This permit shall expire in two years of the date of the final decision per CMC§18.55.260, if no building plans are submitted.

FIGURE 1: ANALYSIS OF TEN LOTS ADJACENT TO SUBJECT SITE

ADDRESS	BUILDING STYLE	FRONTAGE (TOTAL LF)	GARAGE (LF)	CARPORT (LF)	% GARAGE	YEAR BUILT	ADJACENCY
4117	Ranch, single-story	52		25	48%	1957	North of Site
4235	Duplex, two-story*	44	12	0	27%	1949	North of Site
4110	Two-story	40	15	0	38%	2005	Across the Street
4046	Two-story	50	25	0	50%	1969	Across the Street
4024	Cottage, 1-1/2 stories	62	0	17	27%	1955	Across the Street
4088	Ranch, single-story	87	21		24%	1956	Across the Street
4030 NE Everett	Two-story	61	43		70%	2011	Behind the Site
4026 NE Everett	Single story	68	26.5		39%	2012	Behind the Site
4015	Ranch, single-story	73	23		32%	1956	South of the Site
3945	Two-story	68	22		32%	1968	South of the Site
Average		61 lineal feet (LF)	20 lineal feet (LF)		39%		

**Note: Frontage measurement is for each side of the duplex.*

FIGURE 2: DUPLEX DEVELOPMENT NORTH OF SUBJECT SITE (4235 NE FRANKLIN)



FIGURE 3: MAP OF SURROUNDING PROPERTIES

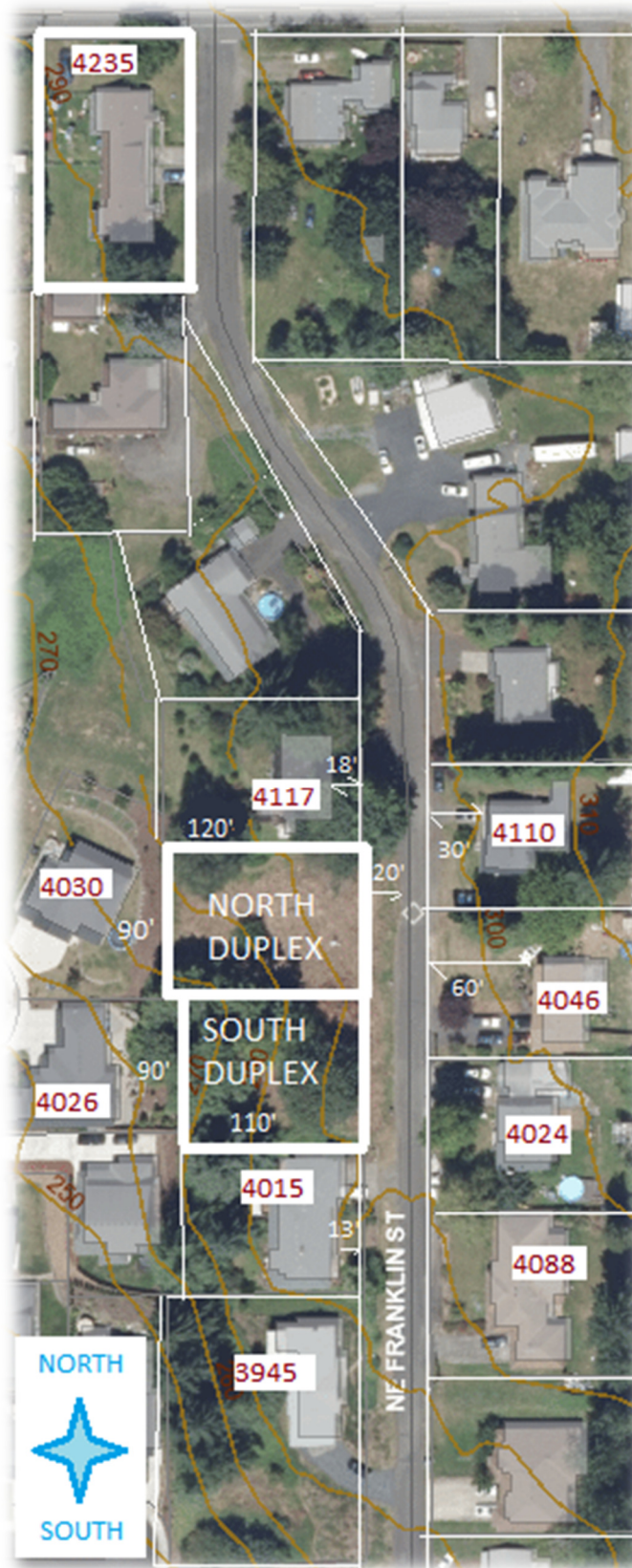


FIGURE 4: PHOTOS OF ADJACENT PROPERTIES



4117



4110



4046



4024



4030



4026



4015



3945

STERLING DESIGN, INC.

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Vancouver, WA 98661

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Email: Joel@SterlingDesign.biz

TYPE III CONDITIONAL USE PERMIT

FRANKLIN DUPLEX SOUTH

File PA 16-24

January 2017

Tax Lot 115 Serial Number 178207-000

**Located in a portion of the SW ¼ of Section 35, Township 2 North, Range 3
East, Willamette Meridian, Clark County, Washington.**

Owner:

**DEP 2 LLC
PO Box 805
Camas WA, 98607**

Applicant/Contact Person: Joel Stirling

STERLING DESIGN, INC.

2208 E. Evergreen Blvd.

Vancouver, WA 98661

Ph. (360) 759-1794/ Fax: (360) 759-4983

Joel@SterlingDesign.biz

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I. Archaeological Pre-Determination Report

<p><u>TAB A.</u> APPLICATION FORM(S) & FEE(S)</p>



Community Development Department | Planning
616 NE Fourth Avenue | Camas, WA 98607
(360) 817-1568 | www.cityofcamas.us

General Application Form

Case Number:

Applicant Information

Applicant/Contact: Sterling Design, Inc. Phone: (360) 759-1794

Address: 2208 E. Evergreen Blvd. Joel@SterlingDesign.biz

Street Address E-mail Address

Vancouver WA 98661

City State ZIP Code

Property Information

Property Address: 4033 NE Franklin Street 178207-000

Street Address County Assessor # / Parcel #

Camas WA 98607

City State ZIP Code

Zoning District R-7.5 Site Size 0.23 acres

Description of Project

Brief description: Site plan approval to construct (1) Duplex structure on a 0.23 acre lot zoned R-7.5.

Are you requesting a consolidated review per CMC 18.55.020(B)? ☐ YES ☐ NO

Permits Requested: ☐ Type I ☐ Type II ☐ Type III ☐ Type IV, BOA, Other

Property Owner or Contract Purchaser

Owner's Name: DEP 2 LLC Phone: () Unavailable

Last First

Address: PO Box 805 Camas, WA 98607

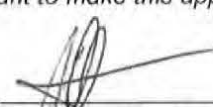
Street Address Apartment/Unit #

E mail Address: Unavailable

City State Zip

Signature

I authorize the applicant to make this application. Further, I grant permission for city staff to conduct site inspections of the property.

Signature: 

Date: 11/30/2016

Note: If multiple property owners are party to the application, an additional application form must be signed by each owner. If it is impractical to obtain a property owner signature, then a letter of authorization from the owner is required.

Date Submitted: Pre-Application Date:

Staff: Related Cases #

Validation of Fees

Application Checklist and Fees [January 1, 2016]

◇ Annexation	\$260 - 10% petition; \$1,300 - 60% petition	001-00-345-890-00	\$
◇ Appeal Fee		001-00-345-810-00	\$350.00 \$
◇ Archaeological Review		001-00-345-810-00	\$120.00 \$ 120.00
◇ Binding Site Plan	\$1,650 + \$21 per unit	001-00-345-810-00	\$
◇ Boundary Line Adjustment		001-00-345-810-00	\$90.00 \$
◇ Comprehensive Plan Amendment		001-00-345-810-00	\$1,730.00 \$
◇ Conditional Use Permit			
Residential	\$3,000 + \$95 per unit	001-00-345-810-00	\$ 3,190
Non-Residential		001-00-345-810-00	\$3,800.00 \$
◇ Continuance of Public Hearing		001-00-345-810-00	\$300.00 \$
◇ Critical or Sensitive Areas (fee per type)		001-00-345-810-00	\$680.00 \$
(wetlands, steep slopes or potentially unstable soils, streams and watercourses, vegetation removal, wildlife habitat)			
◇ Design Review			
Minor		001-00-345-810-00	\$380.00 \$
Committee		001-00-345-810-00	\$1,750.00 \$
◇ Development Agreement	\$770 first hearing; \$300 ea. add'l hearing	001-00-345-810-00	\$
◇ Engineering Department Review			
Review Fee	3% of estimated construction costs	001.00.345.830.20	\$
Modification to Approved Construction Plans		001.00.345.810.00	\$370.00 \$
◇ Fire Department Review			
Short Plat or other Development Review		001-00-345-830-10	\$125.00 \$
Short Plat or other Development Inspection		001-00-322-110-00	\$125.00 \$
Subdivision or PRD Review		001-00-345-830-10	\$155.00 \$
Subdivision or PRD Inspection		001-00-322-110-00	\$155.00 \$
Site Plan Review		001-00-322-110-00	\$185.00 \$
Site Plan Inspection		001-00-322-110-00	\$185.00 \$
◇ *Fisher Basin storm development charge (See CMC 13.88.100)		419-00-379-000-00	\$
*For Final Plats within Fisher Basin, storm development fees due at time of final plat application			
◇ Home Occupation			
Minor - Notification (No fee)			\$0.00
Major		001-00-321-900-00	\$60.00 \$
◇ LI/BP Development	\$3800 + \$36.00 per 1000 sf of GFA	001-00-345-810-00	\$
◇ Minor Modifications to approved development		001-00-345-810-00	\$175.00 \$
◇ Planned Residential Development	\$30 per unit + subdivision fees	001-00-345-810-00	\$
◇ Plat, Preliminary			
Short Plat	4 lots or less: \$1700.00 per lot	001-00-345-810-00	\$
Short Plat	5 lots or more: \$6,300 + \$220 per lot	001-00-345-810-00	\$
Subdivision	\$6,300 + \$220 per lot	001-00-345-810-00	\$
◇ Plat, Final:			
Short Plat		001-00-345-810-00	\$175.00 \$
Subdivision		001-00-345-810-00	\$1,050.00 \$
◇ Plat Modification/Alteration		001-00-345-810-00	\$540.00 \$
◇ Pre-Application (Type III or IV Permits)			
No fee for Type I or II			
General		001-00-345-810-00	\$310.00 \$
Subdivision		001-00-345-810-00	\$800.00 \$
◇ SEPA		001-00-345-890-00	\$710.00 \$
◇ Shoreline Permit		001-00-345-890-00	\$770.00 \$
◇ Sign Permit			
General Sign Permit	(Exempt if building permit is required)	001.00.322.400.00	\$35.00 \$
Master Sign Permit		001.00.322.400.00	\$110.00 \$
◇ Site Plan Review			
Residential	\$1,010 + \$30 per unit	001-00-345-810-00	\$
Non-Residential	\$2,525 + \$60 per 1000 sf of GFA	001-00-345-810-00	\$
Mixed Residential/Non Residential		001-00-345-810-00	\$
\$3,560 + \$30 per res unit + \$60 per 1000 sf of GFA			
◇ Temporary Use Permit		001-00-321-990-00	\$70.00 \$
◇ Variance (Minor or Major)		001-00-345-810-00	\$610.00 \$
◇ Zone Change (single tract)		001-00-345-810-00	\$1,720.00 \$

Adopted by Res. 1023, Aug 2005; Revised by Res. 1113, Sept. 2007; Revised by Res. 1163, Oct. 2009; Revised by Res. 1204, Nov 2010

Revised by Res. 15-001 Jan 2015; Revised by Res. 15-007 May 2015; Revised by RES 15-018, Dec 2015

For office use only

Total Fees Due: \$ 3,310

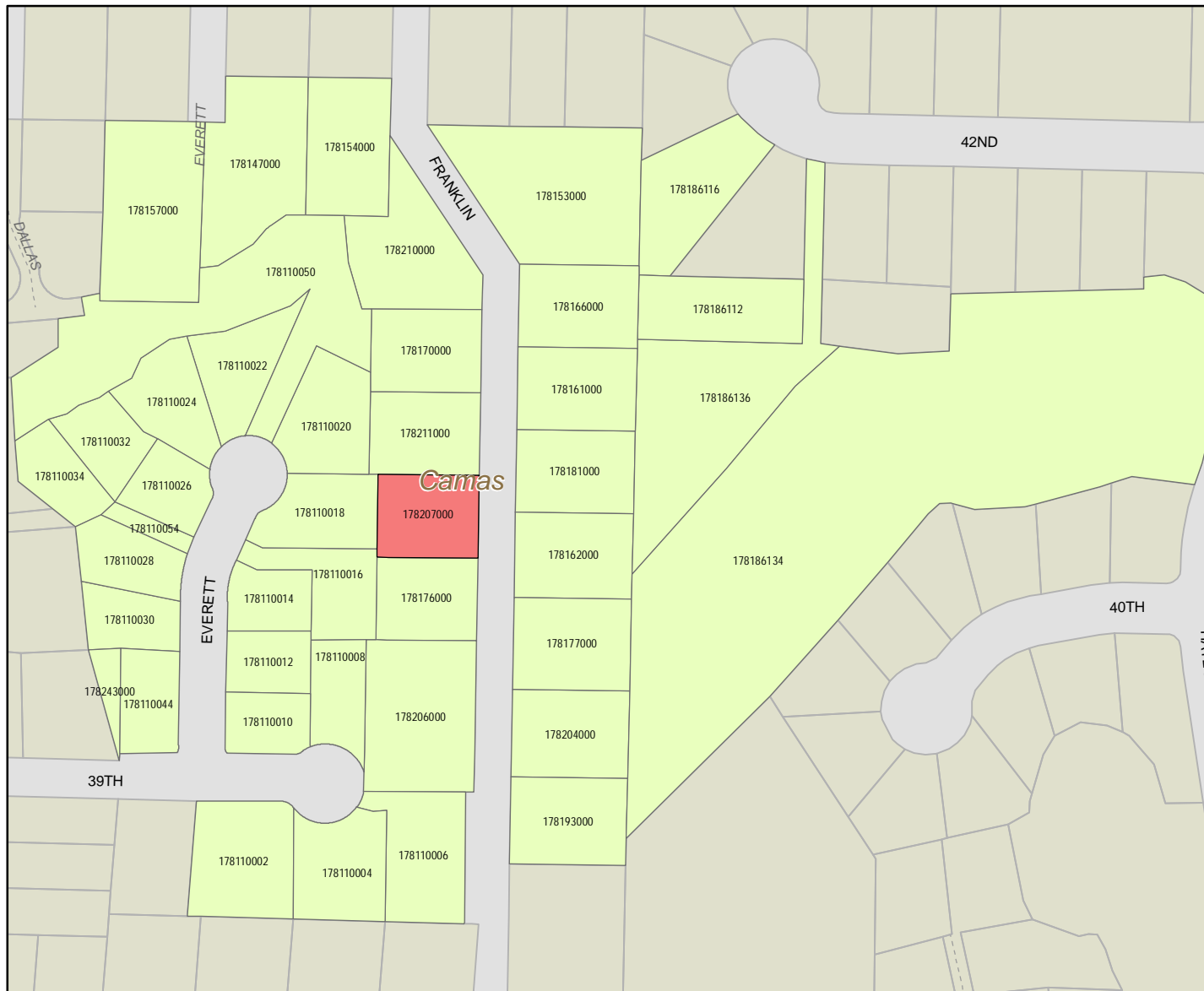
TAB B.
PERMIT APPROVALS SOUGHT

- **GENERAL APPLICATION**
- **TYPE III – CONDITIONAL USE PERMIT**

TAB C.
MAILING LIST & LABELS WITHIN
300' RADIUS OF SITE

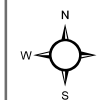
PID(s): 178207000 , 300 Foot Buffer

Locator



Legend

- Subject Property
- Buffer Selection
- Parcels
- Water Body
- Incorporated
- Urban Growth Area
- Unincorporated



Scale: 1:2,117



NOTE: This data is compiled from many sources and scales. Clark county makes this information available as a service, and accepts no responsibility for any inaccuracy, actual or implied.

GIS Order Number: 171154

Printed: 12/27/2016

Path: \\olympus\gis\programs\GISTools\Orders\Scripts\Development\MailingListPacket\xxPID_178207000_235667\MailingListPacket.mxd



Owner Name	Mailing Address
BECKER DAVID R JR & BECKER CAROLYN ETAL	23007 NE 179TH ST, BRUSH PRAIRIE, WA, 98606
BERG ROBERT L & BERG CAROL A	3945 NE FRANKLIN ST, CAMAS, WA, 98607
BERLINER AUBREY AARON III & BERLINER TERESA RENE A	54112 NW JACKSON LOOP, CAMAS, WA, 98607
BOAM JANNIE L	3922 NE FRANKLIN ST, CAMAS, WA, 98607
BRUMBAUGH BERT C	4015 NE FRANKLIN ST, CAMAS, WA, 98607
CITY OF CAMAS	616 NE 4TH AVE, CAMAS, WA, 98607
COLLETT SHERRY A	4122 NE FRANKLIN ST, CAMAS, WA, 98607
DEP 2 LLC	PO BOX 805, CAMAS, WA, 98607
ENOS MATTHEW	642 NE 42ND CIR, CAMAS, WA, 98607
FAN ANDREW RUEY HONG	4175 NE EVERETT CT, CAMAS, WA, 98607
FORBES CORY W & FORBES STACEY	1276 ALMA LN, MECHANICSBURG, PA, 17055
FRENCH JUDITH C	4117 NE FRANKLIN ST, CAMAS, WA, 98607
GIBSON ROBIN C & GIBSON VICKIE A	107 SE 202ND AVE, CAMAS, WA, 98607
GMELIN FRANK & GMELIN MICHELLE	4001 NE EVERETT CT, CAMAS, WA, 98607
HERBERT ARON M & SMITH MARIA G TRUSTESS	509 NE 39TH AVE, CAMAS, WA, 98607
HICKS ROBERT H JR & RHONDA L HICKS	4026 NE EVERETT CT, CAMAS, WA, 98607
HUANG MATTHEW M & HUANG GRACE CHIA-HUEI	17005 SE 16TH ST, VANCOUVER, WA, 98683
JESTER JEANETTE MARGARET	4211 NE FRANKLIN STREET, CAMAS, WA, 98607
KELLY ELIZABETH	3948 NE EVERETT ST, CAMAS, WA, 98607
KING TERRY & KING PATRICIA	4150 NE FRANKLIN ST, CAMAS, WA, 98607
KOESTER MARTIN & KOESTER SAM TRUSTEES	510 NE 39TH AVE, CAMAS, WA, 98607
LANGSTON LARRY W & LANGSTON LYNELLE E	4039 NE EVERETT CT, CAMAS, WA, 98607
MANISTIQUE LLC	13217 NW 30TH ST, VANCOUVER, WA, 98685
MAY RICHARD H II & MAY TARA Z	3942 NE EVERETT CT, CAMAS, WA, 98607
MOORE TIMOTHY S & MOORE CARMEN J	4030 NE EVERETT CT, CAMAS, WA, 98607
NILES GEOERL & NILES JULIANNE E	4024 NE FRANKLIN ST, CAMAS, WA, 98607
PARKER SCOTT M & PARKER TAMAR A	710 NE 42ND CIR, CAMAS, WA, 98607
PATRICIO PAMELA J & PATRICIO JAN C	5318 S PINEBROOK CT, SPOKANE, WA, 98206
POSNER ROBERT L & POSNER KATHRYN G TRUSTEES	10250 KAYLEN PL, BELLEVUE, WA, 98004
RHYASEN MICHAEL & RHYASEN MELISSA	4027 NE EVERETT CT, CAMAS, WA, 98607
RITCHIE DAVID	4033 NE EVERETT CT, CAMAS, WA, 98607
SAMPEY JOSHUA P & SAMPEY BRYNA E	438 NE 39TH AVE, CAMAS, WA, 98607
SHAHIDI JILLEEN L	4021 NE EVERETT CT, CAMAS, WA, 98607
SHEPLEY KRISTINA	4014 NE EVERETT CT, CAMAS, WA, 98607
SPENCER ROBERT L & SPENCER MEGAS K	4003 NE EVERETT CT, CAMAS, WA, 98607
STEELE GERALD K & STEELE LARHEA M	4046 NE FRANKLIN ST, CAMAS, WA, 98607
STREHMEL UW E & STREHMEL BRIGITTA E	508 NE 39TH AVE, CAMAS, WA, 98607
TIMBER GROVE LLC	1625 NW IVY ST, CAMAS, WA, 98607
TOTH KIM C & TOTH RODNEY C	1802 C ST APT 2, WASHOUGAL, WA, 98671
WATKINS MICAIAH D	4110 NE FRANKLIN ST, CAMAS, WA, 98607
WINTERS SANDRA	4015 NE EVERETT CT, CAMAS, WA, 98607

This document created by the Clark County,
Washington Geographic Information System

Number of records 41

Number of Pages 2

Date Created 12/27/11

Employee Signature 

Employee Name Bob Pool



Owner Name	Mailing Address
------------	-----------------

Occupant PID 178206000 3945 NE FRANKLIN ST CAMAS, WA 98607	Occupant PID 178170000 4117 NE FRANKLIN ST CAMAS, WA 98607	Occupant PID 178110012 3942 NE EVERETT CT CAMAS, WA 98607
Occupant PID 178204000 3940 NE FRANKLIN ST CAMAS, WA 98607	Occupant PID 178210000 4143 NE FRANKLIN ST CAMAS, WA 98607	Occupant PID 178110020 4030 NE EVERETT CT CAMAS, WA 98607
Occupant PID 178193000 3922 NE FRANKLIN ST CAMAS, WA 98607	Occupant PID 178110044 4001 NE EVERETT CT CAMAS, WA 98607	Occupant PID 178162000 4024 NE FRANKLIN ST CAMAS, WA 98607
Occupant PID 178176000 4015 NE FRANKLIN ST CAMAS, WA 98607	Occupant PID 178110008 509 NE 39TH AVE CAMAS, WA 98607	Occupant PID 178186112 710 NE 42ND CIR CAMAS, WA 98607
Occupant PID 178186136 712 NE 42ND CIR CAMAS, WA 98607	Occupant PID 178110018 4026 NE EVERETT CT CAMAS, WA 98607	Occupant PID 178110024 4035 NE EVERETT CT CAMAS, WA 98607
Occupant PID 178166000 4122 NE FRANKLIN ST CAMAS, WA 98607	Occupant PID 178147000 4202 NE EVERETT CT CAMAS, WA 98607	Occupant PID 178110010 437 NE 39TH AVE CAMAS, WA 98607
Occupant PID 178207000 4033 NE FRANKLIN ST CAMAS, WA 98607	Occupant PID 178154000 4211 NE FRANKLIN ST CAMAS, WA 98607	Occupant PID 178110032 4027 NE EVERETT CT CAMAS, WA 98607
Occupant PID 178186116 642 NE 42ND CIR CAMAS, WA 98607	Occupant PID 178153000 4150 NE FRANKLIN ST CAMAS, WA 98607	Occupant PID 178110026 4033 NE EVERETT CT CAMAS, WA 98607
Occupant PID 178157000 4175 NE EVERETT CT CAMAS, WA 98607	Occupant PID 178110006 510 NE 39TH AVE CAMAS, WA 98607	Occupant PID 178110002 438 NE 39TH AVE CAMAS, WA 98607
Occupant PID 178110016 4018 NE EVERETT CT CAMAS, WA 98607	Occupant PID 178110022 4039 NE EVERETT CT CAMAS, WA 98607	Occupant PID 178110034 4021 NE EVERETT CT CAMAS, WA 98607

Occupant PID 178110014

4014 NE EVERETT CT
CAMAS, WA 98607

Occupant PID 178110030

4003 NE EVERETT CT
CAMAS, WA 98607

Occupant PID 178181000

4046 NE FRANKLIN ST
CAMAS, WA 98607

Occupant PID 178110004

508 NE 39TH AVE
CAMAS, WA 98607

Occupant PID 178211000

4055 NE FRANKLIN ST
CAMAS, WA 98607

Occupant PID 178177000

4008 NE FRANKLIN ST
CAMAS, WA 98607

Occupant PID 178161000

4110 NE FRANKLIN ST
CAMAS, WA 98607

Occupant PID 178110028

4015 NE EVERETT CT
CAMAS, WA 98607

TAB D.
NARRATIVE

CONDITIONAL USE PERMIT NARRATIVE:

The Franklin Duplex South proposal is to construct a Residential Duplex on one property of record, serial number: 178207-000, located in a portion of the SW ¼ quarter of Section 35, Township 2 North, Range 3 East of the Willamette Meridian, Clark County, Washington. The property is located within the R-7.5 zone standards and is currently vacant land heavily vegetated with blackberry bushes, a few trees, and other vegetation.

CMC18.43.050 – Approval Criteria

- A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;***

Response: The proposed duplex structure will not be materially detrimental to the public welfare and not injurious to the other properties in the vicinity of the property. There are a mix of housing types along NE Franklin Street already and another existing duplex located approximately 500 feet to the north at the intersection of NE Franklin Street and NE 43rd Avenue. Currently the property is overgrown with heavy vegetation with the majority of the vegetation being noxious weeds. Construction of a duplex on the property will clean up the property which will be beneficial to adjacent properties by eliminating a source of weed seeds along with eliminating a location where transients are able to utilize the dense vegetation as screening for illegal camping/occupations.

- B. The proposed use shall meet or exceed the development standards that are required in the zoning district in which the subject property is situated;***

Response: The lot size is 10,019 sq.ft. which exceeds the average lot size of 7,500 sq.ft. that is required within the R-7.5 zoning district. Since the lot is already existing, and no land division is proposed, exceeding the 7,500 sq.ft. lot size is not an issue. The property dimensions are within all of the minimum requirements of the R-7.5 zone. The proposed construction of the Residential Duplex will adhere to the setback requirements outlined within CMC18.09.040 – Table 2 which requires a minimum of a 20 foot Front Yard Setback, minimum 5 foot Side Yard Setbacks, and a 25 foot Rear Yard Setback. The Residential Duplex will be provided with either one (1), or two (2) separate sanitary sewer connections, along with two (2) separate water services as required by CMC17.19.020(C.)(2.)(b.) & CMC17.19.020(C.)(4.)(b.). Construction of the Residential Duplex will create less than 5,000 sq.ft. of new hard surfaces so no Stormwater Quality or Quantity Control Facilities are proposed as part of the project.

- C. The proposed use shall be compatible with the surrounding land uses in terms of traffic and pedestrian circulations, density, building, and site design;***

Response: The proposed Residential Duplex is compatible with the mix of surrounding single family homes that are near the property. There is also another existing Residential Duplex structure located approximately 500 feet to the north which further supports the capability of a Residential Duplex with the mix of existing homes located along NE Franklin Street. Traffic and pedestrian circulation comparisons between a

Residential Duplex and a Single Family Home are not significantly different and since there are no existing curbs or sidewalks along NE Franklin Street, none will be constructed as part of the Residential Duplex construction. This will further assure that the proposed use is compatible with the surrounding land uses. The proposed Residential Duplex will be designed to blend with the existing single family homes by providing more area for living space windows facing Franklin Street and a lesser percentage of garage door frontage. Yard areas will be maintained in grass and vegetation similar to the surrounding single family home uses.

D. Appropriate measures have been taken to minimize the possible adverse impacts that the proposed use may have on the area in which it is located;

Response: The proposed Residential Duplex will be designed to blend with the existing single family homes by providing more area for living space windows facing Franklin Street and a lesser percentage of garage door frontage. Yard areas will be maintained in grass and vegetation similar to the surrounding single family home uses. The Residential Duplex will provide housing that is similar to many of the smaller single family homes located near the property on NE Franklin Street and also similar to the existing Residential Duplex that is located approximately 500 feet to the north of the property. A decorative street tree will be planted within the front yard of the Residential Duplex to add to the character of NE Franklin Street and to provide for buffering of the new structure from the street.

E. The proposed use is consistent with the goals and policies expressed in the comprehensive plan;

Response: The proposed Residential Duplex will provide for much needed additional residential housing within the City of Camas. The Comprehensive Plan outlines the need for both additional single family housing and also a mix of other residential uses to meet the needs of a growing community. A Residential Duplex provides an alternative to a single family home that often time is more affordable and also requires less physical up-keep due to the yard areas being smaller then the standard single family home. In a time when many residents of the City of Camas are working longer hours to keep up with higher costs of living, a Residential Duplex meets both the need of more affordable housing and helps offset the amount of time that is needed to maintain the yard areas.

F. Any special conditions and criteria established for the proposed use have been satisfied. In granting a conditional use permit the hearings examiner may stipulate additional requirements to carry out the intent of the Camas Municipal Code and comprehensive plan.

Response: At this time there are no special conditions or criteria for the proposed use. If there are additional measures required by the hearings examiner, they will be implemented with the project as required.

Pre-Application Conference:

A Pre-Application Conference was held for the project on September 1, 2016 and the Pre-Application Report is included herein. The specific issues discussed in the conference are addressed further on within this document.

Sterling Design, Inc. has prepared a formal Site Plan Application packet for the Franklin Duplex South which includes the required submittal items listed within the City of Camas Code. An Archaeological Pre-Determination was completed on the property by Archaeological Services of Clark County and is included within the application materials. Copies of the Pre-Determination have been sent to the appropriate agencies for review and concurrence. No artifacts were discovered on the property.

All Building Division requirements will be met at the time that the building permit for the Residential Duplex is submitted for review and approval.

Sanitary sewer is located along the front of the property within NE Franklin Street and one (1), or two (2), sanitary sewer services will be extended to the Residential Duplex as required by CMC17.19.020(C.)(2.)(b.). The existing sanitary sewer system is identified by the City of Camas as being a 3" STEP/STEF system.

Water is also available within NE Franklin Street and two (2) water services will be provided to the Residential Duplex as required by CMC17.19.020(C.)(4.)(b.). The existing water system is identified by the City of Camas as being a 4" water line.

The project will create less than 5,000 sq.ft. of new hard surfaces therefore no Stormwater Quality or Quantity Control Facilities are proposed as part of the project.

The new Residential Duplex will be provided with Residential Fire Sprinklers as required by City of Camas Code.


The development of this site into a Residential Duplex will aid in meeting the zoning and comprehensive plan goals for the area. The development of this site will provide for a variety of building opportunities. The full build out of this development will provide housing consistent with the goals of the Growth Management Act and will provide housing that is compatible with the existing housing types located in the vicinity.

Applications submitted for this project:

- **General Application**
- **Conditional Use Permit**

Please review the enclosed data and contact us as soon as possible if you have any questions or need any additional data.

Thank you for your assistance,



Joel G. Stirling, P.E.
STERLING DESIGN, INC.

TAB E.
PRELIMINARY PLAN SET

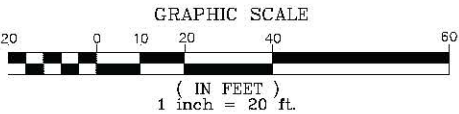
PRE APPLICATION:

• PA16-24

PERMITS REQUESTED:

- CONDITIONAL USE PERMIT
- GENERAL APPLICATION

TYPE III CONDITIONAL USE PERMIT



FRANKLIN DUPLEX

A Preliminary Site within
a portion of the SW 1/4
of Sec. 35, T2N., R3E., W.M.
Clark County, Washington



VICINITY MAP (NTS)

PROPERTY OWNER:
DEP 2 LLC
PO BOX 805
CAMAS WA, 98607

CONTACT:
JOEL STIRLING
STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD.
VANCOUVER, WA 98661
PH.: (360) 759-1794
FAX: (360) 759-4983
EMAIL: Joel@SterlingDesign.biz

SITE INFORMATION:

- AREA: 0.23 ACRES
- TAX LOT: 115
- SERIAL NUMBER: 178207-000
- SITE ADDRESS: 4033 NE FRANKLIN ST, CAMAS, 98607
- ZONING: R-7.5
- COMPREHENSIVE PLAN: SFM

SHEET INDEX

COVER SHEET	1
EXISTING CONDITIONS PLAN	2
BOUNDARY SURVEY	3
SITE PLAN	4
GRADING & EROSION CONTROL PLAN	5
UTILITY CONNECTIONS PLAN	6
EXAMPLE RESIDENTIAL DUPLEX PLANS	7
DETAILS SHEET	8
DETAILS SHEET	9
DETAILS SHEET	10

CITY OF CAMAS

CITY ENGINEER		DATE	
REVISION NO.	SHEETS AFFECTED	INITIAL APPROVAL	DATE

SITE INFORMATION

ALIGNMENT & FIELD DATA:		MINISTER & GLASSER SURVEYING, INC. (360) 694-3313	
SOIL TYPE(S):	HYDROLOGIC GROUP: C	AASHTO CLASSIFICATION: A-7	Project Number: 708
SOILS TESTING BY:	DATE:	Design/Drawn: JGS/BC	Drawing Date: JAN. 2017
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	FILENAME: S:\708-Prelim.pro	Sheet 1 of 10 Sheet(s)
SITE AREA: 0.23 ACRES			

NOTE:
Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.

GENERAL NOTES:

1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE 2006 EDITION OF THE WSDOT/APWA STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION AND STANDARD DETAIL SHEETS ATTACHED HERE IN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES, INCLUDING THE INVERT AND TOP ELEVATIONS AT CROSSING LOCATIONS, PRIOR TO THE START OF CONSTRUCTION AND TO NOTIFY THE ENGINEER OF ANY POTENTIAL CONFLICTS.
3. CONTRACTOR SHALL CALL CLARK COUNTY'S 24-HOUR UTILITY NOTIFICATION CENTER AT (360) 696-4848 OR (800) 553-4344 FOR UTILITIES LOCATE, A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
4. ALL EXISTING MONUMENTS, PROPERTY CORNERS AND SURVEY MARKERS SHALL BE PROTECTED. REPLACEMENT OF LOST, DESTROYED OR DAMAGED MARKERS SHALL BE DONE BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH R.C.W. 58.17 AT THE CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR SHALL NOT EXCAVATE OVER FOUR FEET IN DEPTH WITHOUT USING ADEQUATE SAFETY MEASURES. THE CONTRACTOR IS REFERRED TO TITLE 296 W.A.C., PART N FOR EXCAVATION, TRENCHING AND SHORING REQUIREMENTS.
6. ALL UTILITIES SHALL HAVE A GRANULAR BACKFILL APPROVED BY THE CITY OF CAMAS. WATER SETTLEMENT OF UTILITY TRENCHES IS NOT ALLOWED.
7. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE EROSION/SEDIMENT CONTROL PLAN AND CITY OF CAMAS EROSION/SEDIMENT CONTROL DETAILS PRIOR TO ANY CLEARING OR THE START OF ANY CONSTRUCTION.
8. IF THE CITY INSPECTOR OR ENGINEER(S) HAS EVIDENCE OF POOR CONSTRUCTION PRACTICES OR EROSION CONTROL TECHNIQUES, A STOP WORK ORDER SHALL BE ISSUED UNTIL PROPER MEASURES HAVE BEEN TAKEN AND APPROVED BY THE CITY ENGINEERING STAFF.
9. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF CAMAS PUBLIC WORKS DEPARTMENT. APPROVAL SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
10. THE DEVELOPER/CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE CITY OF CAMAS ENGINEERING DEPARTMENT PRIOR TO COMMENCING ANY WORK.
11. ANY SIGNIFICANT DEVIATIONS FROM THE PLANS WILL REQUIRE A SUBMITTAL FROM THE APPLICANT'S ENGINEER AND APPROVAL FROM THE CITY OF CAMAS ENGINEERING DEPARTMENT.
12. AN EROSION/SEDIMENT CONTROL BOND WILL BE REQUIRED BY THE CITY OF CAMAS PRIOR TO WORK COMMENCING.

PREPARED BY:

STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD
VANCOUVER, WA 98661
PH: (360) 759-1794
FAX: (360) 759-4983
mail@sterlingdesign.biz

STERLING
DESIGN, INC.

Sheet Description:

COVER SHEET

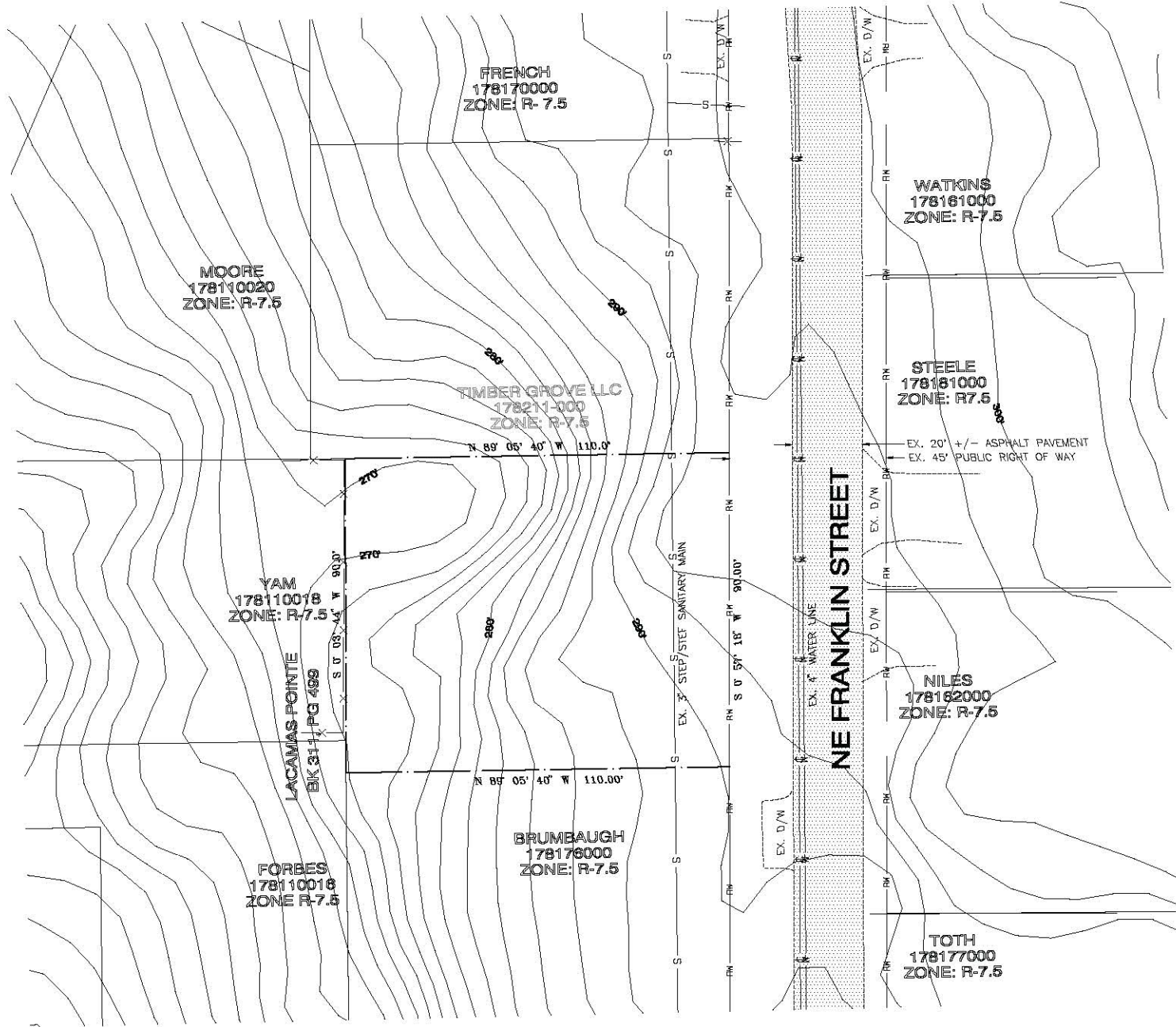
Project:

FRANKLIN DUPLEX
SOUTH



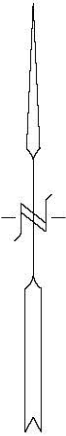
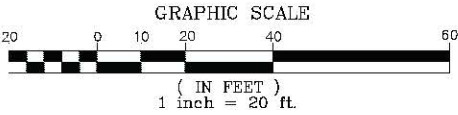
Scale: AS SHOWN

REFER TO SHEET 3 FOR
SITE SURVEY INFORMATION



DRY UTILITY NOTE:
POWER, CA TV AND OTHER FRANCHISE
UTILITIES ARE ON OVERHEAD LINES
ALONG THE EAST SIDE OF FRANKLIN ST.

NOTE:
Existing utilities shown are approximate only from utility
records and as visible at the site. Contractor shall verify
presence, location, depth & slope of any and all existing
utilities prior to construction. Contact One Call Concepts
at (800) 424-5555.



PREPARED BY:
STERLING DESIGN, INC.
2208 E EVERGREEN BLVD
VANCOUVER, WA 98681
TEL (360) 759-1794
FAX (360) 759-4993
mail@sterlingdesign.biz

STERLING
DESIGN, INC.

Sheet Description:
EXISTING CONDITIONS
PLAN

Project:
FRANKLIN DUPLEX
SOUTH



SITE INFORMATION

ALIGNMENT & FIELD DATA: MINISTER & GLAESER SURVEYING, INC. (360) 694-3313		Scale: AS SHOWN
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	Project Number: 708
SITE AREA: 0.23 ACRES	FILENAME: S:\708-Prelim.pro	Drawing Date: JAN. 2017
SOL TYPE(s): HYDROLOGIC GROUP: C HcD & HcB		Design/Drawn: JGS/BC
SOLS TESTING BY: -		Sheet 2 of 10 Sheet(s)
DATE: -		

SURVEY
IN A PORTION OF THE
SE 1/4 OF THE SW 1/4
OF SECTION 35
T. 2 N., R. 3 E., W. M.
CITY OF CAMAS
CLARK COUNTY, WASHINGTON

LEGEND:
● INDICATES 1/2" x 24" IRON ROD WITH
"BETHJE 37535" CAP FOUND PER
SURVEY REFERENCE #1
⊙ INDICATES 1/2" x 24" IRON ROD WITH
"DENNY 32451" CAP SET
() INDICATES RECORD DISTANCE
-X- INDICATES RIGHT-OF-WAY
ASSR. NO. INDICATES ASSESSOR TAX IDENTIFICATION NUMBER

SURVEY REFERENCES:
1) LACAMAS POINTE BOOK 311, PAGE 499
2) TOWLE SURVEY BOOK 048, PAGE 068
3) TOWLE SURVEY BOOK 049, PAGE 168
4) LACAMAS SUMMIT PHASE 2 BOOK 310, PAGE 894

DEED REFERENCES:
ADDRESS: 4055 NE FRANKLIN ST.
GRANTOR: ROGER NEERLAND AND OLLIE NEERLAND
GRANTEE: DONALD GRAFTON AND JOY GRAFTON
AP NO.: 0 738295
DATE: 09-27-78

ADDRESS: 4033 NE FRANKLIN ST.
GRANTOR: RALPH LYNDEN JOHNSON
GRANTEE: DONALD GRAFTON AND JOY GRAFTON
AP NO.: 6738294
DATE: 09-27-78

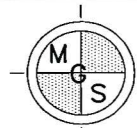
NARRATIVE:
THE PURPOSE OF THIS SURVEY WAS TO MONUMENT THE
PERIMETER BOUNDARIES OF PARCELS IDENTIFIED AS
ASSR. NO.'S 178211000 & 178207000. I HELD THE EAST
LINE OF THE SOUTHWEST QUARTER OF SECTION 35 TO
CONTROL THE NORTHERLY DIRECTION OF THE DEED CALLS.
THIS CORRESPONDS WITH AUDITOR'S FILE NO.'S 3386062,
8704300141 & 8610210062 RECORDS OF CLARK COUNTY,
OF WHICH DEFINE THE LOCATION OF THE EAST LINE OF
NE FRANKLIN STREET (FORMERLY KNOWN AS LAKEVIEW
COUNTY ROAD) TO BE PARALLEL WITH SAID EAST LINE
OF THE SOUTHWEST QUARTER OF SECTION 35. I HELD
THE EASTERLY & WESTERLY DIRECTION OF THE DEED
CALLS TO BE PARALLEL WITH THE SOUTH LINE OF SAID
SOUTHWEST QUARTER OF SECTION 35.

AUDITOR'S CERTIFICATE
FILED FOR RECORD THIS 27 DAY OF July, 2016
AT 7:40 O'CLOCK PM, IN BOOK 65 OF SURVEYS,
AT PAGE 165
AT THE REQUEST OF MINISTER AND GLAESER SURVEYING INC.
John B. ...
DEPUTY/COUNTY AUDITOR

SURVEYOR'S CERTIFICATE
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION
IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE
REQUEST OF DAVE GALANTER, IN JUNE 2016.
Edmund Denny Jr. 2-25-2016
EDMUND DENNY, JR., PROFESSIONAL LAND SURVEYOR, LS# 32451

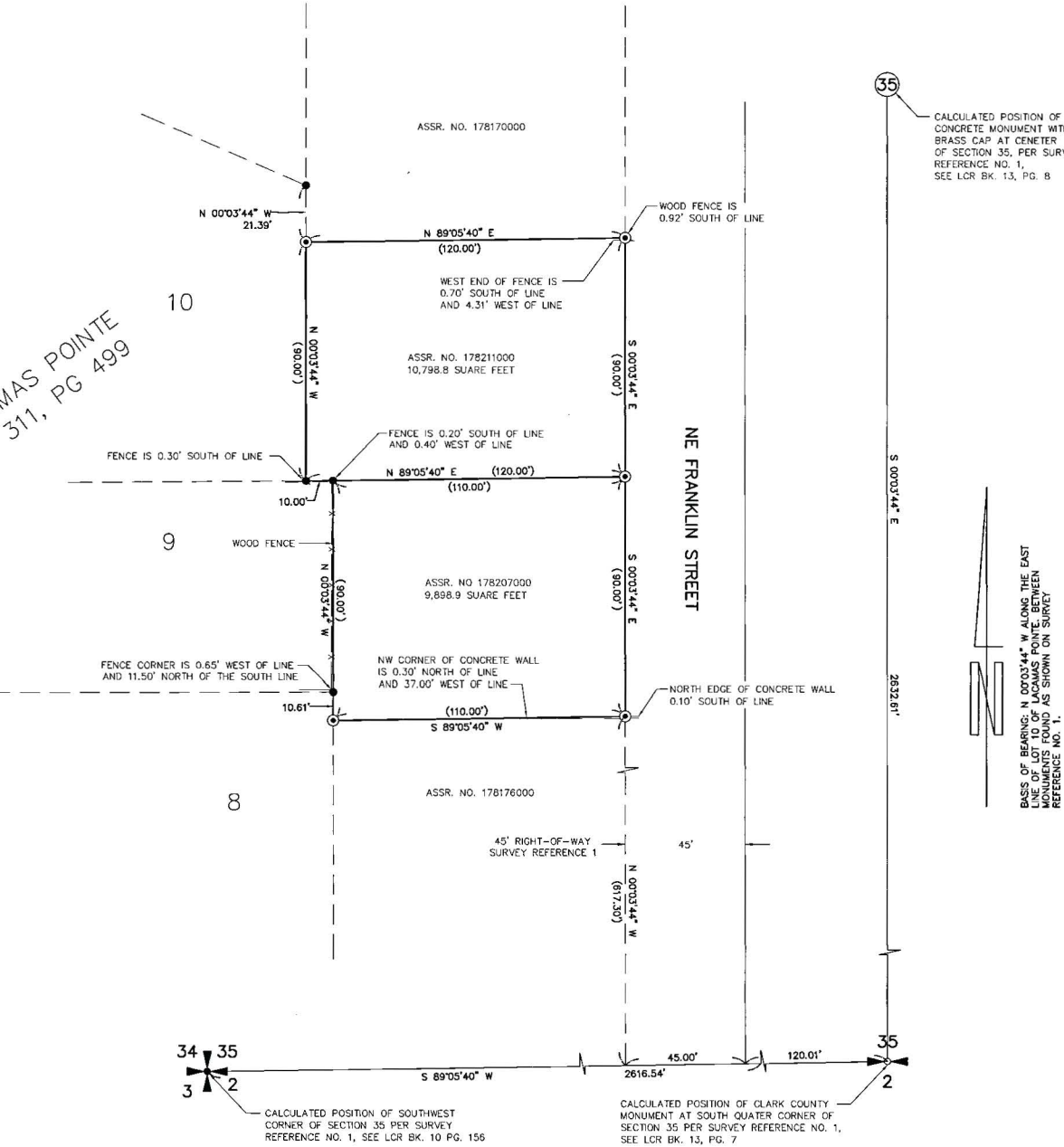
SCALE: 1"=30'
JOB NO. 16-318
DATE: 07-25-16
CALC BY: ED
DRAWN BY: ED
CHECKED BY: ED
SHEET 1 OF 1

MINISTER-GLAESER
SURVEYING INC.
2200 E. EVERGREEN BLVD.
VANCOUVER, WA 98661
(360) 694-3313



65-165

LACAMAS POINTE
BK 311, PG 499



SCALE 1 INCH = 30 FEET



MINISTER AND GLAESER SURVEYING, INC. MAKES NO WARRANTIES AS TO MATTERS
OF UNWRITTEN TITLE SUCH AS ADVERSE POSSESSION, ACQUESCENCE, ESTOPPLE,
ETC.

A FIELD TRAVERSE WAS PERFORMED USING A ONE SECOND TOTAL STATION. THE
FIELD TRAVERSE MET THE MINIMUM STANDARDS FOR SURVEYS AS DESIGNATED IN
WAC 332-130-090. ALL CORNERS NOTED AS FOUND WERE VISITED ON 06-30-16.

DWG FILE: 151925.DWG

PRELIMINARY SITE INFORMATION
GENERAL INFORMATION

- APPLICANT/CONTACT:
JOEL STIRLING
2208 E. EVERGREEN BLVD.
VANCOUVER, WA 98661
PH. (360) 759-1794
JOEL@STERLINGDESIGN.BIZ
- PROPERTY OWNER:
DEP 2 LLC
PO BOX 805
CAMAS WA, 98607
AREA: 0.23 ACRES
- TAX LOT: 115
- SERIAL NUMBER: 178207-000
- SITE ADDRESS: 4033 NE FRANKLIN STREET, CAMAS, 98607
- ZONING: R-7.5
- COMPREHENSIVE PLAN: SFM

EXISTING CONDITIONS (REFER TO SHEETS 2 & 3)

- Environmental**
 - TOPOGRAPHY IS SHOWN ON THE PROPOSED DEVELOPMENT PLAN.
 - THERE ARE NO SITE WATERCOURSES (STREAMS, RIVERS, ETC) OR AREAS PRONE TO FLOODING AS SHOWN.
 - THERE ARE NO FEMA DESIGNATED FLOODPLAINS, FLOOD FRINGE, OR FLOODWAYS ON THE SITE.
 - THERE ARE NO DESIGNATED SHORELINE AREAS ON THE SITE.
 - THERE ARE NO WATER BODIES OR WETLANDS ON THE SITE.
 - THERE ARE NO WETLAND DELINEATION AREAS ON THE SITE.
 - THERE ARE UNSTABLE SLOPES OR LANDSLIDE HAZARD AREAS ON THE SITE PER CLARK COUNTY MAPS ONLINE.
 - THERE ARE NO KNOWN RIPARIAN HABITAT AND OR VEGETATION BUFFERS ON THE SITE. (SEE REPORT BY CASCADIA ECOLOGICAL LAND SERVICES)
 - THERE ARE NO KNOWN SIGNIFICANT HISTORIC, CULTURAL OR ARCHAEOLOGICAL RESOURCES ON THE SITE.
- Land Use and Transportation**
 - THE PROPOSED SITE AREA IS APPROX. 0.23 ACRES. THE LAYOUT AND DIMENSIONS OF EXISTING PARCEL ARE SHOWN.
 - THERE ARE EXISTING STRUCTURES ON THE SITE.
 - EXISTING ACCESS, DRAINAGE & UTILITY EASEMENT LOCATIONS & WIDTHS ARE AS SHOWN.
 - NAME, LOCATION & WIDTH OF EXISTING RIGHT OF WAY IS SHOWN.
 - LOCATIONS & DIMENSIONS OF CENTERLINE & RIGHT-OF-WAY FOR NW 10th AVE. ARE SHOWN.
 - NAME, LOCATION, WIDTH & SURFACING MATERIAL OF ROADWAY & EASEMENTS AND WHETHER PUBLIC OR PRIVATE ARE SHOWN.
 - LOCATION OF EXISTING DRIVEWAYS ALONG NW 10th AVE ARE SHOWN.
 - LOCATION & WIDTH OF PEDESTRIAN & BICYCLE FACILITIES WITHIN 100' OF THE SITE ARE AS SHOWN.
 - THERE ARE NO TRANSIT ROUTES & STOPS WITHIN 600' OF THE DEVELOPMENT SITE. (PER THE GIS PACKET)

- Water and Sewer**
 - THE NEAREST EXISTING FIRE HYDRANTS TO THE SITE ARE SHOWN.
 - THERE ARE NO KNOWN SEPTIC SYSTEM(S) OR WELL(S) ON THIS SITE.

PROPOSED IMPROVEMENTS

- Environmental**
 - THERE ARE NO WETLANDS, STEEP SLOPE BUFFER AREAS/PROTECTED AREAS, OR PLANNED ENHANCEMENT AREAS LOCATED ON THE PORTION OF THE SITE WHERE NEW HOMES WILL BE CONSTRUCTED.
 - PLANTING & BUFFER ENHANCEMENT WILL OCCUR WITHIN PRIVATE TRACTS.
- Land Use and Transportation**
 - THE CONFIGURATION & DIMENSIONS OF BOUNDARIES, PROPOSED LOTS, DRAINAGE TRACTS & EASEMENTS ARE SHOWN ON THE PLAN. THERE ARE NO PARKS OR OPEN SPACES PROPOSED AS PART OF THE SHORT PLAT.
 - DIMENSIONS OF ALL PROPOSED EASEMENTS ARE SHOWN ON PLAN.
 - THERE ARE EXISTING STRUCTURES ON THE SITE THAT WILL REMAIN.
 - ALL LOCATIONS AND DIMENSIONS OF ROAD RIGHT-OF-WAYS OR ADJACENT TO THE SITE ARE SHOWN ON THE PLAN.
 - PEDESTRIAN FACILITIES ARE NOT PROPOSED WITH THIS PROJECT.
 - THERE ARE NO TRANSIT ROUTES FRONTING THE SITE.

TABLE 18.09.040	
BUILDING SETBACKS:	
FRONT:	20'
SIDE STREET:	20'
SIDE INTERIOR:	5'
REAR:	25'
MAX. LOT COVERAGE:	40%
MAX. BLDG. HEIGHT:	35'

RESIDENTIAL DUPLEX WILL BE SUBJECT TO THE PAYMENT OF REQUIRED IMPACT FEES AT THE TIME OF BUILDING PERMIT ISSUANCE

**BUILDING FOOTPRINT NOTE:
THE RESIDENTIAL DUPLEX BUILDING FOOT PRINT SHOWN IS FOR THE PURPOSES OF APPROVAL OF THE CONDITIONAL USE PERMIT. ACTUAL BUILDING PLANS MAY CHANGE DURING BUILDING PERMIT SUBMITTAL AND REVIEW TO BETTER FIT WITH CITY OF CAMAS COMPATIBILITY STANDARDS. THE PROPOSED RESIDENTIAL DUPLEX WILL MEET ALL APPLICABLE SETBACK AND LOT COVERAGE REQUIREMENTS OF THE CITY OF CAMAS CODE.**

NOTE:
Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.

FRANKLIN DUPLEX

A Preliminary Site within a portion of the SW 1/4 of Sec. 35, T2N., R3E., W.M. Clark County, Washington



VICINITY MAP (NTS)

PREPARED BY:
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STERLING
DESIGN, INC.

PRELIMINARY SITE PLAN

FRANKLIN DUPLEX
SOUTH



SITE INFORMATION

ALIGNMENT & FIELD DATA: MINISTER & GLAESER SURVEYING, INC. (360) 694-3313		Scale: AS SHOWN
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294'	Project Number: 708
SITE AREA: 0.23 ACRES	FILENAME: S:\708-Prelim.pro	Design/Drawn: JGS/BC
DATE: 1/19/17		Drawing Date: JAN. 2017
SHEET 4 of 10 Sheet(s)		

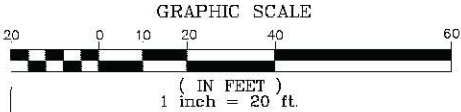
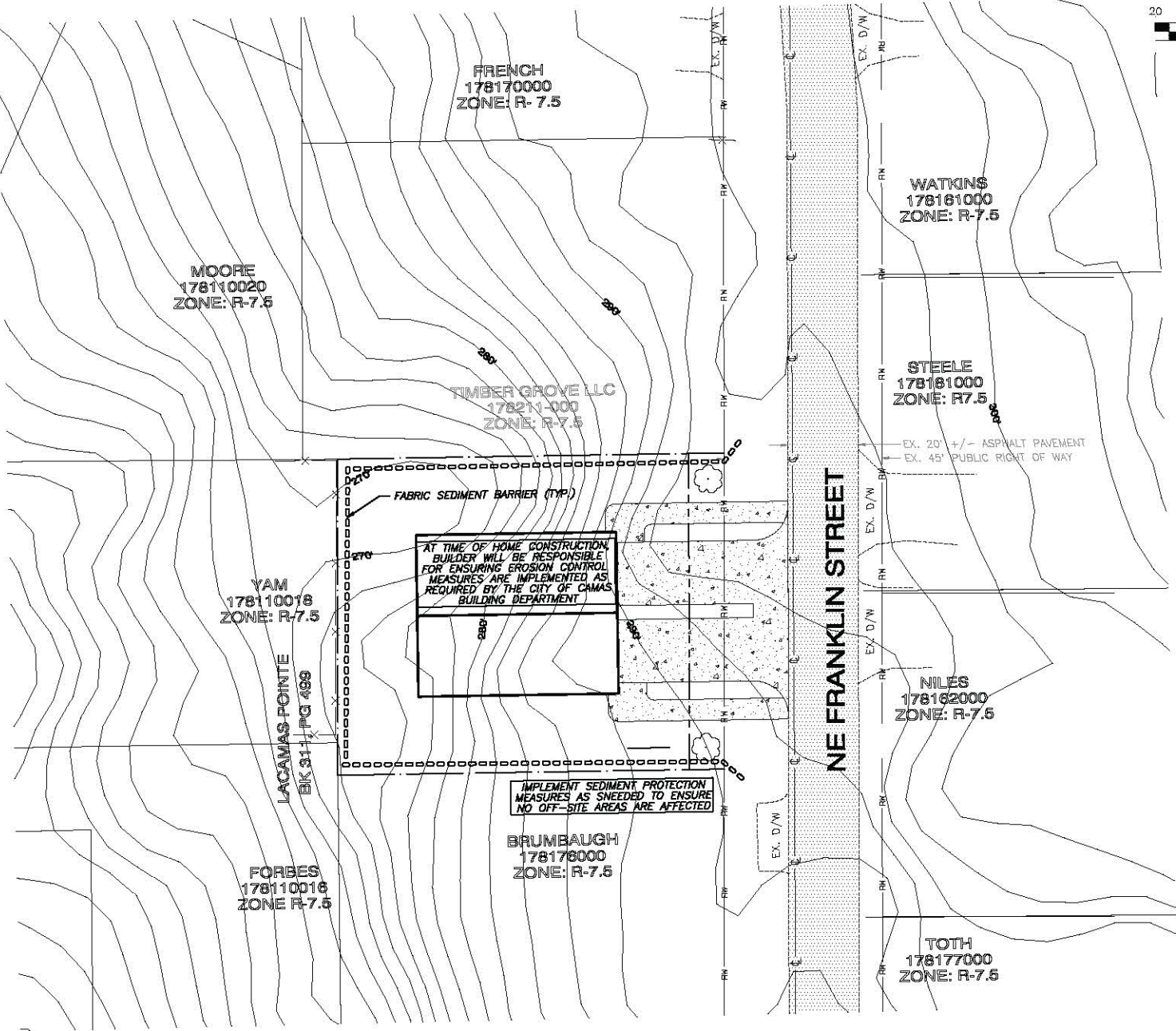
EROSION/SEDIMENT CONTROL NOTES:

1. THE EROSION/SEDIMENT CONTROL (ESC) PLAN IS TO BE UTILIZED AS A GUIDE TO CONTROL THE TRANSPORT OF LOOSE SOILS TO THE PROPERTY OUTSIDE OF THE CONSTRUCTION AREA AND AROUND THE CONSTRUCTION SITE. THE ESC MEASURES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DOES NOT LEAVE THE SITE.
2. THE IMPLEMENTATION OF THE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADE OF THE ESC MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND PERMANENT VEGETATION/LANDSCAPING IS ESTABLISHED.
3. IF THE CITY INSPECTOR OR ENGINEER(S) HAS EVIDENCE OF POOR CONSTRUCTION PRACTICES OR EROSION CONTROL TECHNIQUES, A STOP WORK ORDER SHALL BE ISSUED UNTIL PROPER MEASURES HAVE BEEN TAKEN AND APPROVED BY THE CITY ENGINEERING STAFF.
4. THE CONTRACTORS SHALL BE RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH THE CITY OF CAMAS EROSION/SEDIMENT CONTROL HANDBOOK AND THE STORMWATER MANUAL IN WASHINGTON STATE (LATEST EDITION), VOL. II.
5. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND IN WORKING CONDITION PRIOR TO DISTURBING AND EXPOSING ANY SOIL SURFACES (I.E. CONSTRUCTION ENTRANCES, FILTER FABRIC/STRAWBALE SEDIMENT BARRIERS, AND SEDIMENTATION TRAPS) AND MAINTAINED FOR THE DURATION OF THE PROJECT. TRAPPED SEDIMENT IN EXCESS OF 1 FOOT SHALL BE REMOVED OR STABILIZED ON-SITE. DISTURBED SOIL AREAS RESULTING FROM VEGETATION REMOVAL SHALL BE PERMANENTLY STABILIZED. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
6. TO MINIMIZE EROSION AND SEDIMENTATION TRANSPORTATION, EARTHWORK SHALL NOT BE PERFORMED WHILE SOILS ARE MORE THAN 5% ABOVE OPTIMUM MOISTURE CONTENT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE CLEARING LIMITS AND/OR ANY EASEMENTS, SENSITIVE OR CRITICAL AREAS, AND THEIR BUFFERS, TREES, AND DRAINAGE COURSES FLAGGED PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. FLAGGING LIMITS ARE TO BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
8. REMOVE ONLY THOSE TREES AND SHRUBS THAT NEED TO BE REMOVED FOR THE CONSTRUCTION OF ROADS, SIDEWALKS, UTILITIES, GRADING LIMITS AND STORMWATER FACILITIES.
9. ALL ROAD EXISTING AND NEWLY CONSTRUCTED CATCH BASINS OR CURB INLETS AFFECTED BY CONSTRUCTION SHALL BE PROTECTED AGAINST SEDIMENT DEPOSITS. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
10. ALL POLLUTANTS THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER SYSTEM.
11. ALL DISTURBED SOIL SURFACES ARE TO BE STABILIZED BY A SUITABLE APPLICATION OF BEST MANAGEMENT PRACTICES. NO SOILS SHALL REMAIN UNSTABILIZED FOR MORE THAN TWO DAYS DURING THE PERIOD OF OCTOBER 1 THRU JULY 5. FROM JULY 5 THRU OCTOBER 1, NO SOIL SHALL REMAIN UNSTABILIZED FOR MORE THAN 7 DAYS. STABILIZATION OF DISTURBED SOIL AREAS CAN CONSIST OF HYDROSEEDING OR HAND-SEEDING, MULCHING, PLACEMENT OF EROSION CONTROL BLANKETS OR PLASTIC. ALL SEEDING AREAS ARE TO BE FERTILIZED, WATERED, AND MAINTAINED TO ENSURE THAT THE REGROWTH OF VEGETATION IS AS SOON AS POSSIBLE.
12. ALL TEMPORARY SEDIMENT AND EROSION CONTROL BMP'S SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMP'S ARE NO LONGER NEEDED.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POLICING THE JOB SITE DAILY AND MAINTAINING THE EROSION/SEDIMENT CONTROL MEASURES THROUGHOUT ALL PHASES OF CONSTRUCTION. AN INSPECTION LOG SHALL BE KEPT AND MADE AVAILABLE TO THE CITY OF CAMAS. THE POLICING AND MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO:
 - VERIFYING THAT ALL AREAS ARE GRADED SUCH THAT ALL RUNOFF IS DIRECTED TO A SEDIMENTATION DEVICE BEFORE DISCHARGE TO SURFACE.
 - REMOVAL OF TRAPPED SILT AT SILT BARRIERS, SILT TRAPS, OR POINTS OF ACCUMULATION.
 - ADDITIONAL PROTECTIVE MEASURES DUE TO JOB SITE OR WEATHER CONDITIONS AS REQUIRED BY CITY OF CAMAS WATER QUALITY.
 - MONITORING OF VEHICLES LEAVING THE SITE TO MINIMIZE TRANSMISSION OF LOOSE SOILS TO THE PUBLIC ROADWAYS.
 - PLACING OF THE STRAWBALE SEDIMENTATION BARRIER AT THE ENTRANCE DURING PRECIPITATION OR AT THE END OF THE WORKDAY BEFORE LEAVING THE SITE.
 - VERIFY THAT ALL PROPERTIES ADJACENT TO THE PROJECT SITE ARE PROTECTED FROM SEDIMENTATION DEPOSITION. THIS MAY BE ACCOMPLISHED BY INSTALLING PERMETER CONTROLS SUCH AS SEDIMENTATION BARRIERS, FILTERS OR DIKES, SEDIMENTATION BASINS/TRAPS, OR BY A COMBINATION OF SUCH MEASURES.
14. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES SHALL BE STABILIZED IN ACCORDANCE WITH EROSION/SEDIMENT CONTROL NOTE 11. SLOPES FOUND TO BE ERODING EXCESSIVELY WITHIN TWO YEARS OF CONSTRUCTION MUST BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES. THESE MEASURES MAY CONSIST OF ROUGHENED SOIL SURFACES, INTERCEPTORS, DIVERSIONS OR TERRACES, TEMPORARY OR PERMANENT CHANNELS, ADDITIONAL VEGETATION, OR PIPE SLOPE DRAINS AS REQUIRED BY CITY OF CAMAS WATER QUALITY UNTIL THE PROBLEM IS CORRECTED.
15. THE ESC MEASURES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING A STORM EVENT.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING UNDERGROUND UTILITIES AS SPECIFIED BELOW:
 - WHERE FEASIBLE, NO MORE THAN 500 FEET OF TRENCH SHALL BE OPEN AT ONE TIME.
 - WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - TRENCH DE-WATER DEVICES SHALL DISCHARGE INTO A SEDIMENT TRAP OR SEDIMENT POND.
17. CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER DURING ALL GRADING ACTIVITIES FOR FIELD VERIFICATION OF FILL PLACEMENT AND SITE SPECIFIC GRADING RECOMMENDATIONS. CONTRACTOR SHALL PROVIDE WRITTEN DOCUMENTATION FROM GEOTECHNICAL ENGINEER, FOR STRUCTURAL FILLS PRIOR TO ACCEPTANCE OF PROJECT BY CITY OF CAMAS.
18. SLOPES SHALL BE HYDRO-SEEDED AS SOON AS PROPOSED GRADES ARE ESTABLISHED. CONTRACTOR TO PREPARE SLOPES FOR SEED BY "TRACKING" SLOPES AS PER ATTACHED DETAIL.

EROSION PROTECTION SHALL BE PLACED ON ALL OFFSITE STORM STRUCTURES DOWNSTREAM OF THE SITE OR AS WILL BE AFFECTED BY SITE CONSTRUCTION (TYP.)

MINIMAL GROUND DISTURBANCE WILL TAKE PLACE ON THE PROPERTY AS PART OF THE RESIDENTIAL DUPLEX CONSTRUCTION AND WILL BE LIMITED TO THE MINIMUM REQUIRED FOR FOUNDATION INSTALLATION, DRIVEWAY CONSTRUCTION AND YARD CONTOURING.

IN THE EVENT THAT ANY ITEM OF ARCHAEOLOGICAL INTEREST IS UNCOVERED DURING THE COURSE OF A PERMITTED GROUND DISTURBING ACTION OR ACTIVITY, ALL GROUND DISTURBING ACTIVITIES SHALL IMMEDIATELY CEASE AND THE APPLICANT SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AND DAHP



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STERLING DESIGN, INC.
2208 E EVERGREEN BLVD
VANCOUVER, WA 98681
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STERLING
DESIGN, INC.

Sheet Description:

GRADING & EROSION
CONTROL PLAN

Project:

FRANKLIN DUPLEX
SOUTH

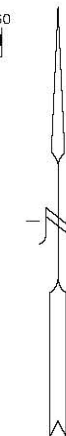
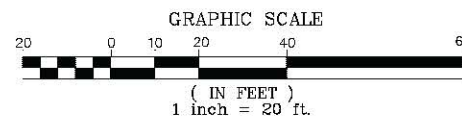
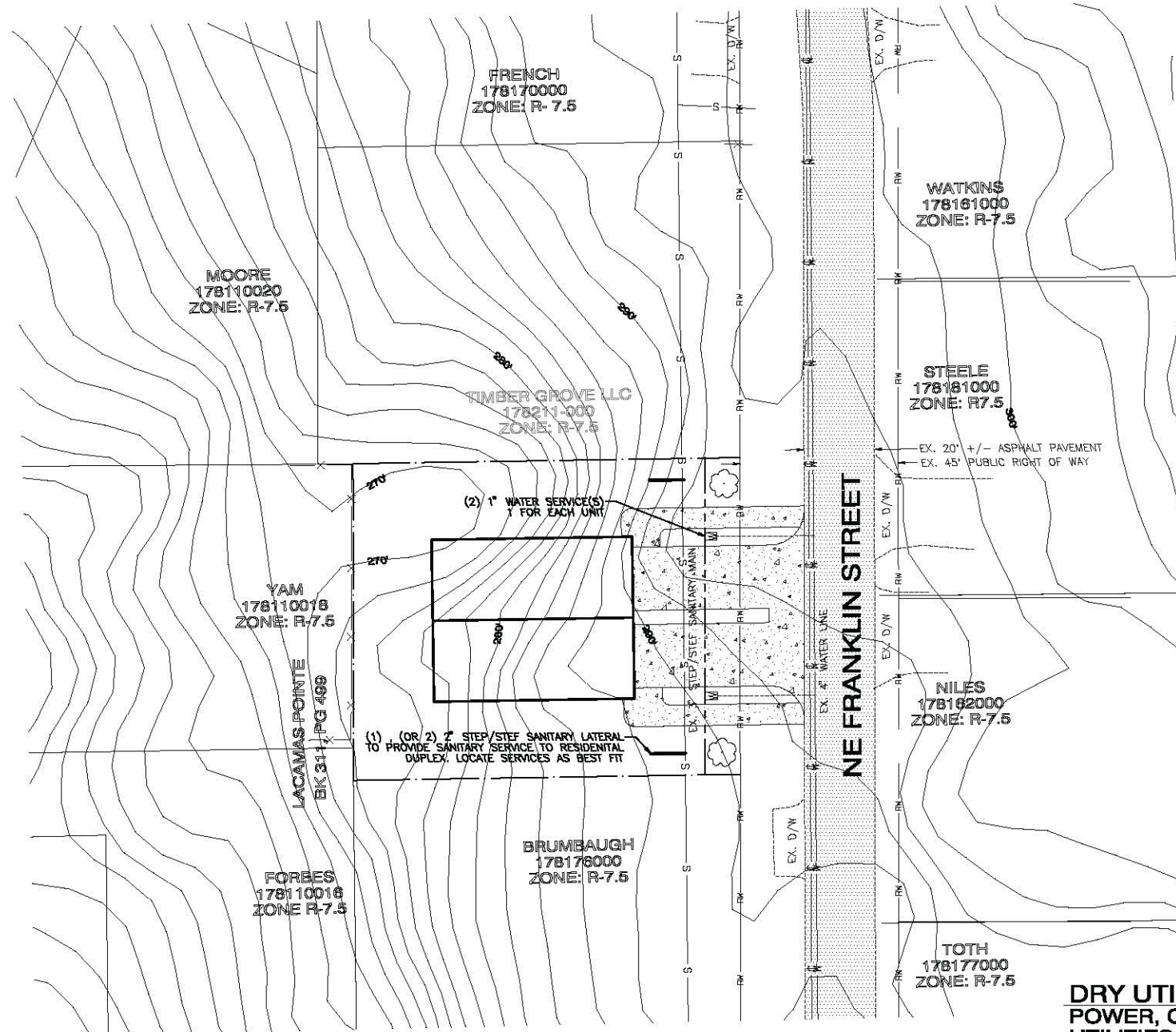


SITE INFORMATION

ALIGNMENT & FIELD DATA: MINISTER & GLAESER SURVEYING, INC. (360) 694-3313		Scale: AS SHOWN
SOL TYPE(s): HcD & HcB	HYDROLOGIC GROUP: C	AASHTO CLASSIFICATION: A-7
SOLS TESTING BY: -	DATE:	Project Number: 708
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294'	Design/ Drawn: JGS/BC
SITE AREA: 0.23 ACRES	FILENAME: S:\708-Prelim.pro	Drawing Date: JAN. 2017
		Sheet 5 of 10 Sheet(s)

NOTE:

Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.



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STERLING
DESIGN, INC.

UTILITY CONNECTIONS PLAN

FRANKLIN DUPLEX
SOUTH



UTILITY NOTE(S)
RESIDENTIAL DUPLEX
WILL BE PROVIDED WITH:
1 (OR 2) - 6" SANITARY LATERAL
2- 1" WATER SERVICES

UTILITIES WILL BE INSTALLED IN
ACCORDANCE TO CITY OF CAMAS
STANDARDS

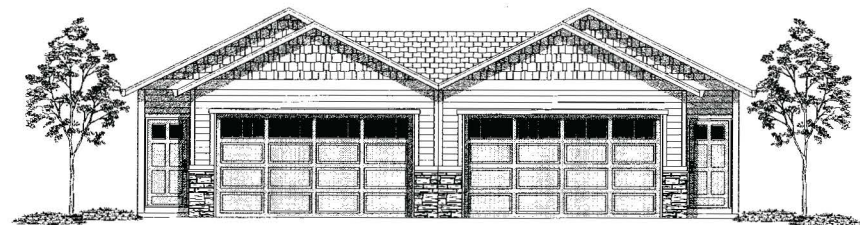
RESIDENTIAL FIRE SPRINKLERS ARE REQUIRED
PER NFPA 13D GUIDELINES AND CAMAS FMO

NOTE:
Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.

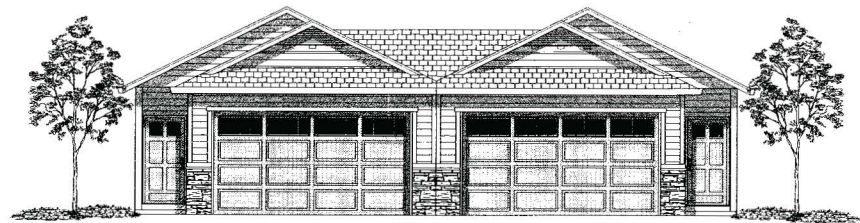
DRY UTILITY NOTE:
POWER, CA TV AND OTHER FRANCHISE
UTILITIES ARE ON OVERHEAD LINES
ALONG THE EAST SIDE OF FRANKLIN ST.

SITE INFORMATION

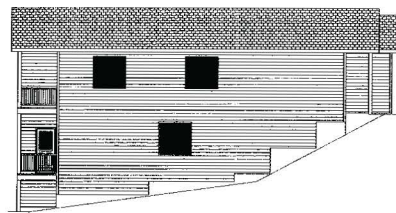
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SOIL TYPE(s): HcD & HcB	HYDROLOGIC GROUP: C	AASHTO CLASSIFICATION: A-7
SOLS TESTING BY: -	DATE: -	Project Number: 708
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	Design/ Drawn JGS/BC
SITE AREA: 0.23 ACRES	FILENAME: S:\708-Prelim.pro	Drawing Date: JAN. 2017
		Sheet 6 of 10 Sheet(s)



FRONT ELEVATION A
SCALE 1/8" = 1'-0"



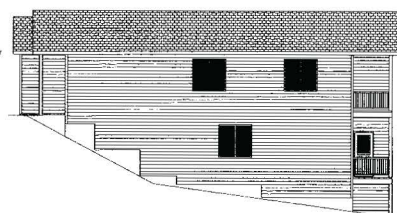
FRONT ELEVATION B
SCALE 1/8" = 1'-0"



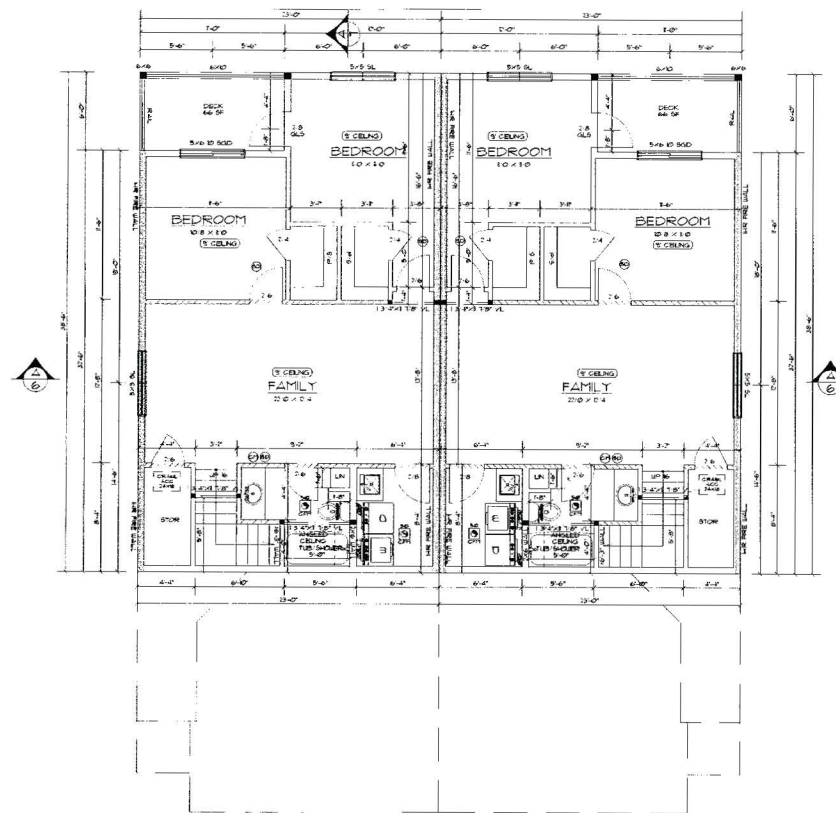
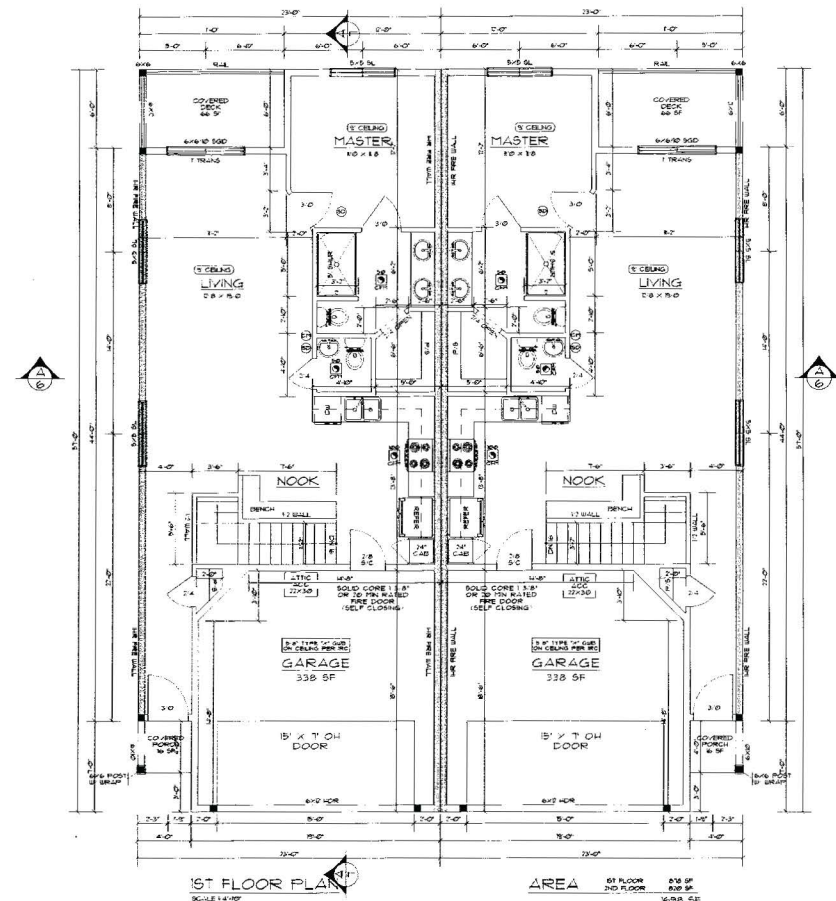
LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"



REAR ELEVATION
SCALE 1/8" = 1'-0"



RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"



SITE INFORMATION

ALIGNMENT & FIELD DATA:	MINISTER & GLAESER SURVEYING, INC. (360) 894-3313	Scale:	AS SHOWN
SOIL TYPE(S):	HYDROLOGIC GROUP: C AASHTO CLASSIFICATION: A-7	Project Number:	708
SOILS TESTING BY:	HeD & HeB	Design/Drawn:	JGS/BC
SITE LOCATION:	CLARK COUNTY, WA	Drawing Date:	JAN. 2017
SITE AREA:	270'-294"	Sheet 7 of 10 Sheet(s)	

PREPARED BY:
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mail@sterlingdesign.biz

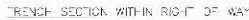
STERLING
DESIGN, INC.

Sheet Description:
EXAMPLE RESIDENTIAL
DUPLEX PLAN

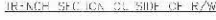
Project:
FRANKLIN DUPLEX



- ALL CONSTRUCTION MATERIALS AND WORKSMAN SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE URBAN/ADDITIONAL STANDARDS SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION AND STANDARDS FOR ALL UTILITIES ARE ATTACHED HEREWITH.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CAJON'S POSTING REQUIREMENTS. IT IS THE DUTY OF THE CONTRACTOR TO KEEP ALL VEHICLES AT ALL TIMES LOCATED AT THE START OF CONSTRUCTION AND TO NOTIFY THE CITY OF CAJON IMMEDIATELY OF ANY VIOLATION.
- CONTRACTOR SHALL CALL CALIFORNIA'S 24-HOUR UTILITY NOTIFICATION CENTER AT (800) 669-6215 OR (909) 253-4141 FOR UTILITIES LOCATED A MINIMUM OF 48 HOURS PRIOR TO ANY CONSTRUCTION.
- ALL EXISTING OBSTRUCTIONS, PROPERTY CORNERS AND SURVEY MARKERS SHALL BE PROTECTED. REPLACEMENT OF LOST, DESTROYED OR DAMAGED MARKERS SHALL BE DONE BY A LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- IF THE CONTRACTOR SHALL NOT EXCAVATE WITHIN FOUR (4) HOURS WITHOUT A WRITTEN ALLOWANCE FROM THE CITY, ALL CONSTRUCTION SHALL BE HELD TO BE IN ACCORDANCE WITH THE CITY'S EXCAVATION PERMITS.
- ALL UTILITIES SHALL HAVE A PROPERLY MARKED APPROVED BY THE CITY OF CAJON.
- ALL EXISTING AND PROPOSED SIDEWALKS SHALL BE MAINTAINED TO THE FULL WIDTH. ANY EXISTING SIDEWALK SHALL BE REPAIRED OR REPAVED WITH COLD MIX GRANULAR BACKFILL. EXCAVATION IS NOT ALLOWED. PLASTER IS ALLOWED ON CURB AND SIDEWALKS. PROPOSED SIDEWALKS SHALL BE CONSTRUCTED TO THE CITY'S SPECIFICATIONS.
- THE CONTRACTOR SHALL OBTAIN A CITY OF CAJON CONSTRUCTION CONTROL DEPARTMENT'S PRIOR TO ANY CLEARING OF THE START OF ANY CONSTRUCTION.
- IF THE CONTRACTOR OR ENGINEER HAS EVIDENCE OF POOR CONSTRUCTION PRACTICES, THE CITY ENGINEER SHALL HAVE THE RIGHT TO STOP ANY WORK. THE ENGINEER SHALL IMMEDIATELY ADVISE THE CITY OF CAJON IMMEDIATELY BY PHONE. THE CITY ENGINEER SHALL HAVE THE RIGHT TO STOP ANY WORK.
- THE CONTRACTOR SHALL SUBMIT A SITE CONTROL PLAN TO THE CITY OF CAJON PRIOR TO ANY CONSTRUCTION. SPECIAL SIGNAGE IS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- THE DEVELOPMENT PROJECT SHALL OBTAIN A PRE-CONSTRUCTION MEETING WITH THE CITY OF CAJON PRIOR TO THE START OF CONSTRUCTION.
- ANY CHANGES, DEVIATIONS FROM THE CITY'S SPECIFICATIONS, OR SUBMITTALS FROM THE CONTRACTOR'S ENGINEER AND APPROVAL FROM THE CITY OF CAJON'S ENGINEERING DEPARTMENT, AND ANY NECESSARY CONTROL SIGNAGE OF PROJECTS TO THE CITY OF CAJON PRIOR TO ANY CONSTRUCTION.



44 SERVICES ONLY & ALLOWED WHERE APPROVED



22. SERVICES ONLY ALLOWED WHERE APPROVED

1. ALL GRADING SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE W.S.C.D. STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION AND: IF CITY OF CAMAS DESIGNATES MANUAL.
2. THE LIMITS OF CLEARING SHALL BE FLAGGED PRIOR TO CLEARING AND GRUBBING OF THE SITE.
3. ANY EXISTING TREES TO REMAIN WITHIN THE CLEARING LIMITS SHALL BE MARKED AND PROTECTED FOR DAMAGE.
4. PRIOR TO ANY FILL OR ADJUSTMENT, ALL AREAS WHICH WILL RECEIVE STRUCTURAL FILL SHALL BE EXCAVATED TO FIRM, NON-ORGANIC, UNDISTURBED NATIVE GROUND. THE STRIPPED AREAS SHALL BE OBSERVED AND ACCEPTED BY THE GEOTECHNICAL ENGINEER AND THE CITY OF CAMAS INSPECTOR.
5. ALL FILL RIGHTS SHALL MEET 95% OF AASHTO T-99 REQUIREMENTS.
6. ALL 11' RIGHT-OF-WAY FILL SHALL MEET 85% OF AASHTO T-180 COMPACTION.
7. FILLS SHALL BE INSTALLED IN VERTICAL LIFT NOT EXCEEDING 6 INCHES IN THICKNESS AND SHALL BE COMPACTED AS PREVIOUSLY NOTED.
8. FILL PLACEMENT ON SLOPES EXCEPTING FILL SHALL BE KEPTED AND REINFORCED, GEOTECHNICAL APPROVAL REQUIRED PRIOR TO ANY FILL PLACEMENT.
9. ALL SURFACES SHALL BE GRADED SMOOTH AND BE FREE OF IRREGULARITIES THAT MIGHT ACCUMULATE SURFACE WATER.
10. ALL CUT AND FILL SLOPES SHALL NOT EXCEED 2:1 SLOPES.
11. ANY EXCESS MATERIAL NOT REQUIRED TO MEET THE GRADES SHOWN ON THE PLANS SHALL BE HAULED FROM THE SITE TO A CONTRACTOR PROVIDED WASTE SITE. IF WASTE SITE IS WITHIN CITY LIMITS, A GRADING PERMIT MAY BE REQUIRED.
12. ALL EXPOSED AND UNWORKED SOILS SHALL BE STABILIZED BY SUITABLE APPLICATION OF TROGLODUR, JMW'S.
13. ALL SURFACES REQUIRING VEGETATION SHALL BE ROUGHENED FOR TO SEEDING (I.E. WHEEL TRACKED EQUIPMENT OR SURFACE FLOW TO RE-GRASS TROGLODUR AND H&P VEGETATION).
14. FINAL GEOTECHNICAL SUMMARY REPORT INCLUDING ALL COMPACTION TESTING RESULTS, SHALL BE SUBMITTED UPON COMPLETION OF SITE GRADING WORK.

1. THE EROSION/SEDIMENT CONTROL (ESC) PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS TO BE UTILIZED AS A GUIDE TO CONTROL THE TRANSPORT OF LOOSE SOILS TO THE PROPERTY. ONLY WHEN THE ESC PLAN AND SWPPP ARE COMPLETED SHALL EROSION/SEDIMENT CONTROL MEASURES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DOES NOT LEAVE THE SITE.
2. THE IMPLEMENTATION OF THE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND REMOVAL OF EROSION/SEDIMENT CONTROL MEASURES BY THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND PERMANENT VEGETATION/LANDSCAPING IS ESTABLISHED.
3. THE FIELD INSPECTOR OF UNKLEHUIS HAS EVIDENCE OF HIGH CONSTRUCTION PROBLEMS ON EROSION CONTROL MEASURES. A "STOP WORK" ORDER SHALL BE ISSUED UNTIL PROPER MEASURES HAVE BEEN TAKEN AND APPROVED BY THE CONSTRUCTION STAFF.
4. THE CONTRACTORS SHALL BE RESPONSIBLE FOR MAINTAINING THEMSELVES WITH THE MOST RECENTLY ADOPTED EDITION OF THE INTERNATIONAL STANDARDIZATION MANUAL FOR MEASUREMENT, VOL. #1 AND THE CITY OF CAMAS MUNICIPAL CODE 14.36 (2011).
5. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND IN WORKING CONDITION PRIOR TO DRAINING AND EXPOSING ANY SOIL SURFACES. IF CONSTRUCTION CHANGES, EROSION/SEDIMENT CONTROL AND SEDIMENTATION MEASURES AND MAINTENANCE FOR THE DURATION OF THE CONSTRUCTION SHALL BE REQUIRED TO EXCEED THE MINIMUM STANDARD. IF CHANGES TO THE DISTURBED SOIL AREAS RESULTING FROM WEED OR PLANT REMOVAL SHALL BE PERMANENTLY STABILIZED. EROSION/SEDIMENT CONTROL SHALL BE REQUIRED TO ENSURE THAT ALL EXPOSED AREAS ARE KEPT CLEAN ON THE DURATION OF THE PROJECT.
6. TO MINIMIZE EROSION AND SEDIMENTATION TRANSPORTATION, EARTHWORK SHALL NOT BE PERFORMED WHILE SOILS ARE IN AN UNABLE STATE DUE TO PRECIPITATION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVE CLEARING LIMITS AND/OR ANY FENCEMENTS, SENSITIVE OR CRITICAL AREAS, AND THEIR BUFFER ZONES, IDENTIFY AND UNMARKED DOUBTS FLAGGED WITH WARNING SIGNAGE. EROSION/SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND FLAGGED AND CLEARING LIMITS SHALL BE PERMITTED. FLAGGING LIMITS ARE TO BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
8. REMOVE ONLY THOSE TREES AND SHRUBS THAT NEED TO BE REMOVED FOR THE CONSTRUCTION OF ROADS, SIDEWALKS, UTILITIES, AND STORMWATER FACILITIES.
9. ALL EXISTING AND NEWLY CONSTRUCTED ROAD DRAIN BASINS AND CULVERTS AFFECTED BY CONSTRUCTION SHALL BE PROTECTED AGAINST SEDIMENT. DURING SITE AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCES MUST BE KEPT CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL BE CONSIDERED A HIGH-SPILL LADEN WORK AREA IN THE CONSTRUCTION SYSTEM.
10. ALL CULVERTS AND/OR CULVERT SITES DURING CONSTRUCTION ON SITE SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE OBSTRUCTION TO THE CONSTRUCTION SYSTEM.
11. ALL UNDISTURBED SOIL SURFACES ARE TO BE STABILIZED BY A SUITABLE APPLICATION OF "BEST MANAGEMENT PRACTICES" (BMPs). DURING THE PERIOD OF OCTOBER 1 THROUGH JULY 5 UNDISTURBED SOILS MAY REMAIN UNSTABILIZED FOR UP TO TWO DAYS WHEN NOT BEING WORKED. FROM JULY 5 THROUGH OCTOBER 1, UNDISTURBED SOILS SHALL BE STABILIZED WITHIN 14 DAYS. UNDISTURBED SOILS NOT BEING WORKED. STABILIZATION OF DISTURBED SOIL AREAS MAY CONSIST OF "HYDROSEEDING, BARK-SHEDDING AND VOLCANIC PLACEMENT OF EROSION CONTROL MATS OR HAYMATS ON PLASTIC, ALL SAVED AREAS SHALL BE MAINTAINED AND MAINTAINED TO INSURE THAT THE GROWTH OF VEGETATION OCCURS AS SOON AS POSSIBLE.
12. ALL TEMPORARY SEDIMENT AND EROSION CONTROL BMPs SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMP'S ARE NO LONGER NEEDED.

[illegible]

- [illegible]



Scale: AS SHOWN

Sheet 8 of 10 Sheet(s)

Project: FRANKLIN DUPLIX

Sheet Description:

<u>Description:</u>	DETAILS SHEET
---------------------	----------------------

**STERLING
DESIGN, INC.**

PREPARED BY:

STERLING DESIGN, INC.
22208 E. EVERGREEN BLVD
VANCOUVER, WA 98661
PH. (360) 759-1794
FAX (360) 759-4983
mail@sterlingdesign.biz

- | | | | | | |
|----------|----------|-----|--------|--|-------------------------------------|
| REV. NO. | DATE | BY | REASON |  CITY OF CAMAS - SANITARY DETAIL
SEWER CONSTRUCTION NOTES
 | DETAIL NO.

SP1 |
| 1 | 5/1/90 | SGD | JD | | |
| 2 | 1/1/91 | SGD | JD | | |
| 3 | 10/21/94 | SGD | JD | | |
| | | | | DESIGNED BY:  DATE: 10-21-14 | NOT TO SCALE |



- | | | | | | | |
|----------|----------|-----|-------|--|--|-----|
| REV. NO. | DATE | BY | APPR. |  CITY OF CAMAS - SANITARY DETAIL
STEF SEWER CONSTRUCTION NOTES
 10-27-14 | DETAIL NO. | |
| 1 | 5/1/07 | SGD | JC | |  CITY OF CAMAS - SANITARY DETAIL
STEF SEWER CONSTRUCTION NOTES
 10-27-14 | SF1 |
| 2 | 1/1/11 | SGD | JC | | | |
| 3 | 10/28/14 | SGD | JC | | | |



STERLING
DESIGN^{INC.}

DETAILS SHEET

FRANKLIN DUPLEX



Project Number: 708

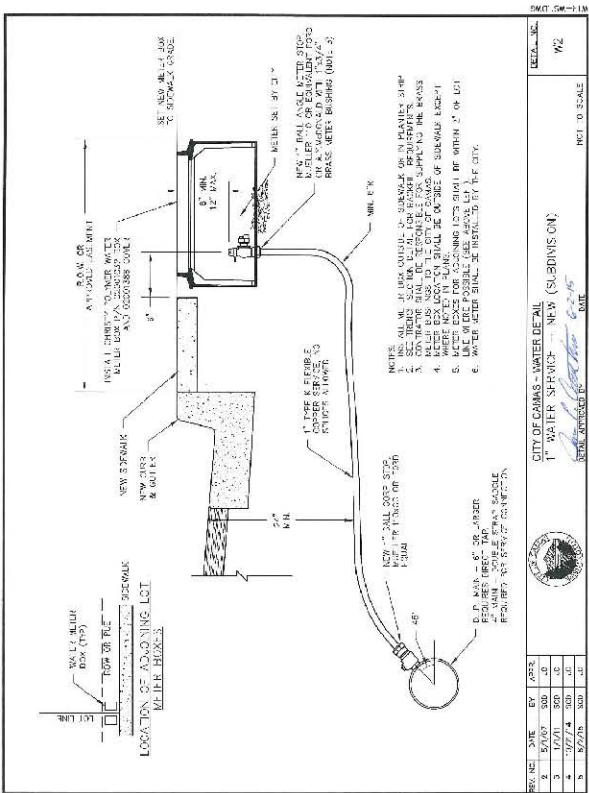
Design/ JGS/BC
Drawn

Drawing Date: JAN. 201

Sheet 9 of 10 Sheet(s)

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REV. NO.	DATE	BY	APPR.	 CITY OF CANAS - WATER DEPT. WATER CONSTRUCTION NOTES <i>R. P. Costello</i> 1-4-11 DESIGNED BY 1-4-11	CDSH NO. 471 NOT TO SCALE
1	7/17/08	SCD	DEP/0701		
2	5/1/09	DEO	JC		
3	1/1/11	SCD	JC		



 <p>4/13/17</p>	<p><u>Project:</u></p> <p>FRANKLIN DUPLEX</p>	<p><u>Sheet Description:</u></p> <p>DETAILS SHEET</p>	<p>STERLING DESIGN, INC.</p>	<p>PREPARED BY:</p> <p>STERLING DESIGN, INC. 2208 EYERHAGEN BLVD NASHVILLE, TN 37203 TEL (615) 484-1968 FAX (615) 484-1963 mail@sterlingdesign.biz</p>
<p>Scale: AS SHOWN</p>	<p>Project Number 708</p>	<p>Design/ JGS/BC</p>		
<p>Drawing Date: JAN. 2017</p>				
<p>Sheet 10 of 10 Sheet(s)</p>				

<p><u>TAB F.</u> PRE-APPLICATION REPORT</p>



**Pre-Application Meeting Notes
Galanter Duplex
File PA 16-24**

Thursday, September 1, 2016
Council Chambers
616 NE Fourth Avenue, Camas, WA 98607

Applicant:

Dave Galanter
6614 NE 126th ST
Vancouver, WA 98686
360.904.7151
dgalanter@bannerbank.com

Property Owner:

Donald Grafton
2457 NW Fargo
Camas, WA 98607

Representing City of Camas:

Sarah Fox, Sr. Planner
Randy Miller, Fire Marshal
Norm Wurzer, Engineer
Jeff Noga, Plans Examiner

Location: 4033 and 4055 NE Franklin

Tax Accounts: 178211-000 and 178207-000

Zoning: R-7.5

Description: Applicant proposes to build a duplex on each lot

NOTICE: Notwithstanding any representation by City staff at a pre-application conference, staff is not authorized to waive any requirement of the City Code. Any omission or failure by staff to recite to an applicant all relevant applicable code requirements shall not constitute a waiver by the City of any standard or requirement. [CMC 18.55.060 (C)] This pre-application conference shall be valid for a period of 180 days from the date it is held. If no application is filed within 180 days of the conference or meeting, the applicant must schedule and attend another conference before the City will accept a permit application. [CMC 18.55.060 (D)] Any changes to the code or other applicable laws, which take effect between the pre-application conference and submittal of an application, shall be applicable. [CMC 18.55.060 (D)]. **A link to the Camas Municipal Code (CMC) can be found on the City of Camas website, <http://www.cityofcamas.us/> on the main page under "Business and Development".**

STAFF NOTES

PLANNING DIVISION

Sarah Fox | 817-7269

Applicable codes for this development include Title 16 Environment, Title 17 Land Development, and Title 18 Zoning of the Camas Municipal Code ("CMC"). The applicant is responsible for reviewing the code and addressing the applicable provisions. A duplex development in a single family zone requires **Conditional Use Permit approval**.

Type III Permits	Fee
Conditional Use Permit	\$3000 + \$95/per unit
Archaeological Review	\$120

Application Materials:

1. **General application** materials are listed at CMC18.55.110 (A through G). Include a site plan with the applicable setbacks, building footprint and elevations. Each lot will be required to install a street tree within the planter strip of the right-of-way.

A development sign will need to be installed on the property, which is within view of the road. The sign must be four feet by eight feet and remain on site until a decision has been rendered.

2. **Conditional Use Permit (CUP)**. The CUP requires a public hearing before the city's Hearings Examiner. The public hearings are scheduled as needed and require a minimum of two week notice prior to the hearing date.

The application narrative must include a response to the CUP approval criteria at CMC§18.43.050 Criteria.

18.43.050 - Criteria

The hearings examiner shall be guided by all of the following criteria in granting or denying a conditional use permit:

A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;

B. The proposed use shall meet or exceed the development standards that are required in the zoning district in which the subject property is situated;

C. The proposed use shall be compatible with the surrounding land uses in terms of traffic and pedestrian circulation, density, building, and site design;

Staff note: The surrounding neighborhood has a mix of housing types, with ranch homes flanking either side of the properties (page 6 or these notes). The proposed design with a garage door as the dominant feature, is inconsistent with the design of the houses along that street. A modification to the design to provide more area for living space windows facing the street and a lesser percentage of garage door frontage would be advised.

D. Appropriate measures have been taken to minimize the possible adverse impacts that the proposed use may have on the area in which it is located;

E. The proposed use is consistent with the goals and policies expressed in the comprehensive plan;

F. Any special conditions and criteria established for the proposed use have been satisfied. In granting a conditional use permit the hearings examiner may stipulate additional requirements to carry out the intent of the Camas Municipal Code and comprehensive plan.

3. **Archaeological Review.** The property is within an area that is considered to have a moderate-high probability for containing archaeological resources, and is within one-quarter mile of known archaeological resources. A predetermination report must be submitted as described at CMC§ 16.31.080. The city requires that a copy of the report be mailed to the following tribes and provide proof of mailing to the city. Refer to CMC§ 16.31.160 for the notification requirements.

Tribes	Contact(s)	Address
Chinook Indian Nation	Tony Johnson, Chairman	PO Box 368, Bay Center, WA 98527
Confederated Tribes and Band of the Yakama Indian Nation	Kate Valdez, THPO Cultural Resources	PO Box 151, Toppenish, WA 98948
	Johnson Meninick, Cultural Resources Program Manager	
Confederated Tribes of the Grande Ronde	Jordan Mercier, THPO, Cultural Protection Coordinator	9615 Grand Ronde Road, OR 97347-9712
Confederated Tribes of the Umatilla Indian Nation	Teara Farrow Ferman, Cultural Resources	46411 Timine Way, Pendleton, OR 97801-9467
Confederated Tribes of Warm Springs	Robert Brunoe, Tribal Historic Preservation Officer	PO Box 460, Warm Springs, OR 97761
Cowlitz Indian Tribe	dAVE Burlingame, Director Cultural Resources	PO Box 2547, Longview, WA 98632-8594
	James Gordon, Cultural Resources	PO Box 2547, Longview, WA 98632-8594
Nez Perce Tribe	Mary Jane Miles, Chairman	PO Box 305, Lapwai, ID 83540
Shoalwater Bay Tribe	Earl Davis, Heritage and Cultural Coordinator	PO Box 130, Tokeland, WA 98590

BUILDING DIVISION

Jeff Noga | 817-1568

1. The placement of buildings and structures on or adjacent to slopes steeper than one unit vertical in three units horizontal shall conform to Sections R403.1.7.1 through R403.1.7.4. A geotechnical reports may be required.
2. The structures will be reviewed under the most current building codes as adopted by The State of Washington.
3. The structural drawings and calculations shall be prepared and stamped by a Professional Engineer licensed by the State of Washington.
4. Required fire distance between buildings and from property line

5. If required the fire suppression system shall be in accordance with IBC and other applicable codes standards and shall be reviewed by the Camas Fire Marshal's office.
6. System Development Charges and Impact fees shall be assessed prior to permits
7. Storm sewer disposal/connections
8. Any development located within a special flood hazard area shall be in accordance with CMC 16.57
9. Verify Water and sewer availability with the public works department
10. Storm water from existing developments that slope towards the newly proposed developments should be taken into consideration.
11. Flag lots shall have a monument address sign at the street/driveway entrance
12. All lots shall be provided a storm drain lateral at the lowest practical location.

ENGINEERING DIVISION

Norm Wurzer | 817-1561

General Requirements:

- Construction plans shall be prepared by a licensed Washington State engineer in accordance with City of Camas standards.
- Existing wells and septic tanks and septic drain fields shall be abandoned in accordance with state and county guide lines per CMC 17.19.020 (A3).
- Per CMC 17.19.020 (A) Applicant shall provide public water and sewer services to each lot.
- A 3% plan review and inspection fee will be required per resolution number 1023. The fee will be based on an engineer's estimate or construction bid. The fee is due prior to approved construction drawings being released by the City.
- Regulations for installation of public improvements, improvement agreements, bonding, final platting and final acceptance can be found at CMC 17.21.
- Exception requests to the requirements of Title 17 shall meet the requirements of CMC 17.23.

Stormwater:

- If the applicant proceeds with an application that includes both lots, then they will be considered as one development when determining stormwater requirements (exceeding 5000 SF).
- Per CMC 14.02 stormwater treatment and runoff control, if triggered (5,000 SF of impervious surface), shall be designed in accordance with the 2012 Stormwater Management Manual for Western Washington and the City of Camas Stormwater Design Standards Manual.
- Stormwater facilities shall be located and landscaped per CMC 17.19.030 (F6) and CMC 17.19.040 (C3a).
- Maintenance of the storm water facilities will be the responsibility of the owner per CMC 17.19.040 (C3).

Streets:

- The applicant will be responsible for all traffic control signs, street name signs, pavement markings and street lighting per CMC 17.19.030 (I) (J). As of October, 2014 LED lighting is a requirement for all street lighting.
- The applicant will be responsible for the design and submittal of the utility plan showing the locations for underground power, telephone, gas, CATV, street lights and associated appurtenances.
- Per CMC 17.19.040 (B) the applicant will be required to dedicate a 10' half street Right-Of-Way.

Water:

- There is a 4" water line on NE Franklin

Sanitary Sewer:

- There is a 3" sanitary line STEP/STEF (contractor to confirm with City Water/Sewer dept.).

System Development Charges (SDC)

All fees are subject to change and are paid at time of building permit issuance.

For each single family detached residential structure the 2016 SDC will be as follows:

- | | |
|------------------------|-------------|
| • TIF North District | \$ 2,995.00 |
| • School impact fee | \$ 5,371.00 |
| • ¾" Water Meter fee | \$ 4,778.00 |
| • Water Connection fee | \$ 350.00 |
| • Sewer | \$ 2,493.00 |
| • Park/O.S. | \$ 2,290.00 |
| • Fire | \$ 0.20/SF |

FIRE MARSHAL

Randy Miller | 834-8866

- 1) Life Safety Residential Fire Sprinklers are required in all new residential structures, installed per NFPA 13D guidelines and Camas FMO review notes.
- 2) Special attention to the water service line into the house is required and shall be evaluated by your fire sprinkler contractor for correct sizing. Contact our office if you have any questions about the water service line size. If the underground contractor is going to install the line without following the fire sprinkler contractor design specs, then a 2 inch line is required. However the water line size could easily be down sized based on fire sprinkler contractor evaluation.
- 3) Provide address numbers that can easily be seen from NW 3rd St. and will not be blocked by parked vehicles, landscaping etc.

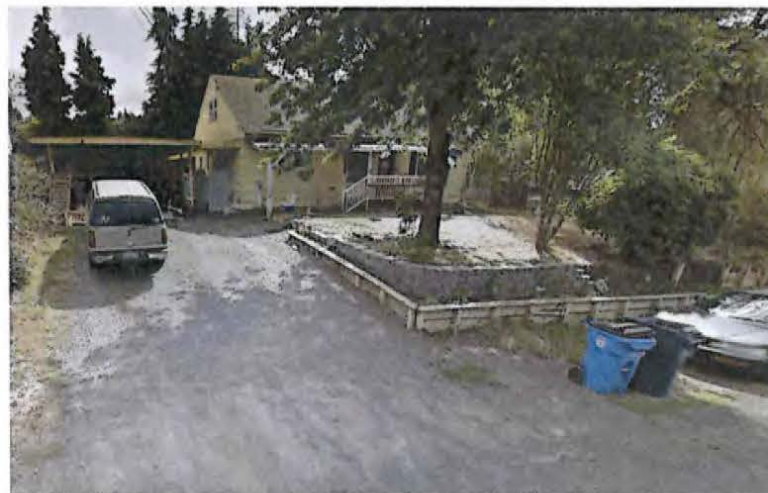
Sample of housing styles adjacent to the subject properties
1- 4015 NE Franklin



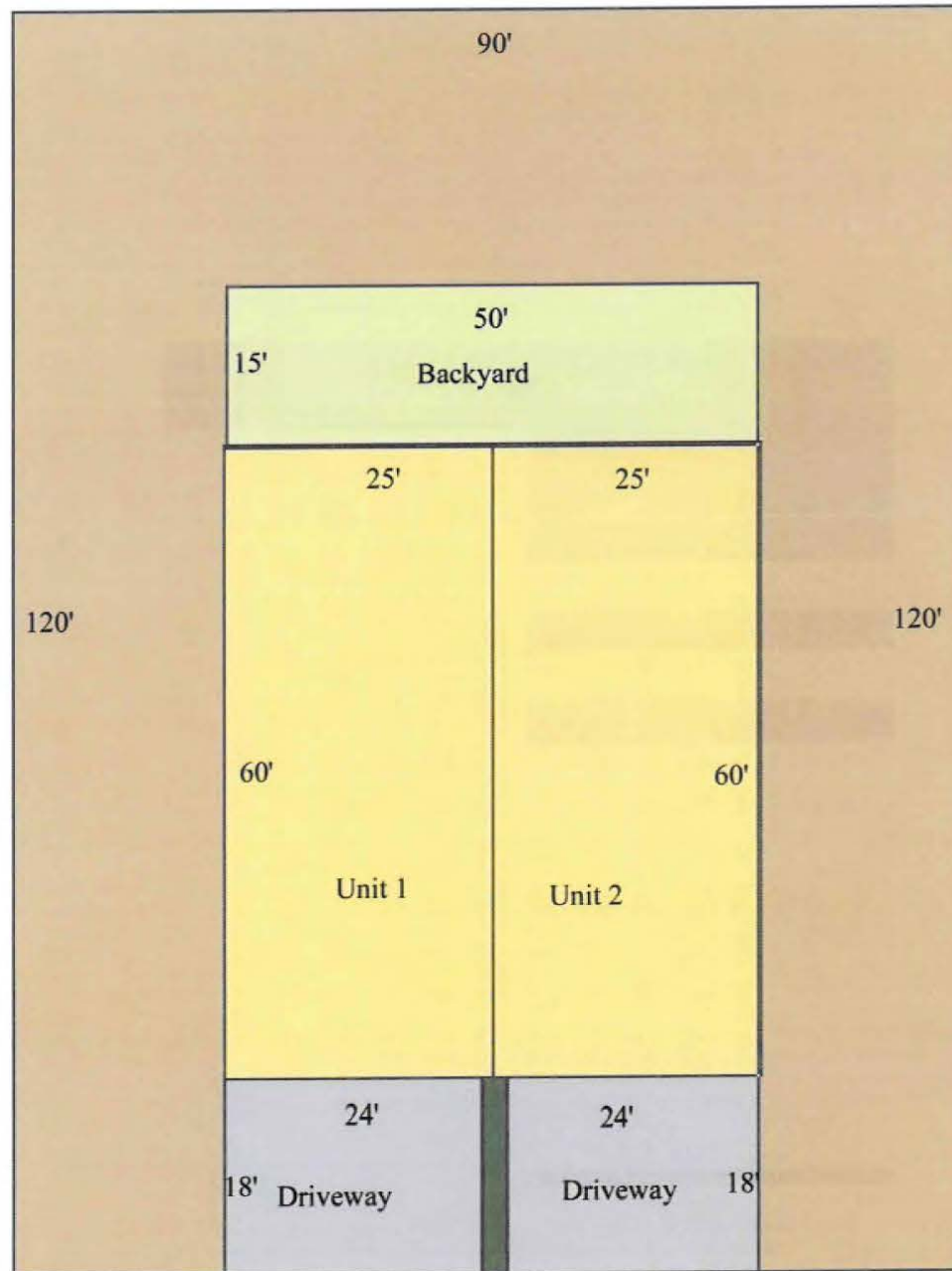
2- 4110 NE Franklin



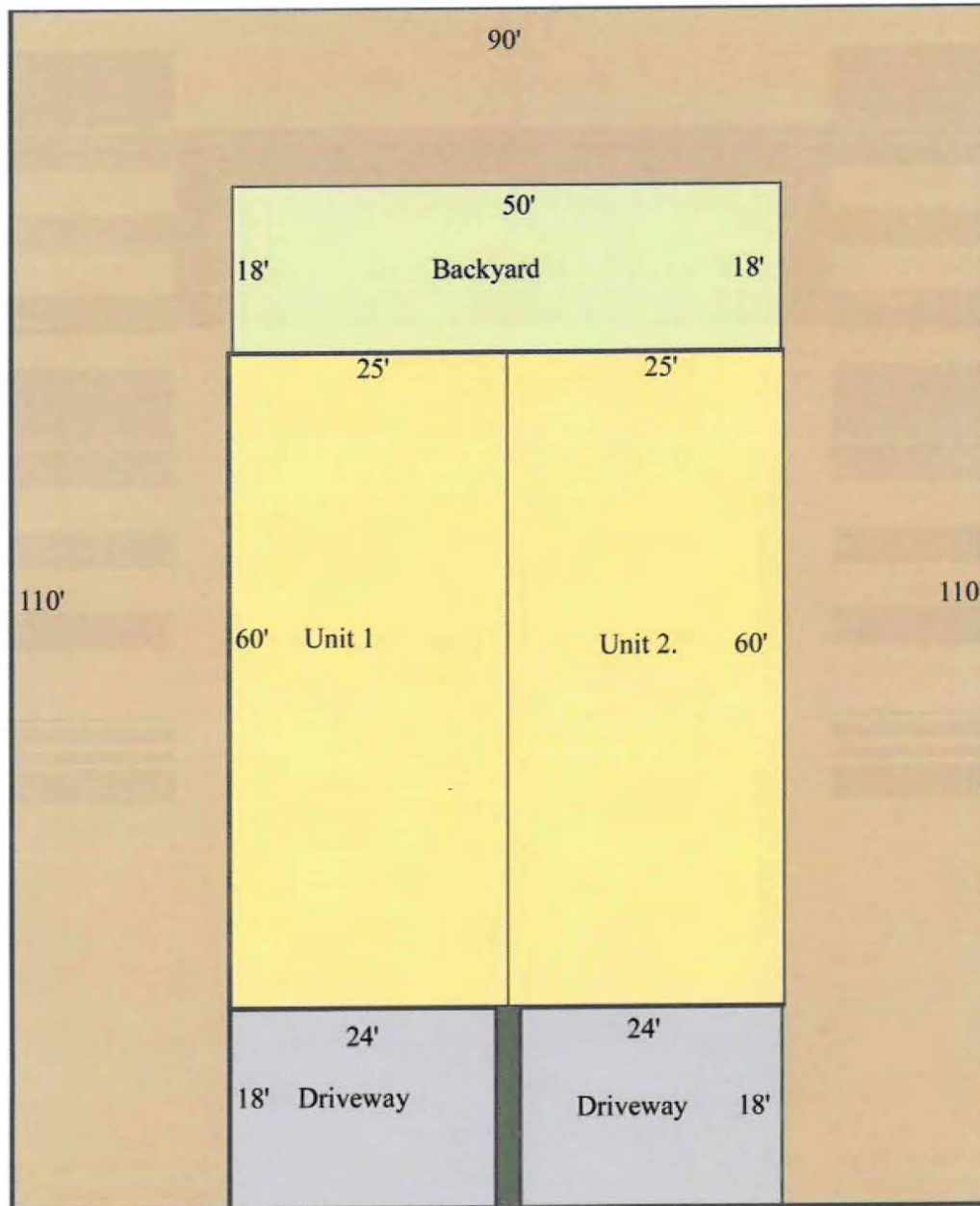
3- 4024 NW Franklin



Plot Map 4055 NE Franklin



Plot Map 4033 NE Franklin



TAB G.
SEPA CHECKLIST

N/A

TAB H.
SIGNAGE

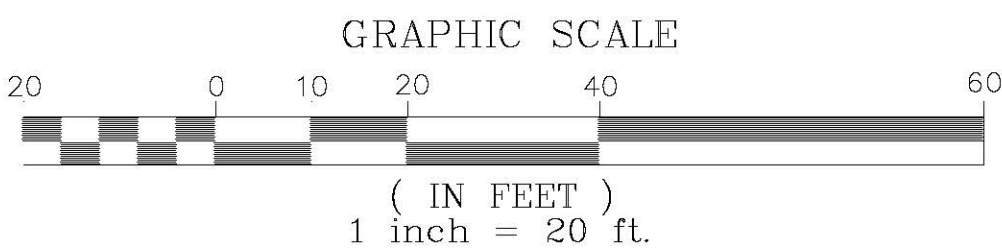
**SIGNAGE FOR TYPE III APPLICATION
SHALL BE INSTALLED PRIOR TO BEING
DEEMED COMPLETE**

PRE APPLICATION:

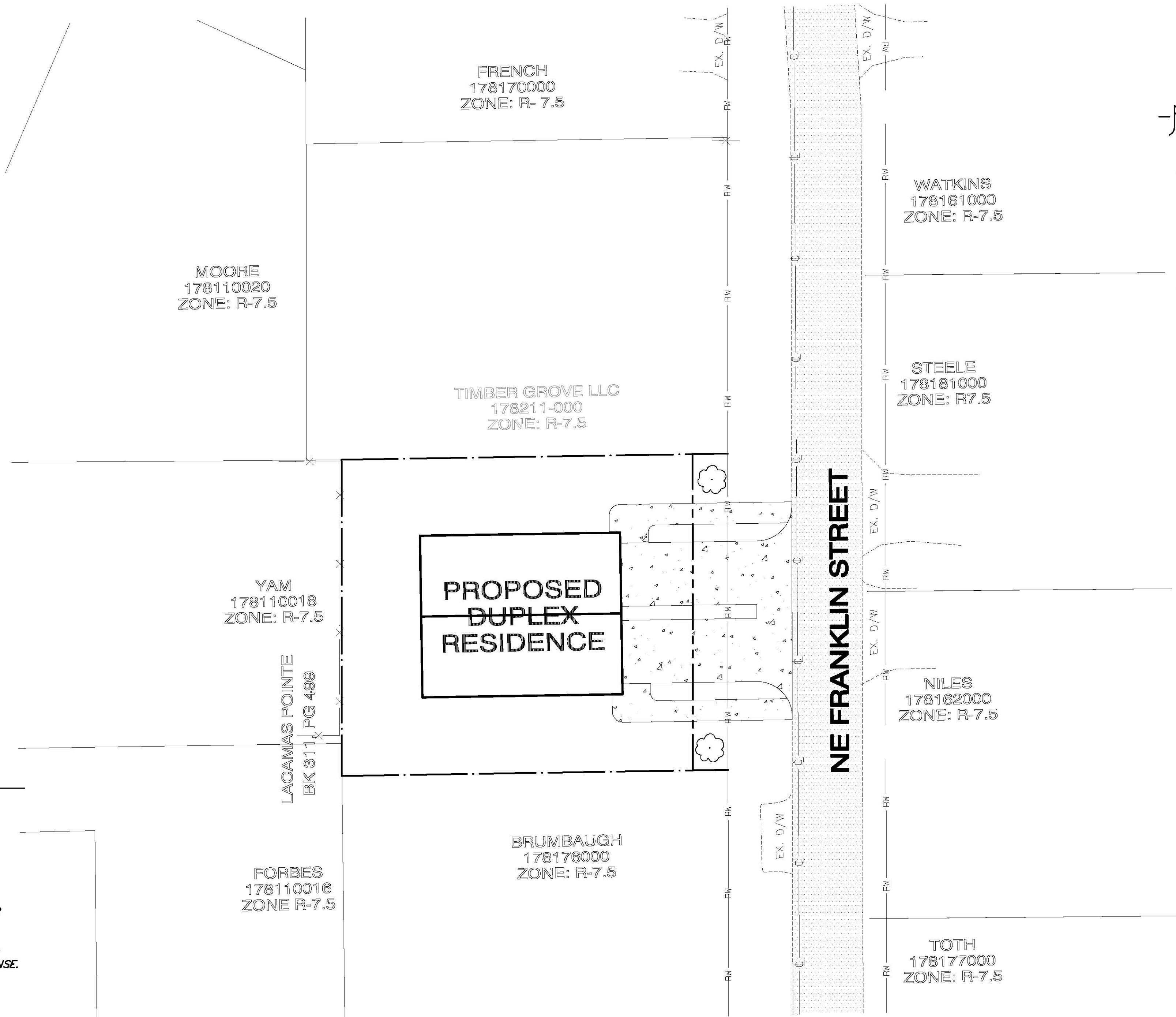
• **PA16-24**

PERMITS REQUESTED:

- **CONDITIONAL USE PERMIT**
- **GENERAL APPLICATION**



TYPE III CONDITIONAL USE PERMIT

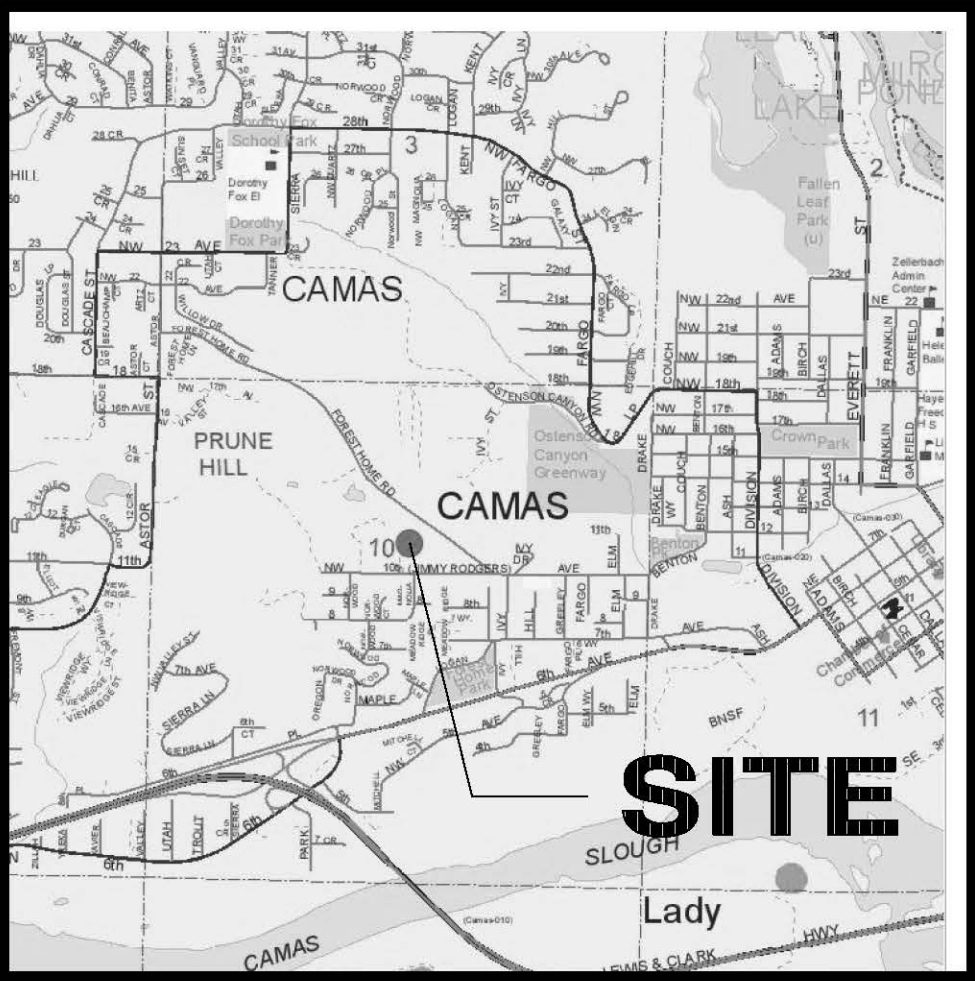


GENERAL NOTES:

1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE 2006 EDITION OF THE WSDOT/APWA STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION AND STANDARD DETAIL SHEETS ATTACHED HERE IN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES, INCLUDING THE INVERT AND TOP ELEVATIONS AT CROSSING LOCATIONS, PRIOR TO THE START OF CONSTRUCTION AND TO NOTIFY THE ENGINEER OF ANY POTENTIAL CONFLICTS.
3. CONTRACTOR SHALL CALL CLARK COUNTY'S 24-HOUR UTILITY NOTIFICATION CENTER AT (360) 696-4848 OR (800) 553-4344 FOR UTILITIES LOCATE, A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
4. ALL EXISTING MONUMENTS, PROPERTY CORNERS AND SURVEY MARKERS SHALL BE PROTECTED. REPLACEMENT OF LOST, DESTROYED OR DAMAGED MARKERS SHALL BE DONE BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH R.C.W. 58.17 AT THE CONTRACTORS EXPENSE.
5. THE CONTRACTOR SHALL NOT EXCAVATE OVER FOUR FEET IN DEPTH WITHOUT USING ADEQUATE SAFETY MEASURES. THE CONTRACTOR IS REFERRED TO TITLE 296 W.A.C., PART N FOR EXCAVATION, TRENCHING AND SHORING REQUIREMENTS.
6. ALL UTILITIES SHALL HAVE A GRANULAR BACKFILL APPROVED BY THE CITY OF CAMAS. WATER SETTLEMENT OF UTILITY TRENCHES IS NOT ALLOWED.
7. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE EROSION/SEDIMENT CONTROL PLAN AND CITY OF CAMAS EROSION/SEDIMENT CONTROL DETAILS PRIOR TO ANY CLEARING OR THE START OF ANY CONSTRUCTION.
8. IF THE CITY INSPECTOR OR ENGINEER(S) HAS EVIDENCE OF POOR CONSTRUCTION PRACTICES OR EROSION CONTROL TECHNIQUES, A STOP WORK ORDER SHALL BE ISSUED UNTIL PROPER MEASURES HAVE BEEN TAKEN AND APPROVED BY THE CITY ENGINEERING STAFF.
9. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF CAMAS PUBLIC WORKS DEPARTMENT. APPROVAL SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
10. THE DEVELOPER/CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE CITY OF CAMAS ENGINEERING DEPARTMENT PRIOR TO COMMENCING ANY WORK.
11. ANY SIGNIFICANT DEVIATIONS FROM THE PLANS WILL REQUIRE A SUBMITTAL FROM THE APPLICANT'S ENGINEER AND APPROVAL FROM THE CITY OF CAMAS ENGINEERING DEPARTMENT.
12. AN EROSION/SEDIMENT CONTROL BOND WILL BE REQUIRED BY THE CITY OF CAMAS PRIOR TO WORK COMMENCING.

NOTE:
Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.

FRANKLIN DUPLEX
A Preliminary Site within
a portion of the SW 1/4
of Sec. 35, T2N., R3E., W.M.
Clark County, Washington



VICINITY MAP (NTS)

PROPERTY OWNER:
DEP 2 LLC
PO BOX 805
CAMAS WA, 98607

CONTACT:
JOEL STIRLING
STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD.
VANCOUVER, WA 98661
PH.: (360) 759-1794
FAX: (360) 759-4983
EMAIL: Joel@SterlingDesign.biz

SITE INFORMATION:

- AREA: 0.23 ACRES
- TAX LOT: 115
- SERIAL NUMBER: 178207-000
- SITE ADDRESS: 4033 NE FRANKLIN ST, CAMAS, 98607
- ZONING: R-7.5
- COMPREHENSIVE PLAN: SFM

SHEET INDEX

COVER SHEET	1
EXISTING CONDITIONS PLAN	2
BOUNDARY SURVEY	3
SITE PLAN	4
GRADING & EROSION CONTROL PLAN	5
UTILITY CONNECTIONS PLAN	6
EXAMPLE RESIDENTIAL DUPLEX PLANS	7
DETAILS SHEET	8
DETAILS SHEET	9
DETAILS SHEET	10

CITY OF CAMAS

CITY ENGINEER _____ DATE _____

REVISION NO.	SHEETS AFFECTED	INITIAL APPROVAL	DATE

SITE INFORMATION

ALIGNMENT & FIELD DATA:	MINISTER & GLAESER SURVEYING, INC. (360) 694-3313	Scale: AS SHOWN
SOIL TYPE(s):	HYDROLOGIC GROUP: C AASHTO CLASSIFICATION: A-7	Project Number: 708
SOILS TESTING BY:	DATE: JGS/BC	Design/Drawn
SITE LOCATION:	CLARK COUNTY, WA	Drawing Date: JAN. 2017
SITE AREA:	0.23 ACRES	Sheet 1 of 10 Sheet(s)
	APPROX. SURFACE ELEV.: 270'-294"	
	FILENAME: S:\708-Prelim.pro	

PREPARED BY:

STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD
VANCOUVER, WA 98661
PH. (360) 759-1794
FAX (360) 759-4983
mail@sterlingdesign.biz

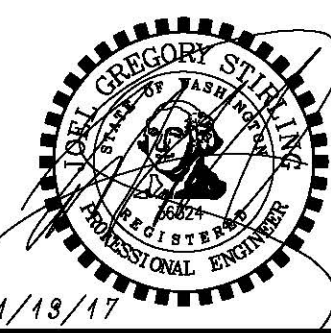
STERLING
DESIGN, INC.

Sheet Description:

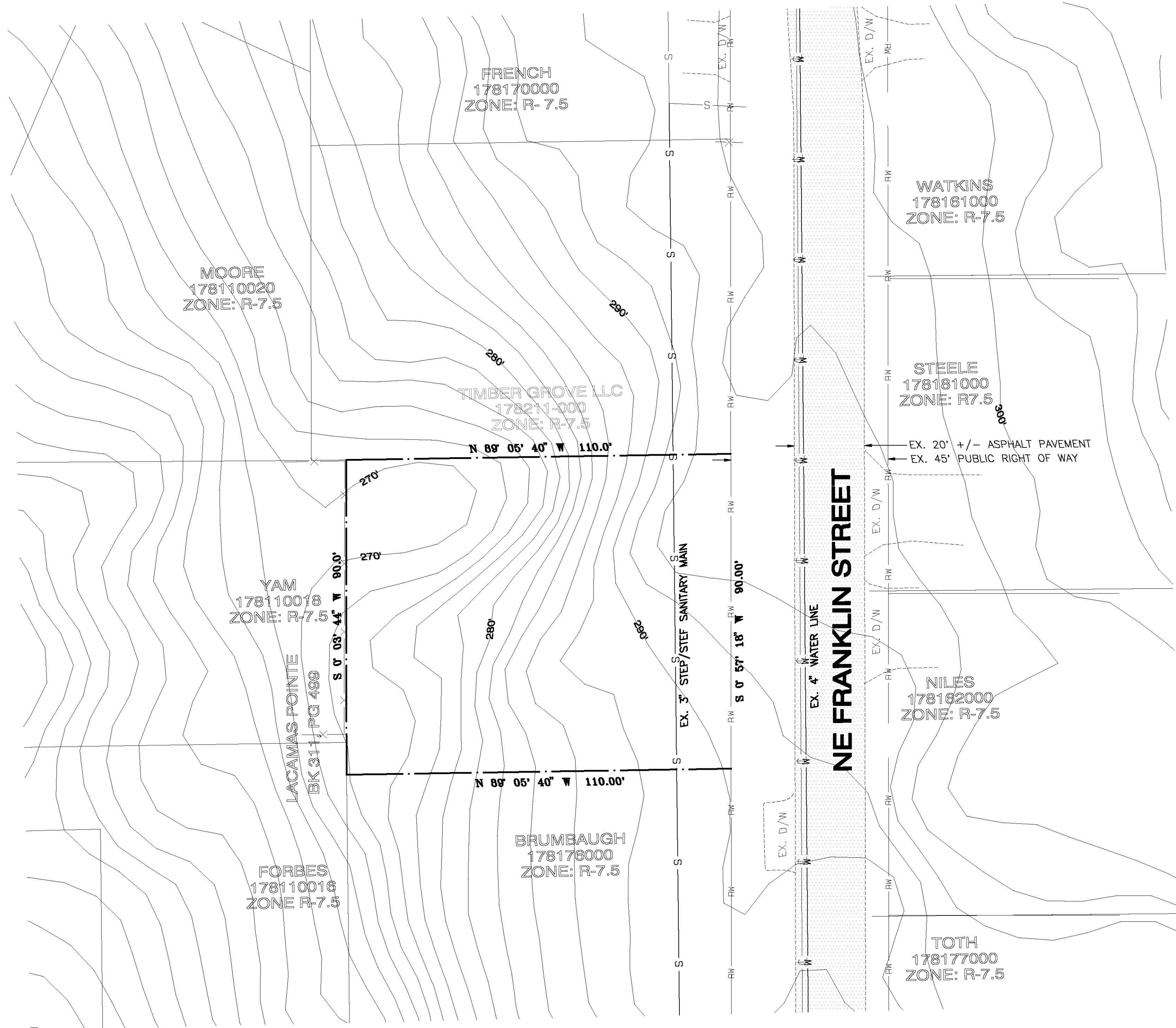
COVER SHEET

Project:

FRANKLIN DUPLEX
SOUTH



REFER TO SHEET 3 FOR
SITE SURVEY INFORMATION



DRY UTILITY NOTE:
POWER, CA TV AND OTHER FRANCHISE
UTILITIES ARE ON OVERHEAD LINES
ALONG THE EAST SIDE OF FRANKLIN ST.

NOTE:
Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.

SITE INFORMATION

ALIGNMENT & FIELD DATA: MINISTER & GLAESER SURVEYING, INC. (360) 694-3313			Scale: AS SHOWN
SOIL TYPE(S): HoD & HoB	HYDROLOGIC GROUP: C	AASHTO CLASSIFICATION: A-7	Project Number: 708
SOILS TESTING BY: -	DATE: -	Design/ Drawn JGS/BC	Drawing Date: JAN. 2017
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	Sheet 2 of 10 Sheet(s)	
SITE AREA: 0.29 ACRES	FILENAME: S\708-Prelim.pro		

Project:

**FRANKLIN DUPLEX
SOUTH**

Sheet Description:

**EXISTING CONDITIONS
PLAN**

PREPARED BY:

STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD
VANCOUVER, WA 98661
PH. (360) 759-1794
FAX (360) 759-4983
mail@sterlingdesign.biz

**STERLING
DESIGN, INC.**

SURVEY
IN A PORTION OF THE
SE 1/4 OF THE SW 1/4
OF SECTION 35
T. 2 N., R. 3 E., W. M.
CITY OF CAMAS
CLARK COUNTY, WASHINGTON

LEGEND:

- INDICATES 1/2" x 24" IRON ROD WITH "BETHJE 37535" CAP FOUND PER SURVEY REFERENCE #1
- ⊙ INDICATES 1/2" x 24" IRON ROD WITH "DENNY 32451" CAP SET
- () INDICATES RECORD DISTANCE
- X- INDICATES RIGHT-OF-WAY
- ASSR. NO. INDICATES ASSESSOR TAX IDENTIFICATION NUMBER

SURVEY REFERENCES:

- 1) LACAMAS POINTE BOOK 311, PAGE 499
- 2) TOWLE SURVEY BOOK 048, PAGE 068
- 3) TOWLE SURVEY BOOK 049, PAGE 168
- 4) LACAMAS SUMMIT PHASE 2 BOOK 310, PAGE 894

DEED REFERENCES:

ADDRESS: 4055 NE FRANKLIN ST.
GRANTOR: ROGER NEERLAND AND OLLIE NEERLAND
GRANTEE: DONALD GRAFTON AND JOY GRAFTON
AF NO.: G 738295
DATE: 09-27-76

ADDRESS: 4033 NE FRANKLIN ST.
GRANTOR: RALPH LYHDEN JOHNSON
GRANTEE: DONALD GRAFTON AND JOY GRAFTON
AF NO.: C738294
DATE: 09-27-76

NARRATIVE:

THE PURPOSE OF THIS SURVEY WAS TO MONUMENT THE PERIMETER BOUNDARIES OF PARCELS IDENTIFIED AS ASSR. NO.'S 178211000 & 178207000. I HELD SURVEY REFERENCE NO. 1 TO CONTROL THE BASIS OF BEARING AND THE WEST LINE OF SAID PARCELS. I HELD THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 35 TO CONTROL THE NORTHERLY DIRECTION OF THE DEED CALLS. THIS CORRESPONDS WITH AUDITOR'S FILE NO.'S 3386062, 8704300141 & 8610210062 RECORDS OF CLARK COUNTY, OF WHICH DEFINE THE LOCATION OF THE EAST LINE OF NE FRANKLIN STREET (FORMERLY KNOWN AS LAKEVIEW COUNTY ROAD) TO BE PARALLEL WITH SAID EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 35. I HELD THE EASTERLY & WESTERLY DIRECTION OF THE DEED CALLS TO BE PARALLEL WITH THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF SECTION 35.

AUDITOR'S CERTIFICATE

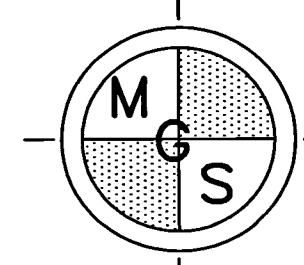
FILED FOR RECORD THIS 27 DAY OF July, 2016
AT 7:40 O'CLOCK PM, IN BOOK 65 OF SURVEYS,
AT PAGE 165
AT THE REQUEST OF MINISTER AND GLAESER SURVEYING INC.

John Berman
DEPUTY/COUNTY AUDITOR

SURVEYOR'S CERTIFICATE

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF DAVE GALANTER, IN JUNE, 2016.

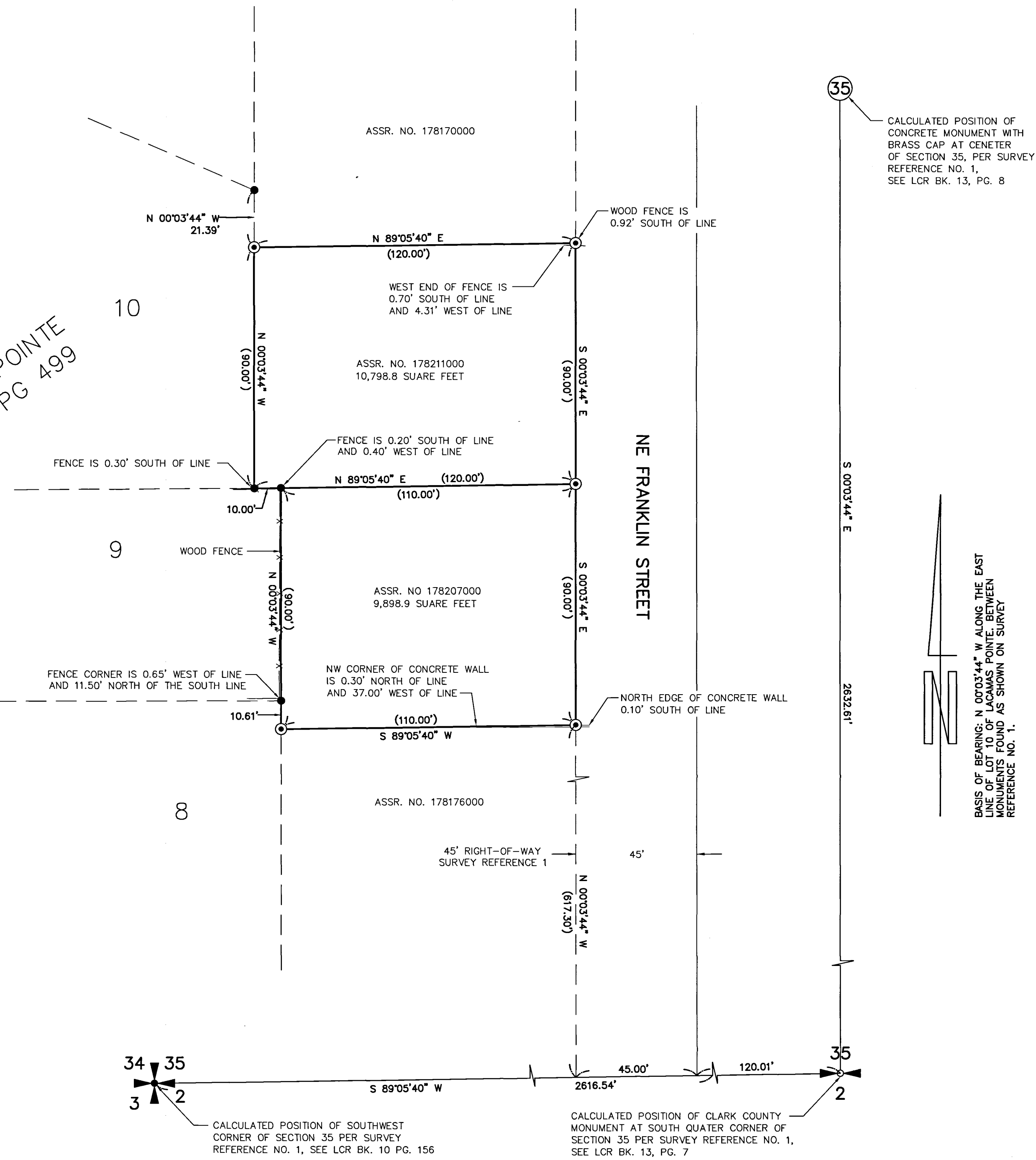
Edmund Denny Jr. 2-25-2016
EDMUND DENNY, JR., PROFESSIONAL LAND SURVEYOR, LS# 32451



**MINISTER-GLAESER
SURVEYING INC.**
2200 E. EVERGREEN BLVD.
VANCOUVER, WA 98661
(360) 694-3313

SCALE: 1"=30'
JOB NO. 16-318
DATE: 07-25-16
CALC BY: ED
DRAWN BY: ED
CHECKED BY: ED
SHEET 1 OF 1

LACAMAS POINTE
BK 311, PG 499

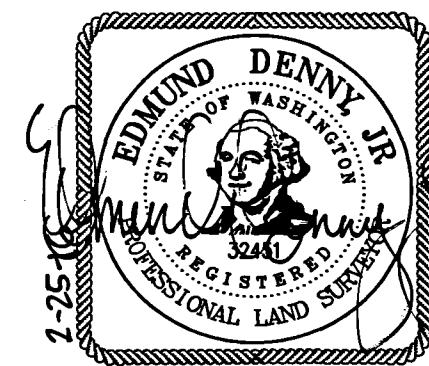


BASE OF BEARING N 89°05'40" W ALONG THE EAST LINE OF LOT 10 OF LACAMAS POINTE BETWEEN MONUMENTS FOUND AS SHOWN ON SURVEY REFERENCE NO. 1.

MINISTER AND GLAESER SURVEYING, INC. MAKES NO WARRANTIES AS TO MATTERS OF UNWRITTEN TITLE SUCH AS ADVERSE POSSESSION, ACQUIESCENCE, ESTOPPLE, ETC.

A FIELD TRAVERSE WAS PERFORMED USING A ONE SECOND TOTAL STATION. THE FIELD TRAVERSE MET THE MINIMUM STANDARDS FOR SURVEYS AS DESIGNATED IN WAC 332-130-090. ALL CORNERS NOTED AS FOUND WERE VISITED ON 06-30-16.

SCALE 1 INCH = 30 FEET



65-165

PRELIMINARY SITE INFORMATION
GENERAL INFORMATION

- APPLICANT/CONTACT:
JOEL STIRLING
2208 E. EVERGREEN BLVD.
VANCOUVER, WA 98661
PH. (360) 759-1794
JOEL@STERLINGDESIGN.BIZ
- PROPERTY OWNER:
DEP 2 LLC
PO BOX 805
CAMAS WA 98607
- AREA: 0.23 ACRES
- TAX LOT: 115
- SERIAL NUMBER: 178207-000
- SITE ADDRESS: 4033 NE FRANKLIN STREET, CAMAS, 98607
- ZONING: R-7.5
- COMPREHENSIVE PLAN: SFM

EXISTING CONDITIONS (REFER TO SHEETS 2 & 3)

- Environmental**
- TOPOGRAPHY IS SHOWN ON THE PROPOSED DEVELOPMENT PLAN.
 - THERE ARE NO SITE WATERCOURSES (STREAMS, RIVERS, ETC) OR AREAS PRONE TO FLOODING AS SHOWN.
 - THERE ARE NO FEMA DESIGNATED FLOODPLAINS, FLOOD FRINGE, OR FLOODWAYS ON THE SITE.
 - THERE ARE NO DESIGNATED SHORELINE AREAS ON THE SITE.
 - THERE ARE NO WATER BODIES OR WETLANDS ON THE SITE.
 - THERE ARE NO WETLAND DELINEATION AREAS ON THE SITE.
 - THERE ARE UNSTABLE SLOPES OR LANDSLIDE HAZARD AREAS ON THE SITE PER CLARK COUNTY MAPS ONLINE.
 - THERE ARE NO KNOWN RIPARIAN HABITAT AND OR VEGETATION BUFFERS ON THE SITE. (SEE REPORT BY CASCADIA ECOLOGICAL LAND SERVICES)
 - THERE ARE NO KNOWN SIGNIFICANT HISTORIC, CULTURAL OR ARCHAEOLOGICAL RESOURCES ON THE SITE.

- Land Use and Transportation**
- THE PROPOSED SITE AREA IS APPROX. 0.23 ACRES. THE LAYOUT AND DIMENSIONS OF EXISTING PARCEL ARE SHOWN.
 - THERE ARE EXISTING STRUCTURES ON THE SITE.
 - EXISTING ACCESS, DRAINAGE & UTILITY EASEMENT LOCATIONS & WIDTHS ARE AS SHOWN.
 - NAME, LOCATION & WIDTH OF EXISTING RIGHT OF WAY IS SHOWN.
 - LOCATIONS & DIMENSIONS OF CENTERLINE & RIGHT-OF-WAY FOR NW 10th AVE. ARE SHOWN.
 - NAME, LOCATION, WIDTH & SURFACING MATERIAL OF ROADWAY & EASEMENTS AND WHETHER PUBLIC OR PRIVATE ARE SHOWN.
 - LOCATION OF EXISTING DRIVEWAYS ALONG NW 10th AVE ARE SHOWN.
 - LOCATION & WIDTH OF PEDESTRIAN & BICYCLE FACILITIES WITHIN 100' OF THE SITE ARE AS SHOWN.
 - THERE ARE NO TRANSIT ROUTES & STOPS WITHIN 600' OF THE DEVELOPMENT SITE. (PER THE GIS PACKET)

- Water and Sewer**
- THE NEAREST EXISTING FIRE HYDRANTS TO THE SITE ARE SHOWN.
 - THERE ARE NO KNOWN SEPTIC SYSTEM(S) OR WELL(S) ON THIS SITE.

PROPOSED IMPROVEMENTS

- Environmental**
- THERE ARE NO WETLANDS, STEEP SLOPE BUFFER AREAS/PROTECTED AREAS, OR PLANNED ENHANCEMENT AREAS LOCATED ON THE PORTION OF THE SITE WHERE NEW HOMES WILL BE CONSTRUCTED.
 - PLANTING & BUFFER ENHANCEMENT WILL OCCUR WITHIN PRIVATE TRACTS.

- Land Use and Transportation**
- THE CONFIGURATION & DIMENSIONS OF BOUNDARIES, PROPOSED LOTS, DRAINAGE TRACTS & EASEMENTS ARE SHOWN ON THE PLAN. THERE ARE NO PARKS OR OPEN SPACES PROPOSED AS PART OF THE SHORT PLAT.
 - DIMENSIONS OF ALL PROPOSED EASEMENTS ARE SHOWN ON PLAN.
 - THERE ARE EXISTING STRUCTURES ON THE SITE THAT WILL REMAIN.
 - ALL LOCATIONS AND DIMENSIONS OF ROAD RIGHT-OF-WAYS ON OR ADJACENT TO THE SITE ARE SHOWN ON THE PLAN.
 - PEDESTRIAN FACILITIES ARE NOT PROPOSED WITH THIS PROJECT.
 - THERE ARE NO TRANSIT ROUTES FRONTING THE SITE.

TABLE 18.09.040	
BUILDING SETBACKS:	
FRONT:	20'
SIDE STREET:	20'
SIDE INTERIOR:	5'
REAR:	25'
MAX. LOT COVERAGE:	40%
MAX. BLDG. HEIGHT:	35'

RESIDENTIAL DUPLEX WILL BE SUBJECT TO THE PAYMENT OF REQUIRED IMPACT FEES AT THE TIME OF BUILDING PERMIT ISSUANCE

BUILDING FOOTPRINT NOTE:
THE RESIDENTIAL DUPLEX BUILDING FOOT PRINT SHOWN IS FOR THE PURPOSES OF APPROVAL OF THE CONDITIONAL USE PERMIT. ACTUAL BUILDING PLANS MAY CHANGE DURING BUILDING PERMIT SUBMITTAL AND REVIEW TO BETTER FIT WITH CITY OF CAMAS COMPATIBILITY STANDARDS. THE PROPOSED RESIDENTIAL DUPLEX WILL MEET ALL APPLICABLE SETBACK AND LOT COVERAGE REQUIREMENTS OF THE CITY OF CAMAS CODE.

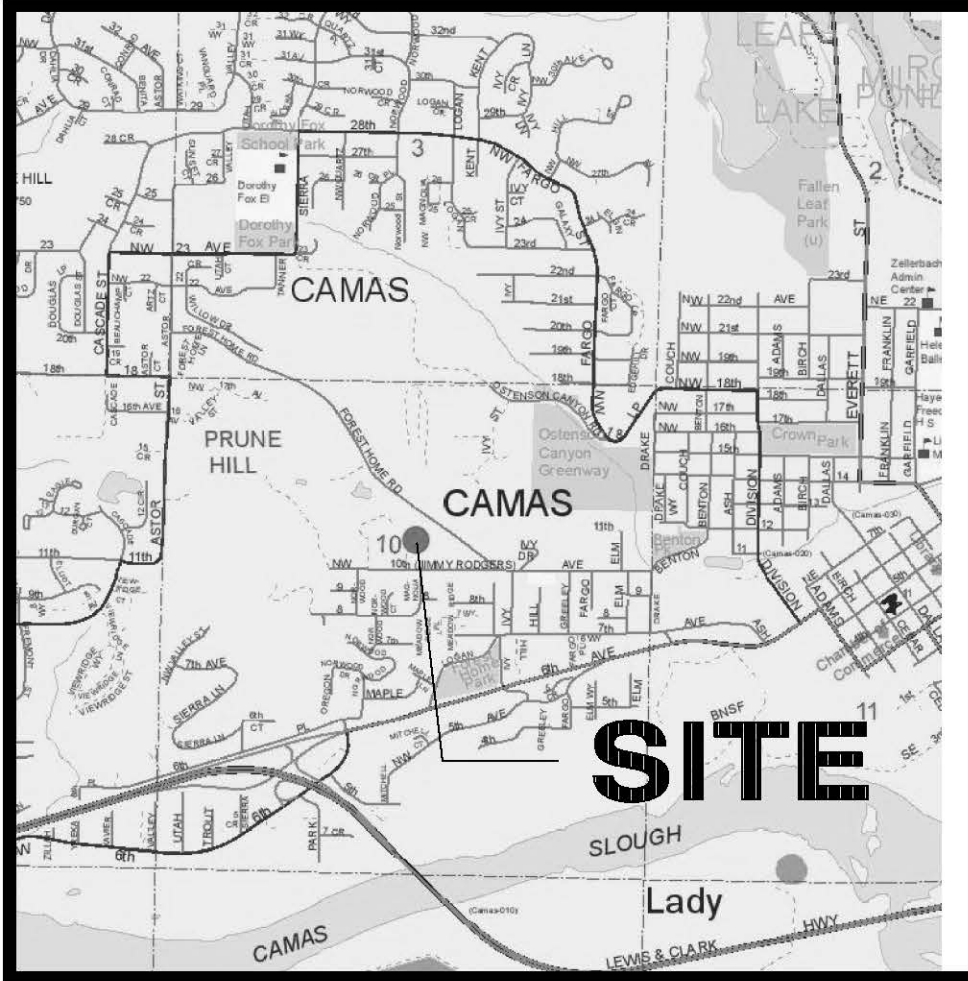
NOTE:
Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.

SITE INFORMATION

ALIGNMENT & FIELD DATA:		Scale: AS SHOWN
MINISTER & GLAESER SURVEYING, INC. (360) 694-3313		
SOIL TYPE(s):	HYDROLOGIC GROUP: C	AASHTO CLASSIFICATION: A-7
Soils Testing By: HoD & HoB		Project Number: 708
		Design/Drawn: JGS/BC
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	Drawing Date: JAN. 2017
SITE AREA: 0.23 ACRES	FILENAME: S\708-Prelim.pro	Sheet 4 of 10 Sheet(s)

FRANKLIN DUPLEX

A Preliminary Site within a portion of the SW 1/4 of Sec. 35, T2N., R3E., W.M. Clark County, Washington



VICINITY MAP (NTS)

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STERLING
DESIGN, INC.

Sheet Description:
PRELIMINARY SITE PLAN

Project:
FRANKLIN DUPLEX SOUTH



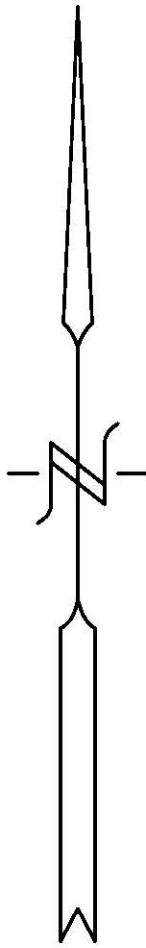
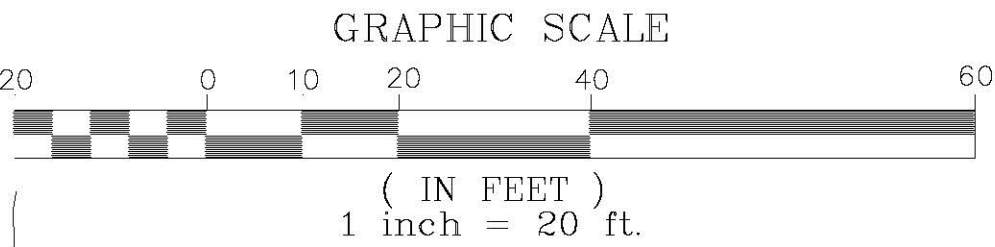
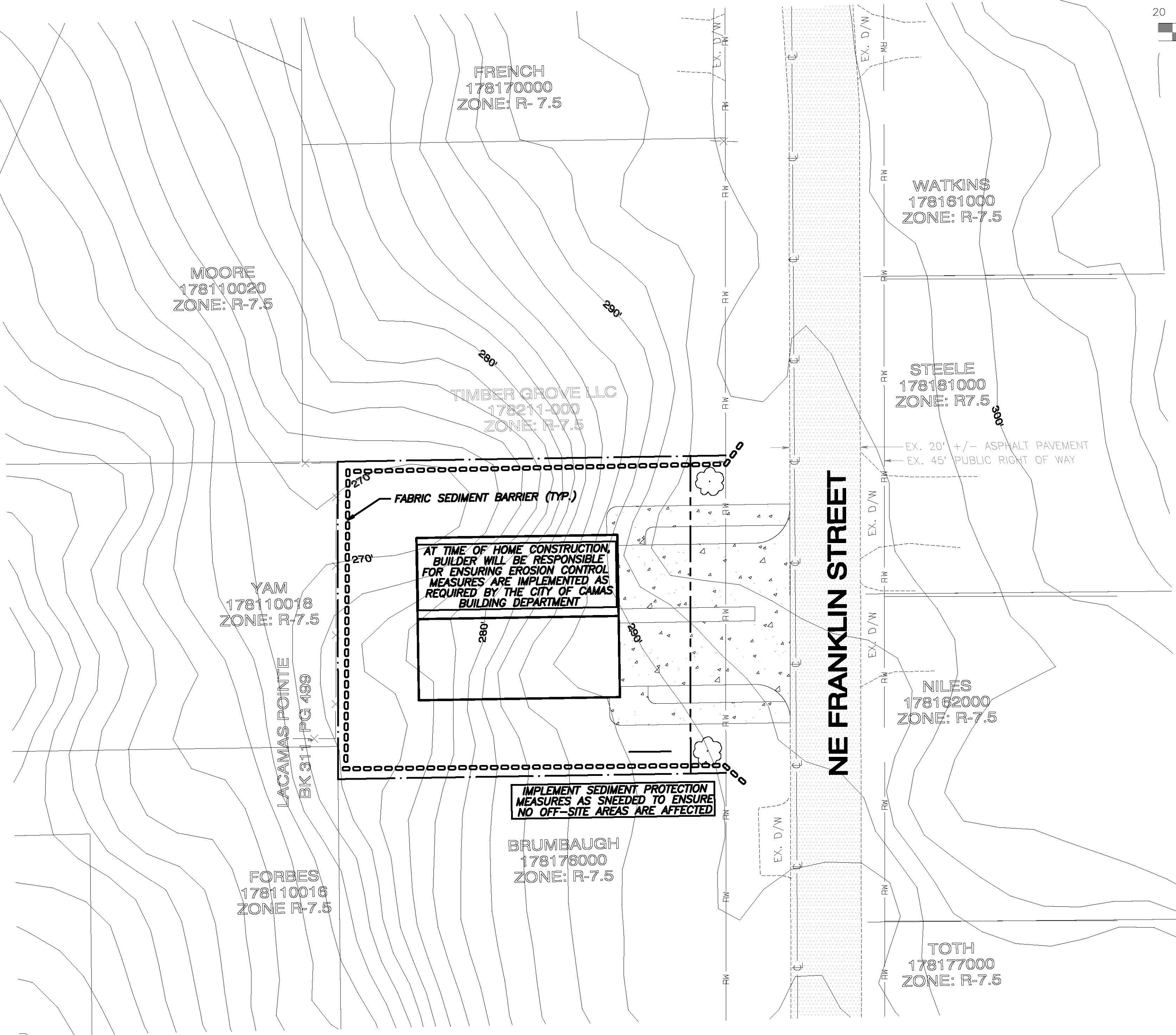
EROSION/SEDIMENT CONTROL NOTES:

1. THE EROSION/SEDIMENT CONTROL (ESC) PLAN IS TO BE UTILIZED AS A GUIDE TO CONTROL THE TRANSPORT OF LOOSE SOILS TO THE PROPERTY OUTSIDE OF THE CONSTRUCTION AREA AND AROUND THE CONSTRUCTION SITE. THE ESC MEASURES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DOES NOT LEAVE THE SITE.
2. THE IMPLEMENTATION OF THE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADE OF THE ESC MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND PERMANENT VEGETATION/LANDSCAPING IS ESTABLISHED.
3. IF THE CITY INSPECTOR OR ENGINEER(S) HAS EVIDENCE OF POOR CONSTRUCTION PRACTICES OR EROSION CONTROL TECHNIQUES, A STOP WORK ORDER SHALL BE ISSUED UNTIL PROPER MEASURES HAVE BEEN TAKEN AND APPROVED BY THE CITY ENGINEERING STAFF.
4. THE CONTRACTORS SHALL BE RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH THE CITY OF CAMAS EROSION/SEDIMENT CONTROL HANDBOOK AND THE STORMWATER MANUAL IN WASHINGTON STATE (LATEST EDITION), VOL. II.
5. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND IN WORKING CONDITION PRIOR TO DISTURBING AND EXPOSING ANY SOIL SURFACES (I.E. CONSTRUCTION ENTRANCES, FILTER FABRIC/STRAWBALE SEDIMENT BARRIERS, AND SEDIMENTATION TRAPS) AND MAINTAINED FOR THE DURATION OF THE PROJECT. TRAPPED SEDIMENT IN EXCESS OF 1 FOOT SHALL BE REMOVED OR STABILIZED ON-SITE. DISTURBED SOIL AREAS RESULTING FROM VEGETATION REMOVAL SHALL BE PERMANENTLY STABILIZED. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
6. TO MINIMIZE EROSION AND SEDIMENTATION TRANSPORTATION, EARTHWORK SHALL NOT BE PERFORMED WHILE SOILS ARE MORE THAN 5% ABOVE OPTIMUM MOISTURE CONTENT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE CLEARING LIMITS AND/OR ANY EASEMENTS, SENSITIVE OR CRITICAL AREAS, AND THEIR BUFFERS, TREES, AND DRAINAGE COURSES FLAGGED PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. FLAGGING LIMITS ARE TO BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
8. REMOVE ONLY THOSE TREES AND SHRUBS THAT NEED TO BE REMOVED FOR THE CONSTRUCTION OF ROADS, SIDEWALKS, UTILITIES, GRADING LIMITS AND STORMWATER FACILITIES.
9. ALL ROAD EXISTING AND NEWLY CONSTRUCTED CATCH BASINS OR CURB INLETS AFFECTED BY CONSTRUCTION SHALL BE PROTECTED AGAINST SEDIMENT DEPOSITS. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
10. ALL POLLUTANTS THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER SYSTEM.
11. ALL DISTURBED SOIL SURFACES ARE TO BE STABILIZED BY A SUITABLE APPLICATION OF BEST MANAGEMENT PRACTICES. NO SOILS SHALL REMAIN UNSTABILIZED FOR MORE THAN TWO DAYS DURING THE PERIOD OF OCTOBER 1 THRU JULY 5. FROM JULY 5 THRU OCTOBER 1, NO SOIL SHALL REMAIN UNSTABILIZED FOR MORE THAN 7 DAYS. STABILIZATION OF DISTURBED SOIL AREAS CAN CONSIST OF HYDROSEEDING OR HAND-SEEDING, MULCHING, PLACEMENT OF EROSION CONTROL BLANKETS OR PLASTIC. ALL SEEDING AREAS ARE TO BE FERTILIZED, WATERED, AND MAINTAINED TO ENSURE THAT THE REGROWTH OF VEGETATION IS AS SOON AS POSSIBLE.
12. ALL TEMPORARY SEDIMENT AND EROSION CONTROL BMP'S SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMP'S ARE NO LONGER NEEDED.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POLICING THE JOB SITE DAILY AND MAINTAINING THE EROSION/SEDIMENT CONTROL MEASURES THROUGHOUT ALL PHASES OF CONSTRUCTION. AN INSPECTION LOG SHALL BE KEPT AND MADE AVAILABLE TO THE CITY OF CAMAS. THE POLICING AND MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO:
- VERIFYING THAT ALL AREAS ARE GRADED SUCH THAT ALL RUNOFF IS DIRECTED TO A SEDIMENTATION DEVICE BEFORE DISCHARGE TO SURFACE.
 - REMOVAL OF TRAPPED SILT AT SILT BARRIERS, SILT TRAPS, OR POINTS OF ACCUMULATION.
 - ADDITIONAL PROTECTIVE MEASURES DUE TO JOB SITE OR WEATHER CONDITIONS AS REQUIRED BY CITY OF CAMAS WATER QUALITY.
 - MONITORING OF VEHICLES LEAVING THE SITE TO MINIMIZE TRANSMISSION OF LOOSE SOILS TO THE PUBLIC ROADWAYS.
 - PLACING OF THE STRAWBALE SEDIMENTATION BARRIER AT THE ENTRANCE DURING PRECIPITATION OR AT THE END OF THE WORKDAY BEFORE LEAVING THE SITE.
 - VERIFY THAT ALL PROPERTIES ADJACENT TO THE PROJECT SITE ARE PROTECTED FROM SEDIMENTATION DEPOSITION. THIS MAY BE ACCOMPLISHED BY INSTALLING PERIMETER CONTROLS SUCH AS SEDIMENTATION BARRIERS, FILTERS OR DIKES, SEDIMENTATION BASINS/TRAPS, OR BY A COMBINATION OF SUCH MEASURES.
14. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES SHALL BE STABILIZED IN ACCORDANCE WITH EROSION/SEDIMENT CONTROL NOTE 11. SLOPES FOUND TO BE ERODING EXCESSIVELY WITHIN TWO YEARS OF CONSTRUCTION MUST BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES. THESE MEASURES MAY CONSIST OF ROUGHENED SOIL SURFACES, INTERCEPTORS, DIVERSIONS OR TERRACES, TEMPORARY OR PERMANENT CHANNELS, ADDITIONAL VEGETATION, OR PIPE SLOPE DRAINS AS REQUIRED BY CITY OF CAMAS WATER QUALITY UNTIL THE PROBLEM IS CORRECTED.
15. THE ESC MEASURES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING A STORM EVENT.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING UNDERGROUND UTILITIES AS SPECIFIED BELOW:
- WHERE FEASIBLE, NO MORE THAN 500 FEET OF TRENCH SHALL BE OPEN AT ONE TIME.
 - WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - TRENCH DE-WATER DEVICES SHALL DISCHARGE INTO A SEDIMENT TRAP OR SEDIMENT POND.
17. CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER, DURING ALL GRADING ACTIVITIES FOR FIELD VERIFICATION OF FILL PLACEMENT AND SITE SPECIFIC GRADING RECOMMENDATIONS. CONTRACTOR SHALL PROVIDE WRITTEN DOCUMENTATION FROM GEOTECHNICAL ENGINEER, FOR STRUCTURAL FILLS PRIOR TO ACCEPTANCE OF PROJECT BY CITY OF CAMAS.
18. SLOPES SHALL BE HYDRO-SEEDED AS SOON AS PROPOSED GRADES ARE ESTABLISHED. CONTRACTOR TO PREPARE SLOPES FOR SEED BY "TRACKING" SLOPES AS PER ATTACHED DETAIL.

EROSION PROTECTION SHALL BE PLACED ON ALL OFFSITE STORM STRUCTURES DOWNSTREAM OF THE SITE OR AS WILL BE AFFECTED BY SITE CONSTRUCTION (TYP.)

MINIMAL GROUND DISTURBANCE WILL TAKE PLACE ON THE PROPERTY AS PART OF THE RESIDENTIAL DUPLEX CONSTRUCTION AND WILL BE LIMITED TO THE MINIMUM REQUIRED FOR FOUNDATION INSTALLATION, DRIVEWAY CONSTRUCTION AND YARD CONTOURING.

IN THE EVENT THAT ANY ITEM OF ARCHAEOLOGICAL INTEREST IS UNCOVERED DURING THE COURSE OF A PERMITTED GROUND DISTURBING ACTION OR ACTIVITY, ALL GROUND DISTURBING ACTIVITIES SHALL IMMEDIATELY CEASE AND THE APPLICANT SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AND DAHP



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STERLING
DESIGN, INC.

Sheet Description:
GRADING & EROSION
CONTROL PLAN

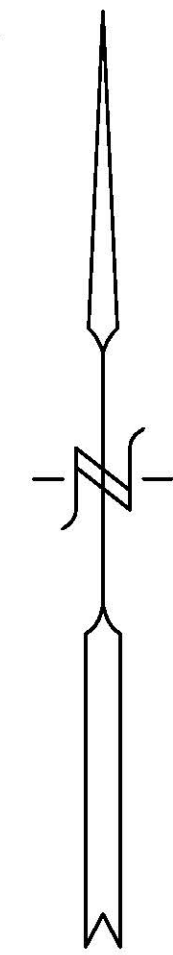
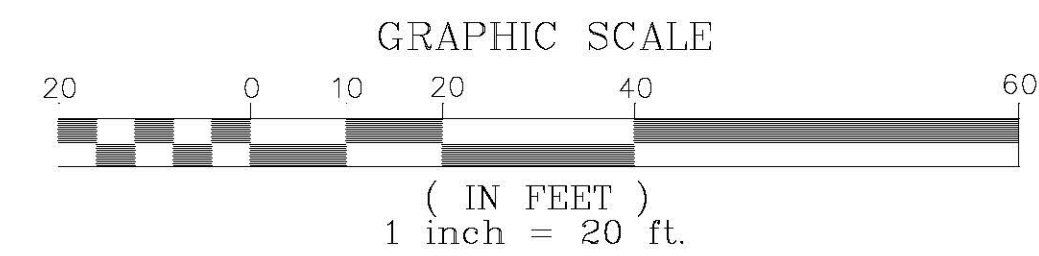
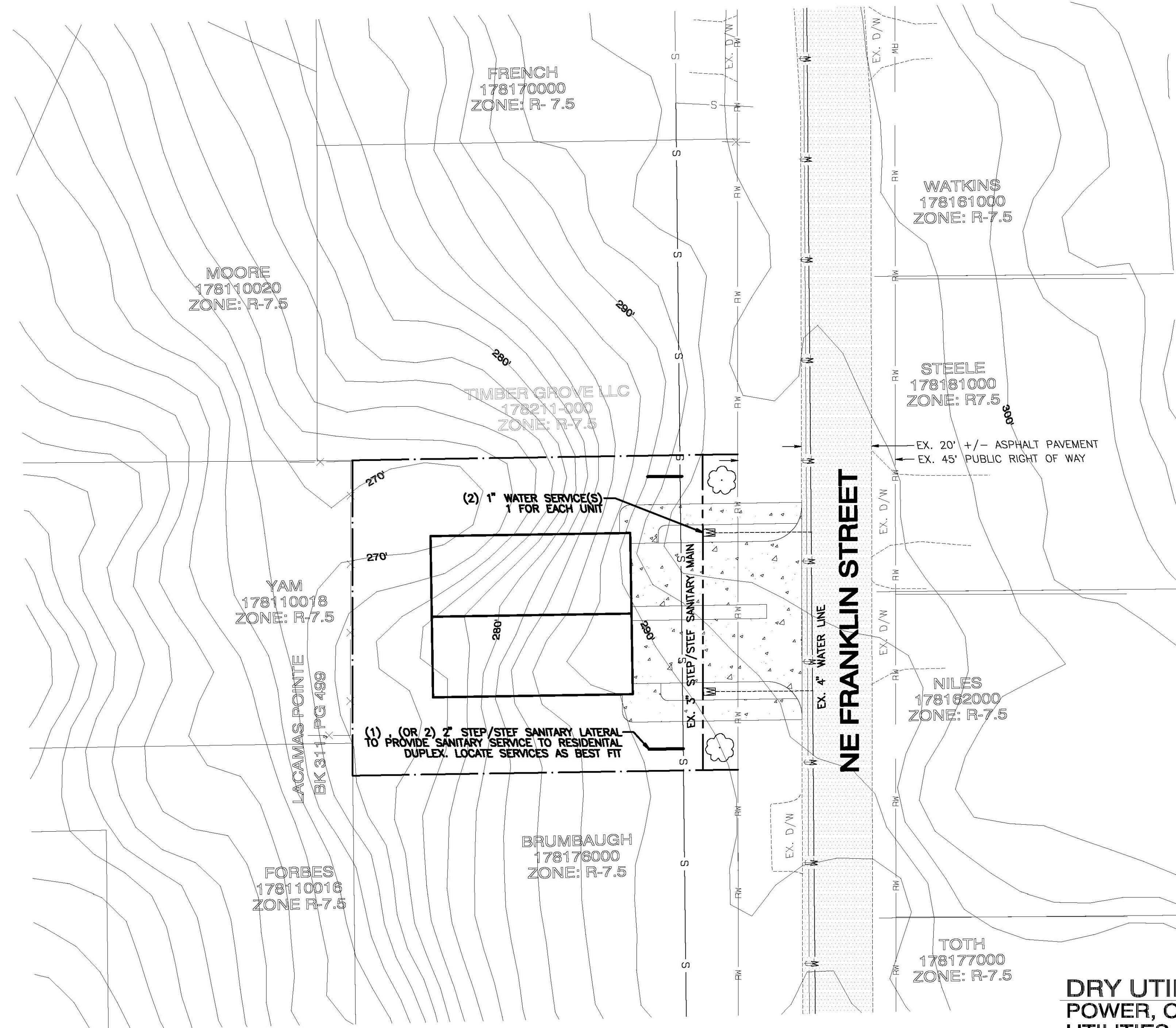
Project:
FRANKLIN DUPLEX
SOUTH



SITE INFORMATION

ALIGNMENT & FIELD DATA: MINISTER & GLAESER SURVEYING, INC. (360) 694-3313			Scale: AS SHOWN
SOIL TYPE(s): HoD & HoB	HYDROLOGIC GROUP: C	AASHTO CLASSIFICATION: A-7	Project Number: 708
SOILS TESTING BY: -	DATE: -		Design/ Drawn JGS/BC
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	Drawing Date: JAN. 2017	
SITE AREA: 0.29 ACRES	FILENAME: S\708-Prelim.pro	Sheet 5 of 10 Sheet(s)	

NOTE:
Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.



**UTILITY NOTE(S)
RESIDENTIAL DUPLEX
WILL BE PROVIDED WITH:
1 (OR 2) - 6" SANITARY LATERAL
2- 1" WATER SERVICES**

**UTILITIES WILL BE INSTALLED IN
ACCORDANCE TO CITY OF CAMAS
STANDARDS**

**RESIDENTIAL FIRE SPRINKLERS ARE REQUIRED
PER NFPA 13D GUIDELINES AND CAMAS FMO**

NOTE:
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DRY UTILITY NOTE:
POWER, CA TV AND OTHER FRANCHISE
UTILITIES ARE ON OVERHEAD LINES
ALONG THE EAST SIDE OF FRANKLIN ST.

SITE INFORMATION

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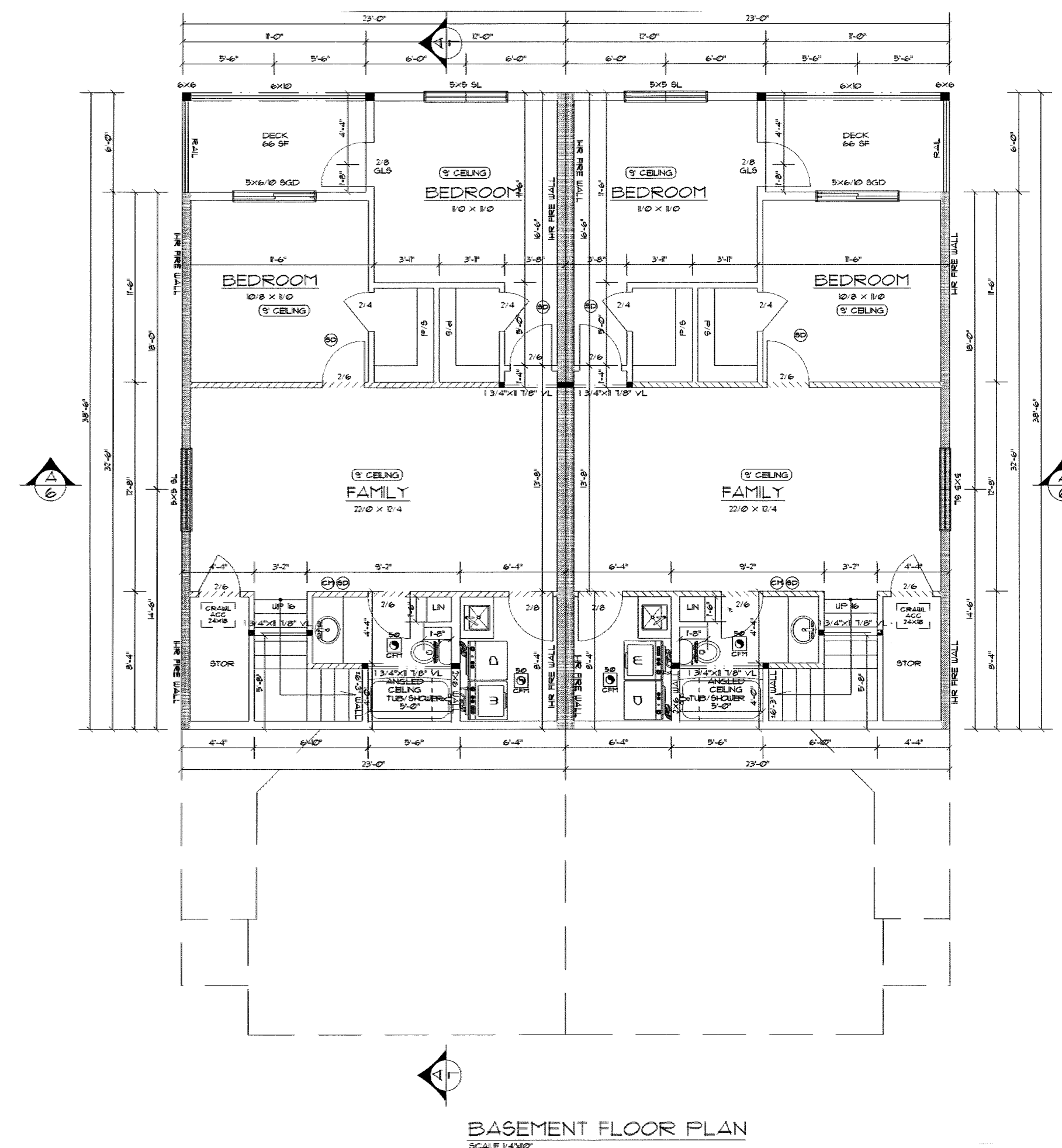
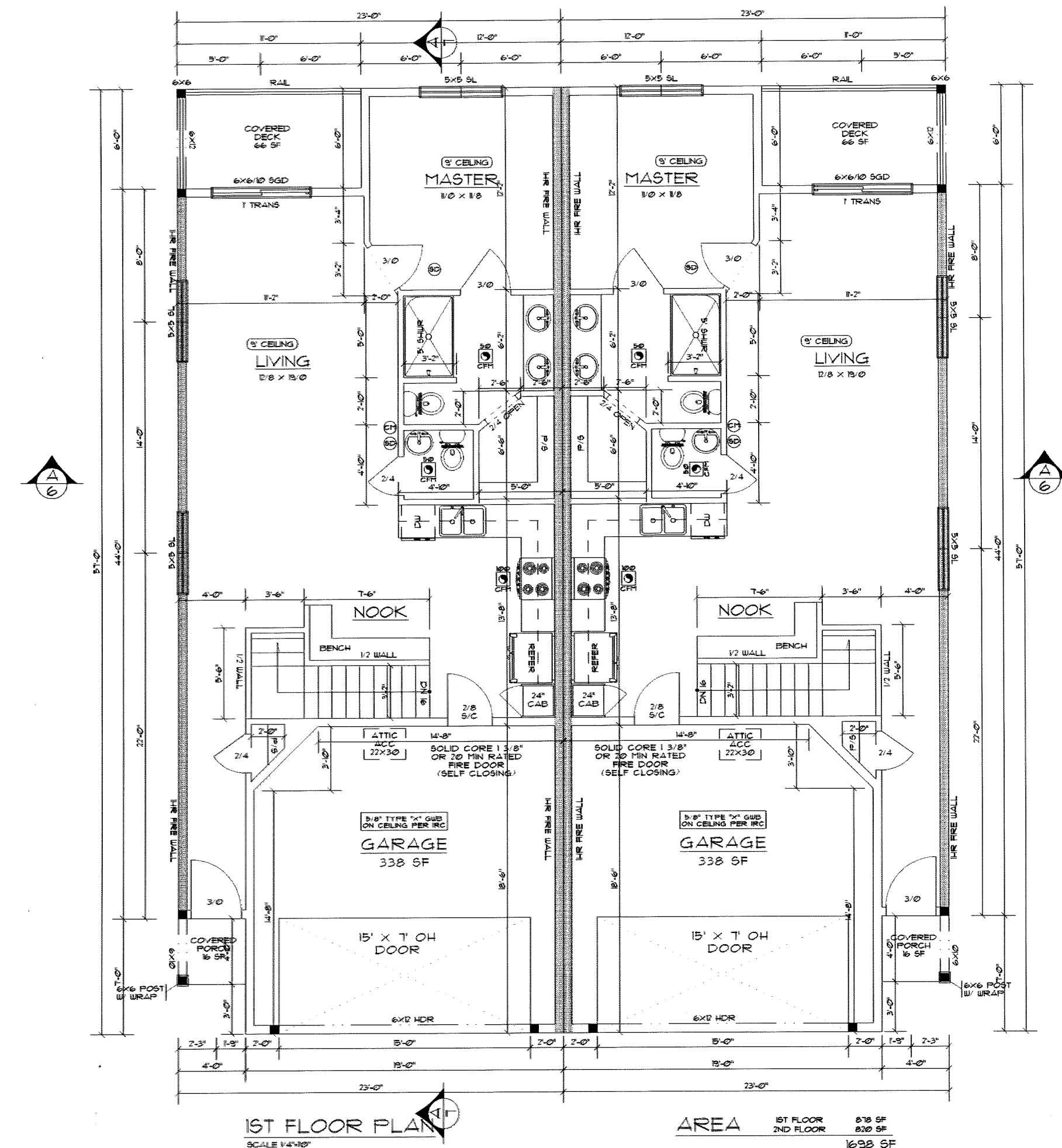
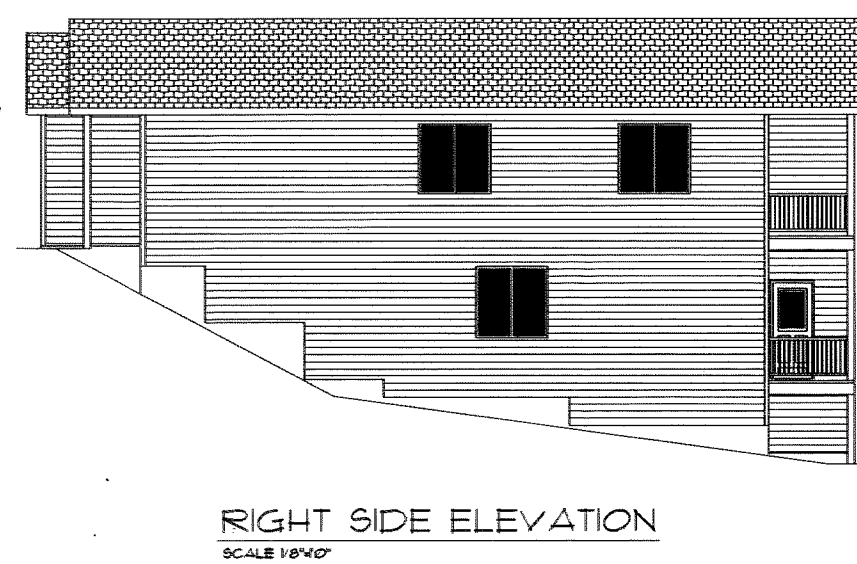
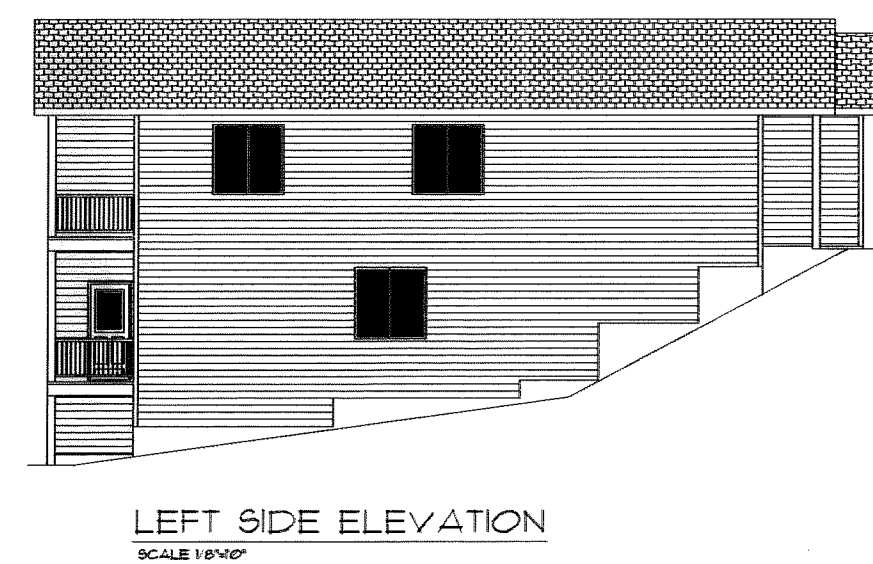
Project:

**FRANKLIN DUPLEX
SOUTH**



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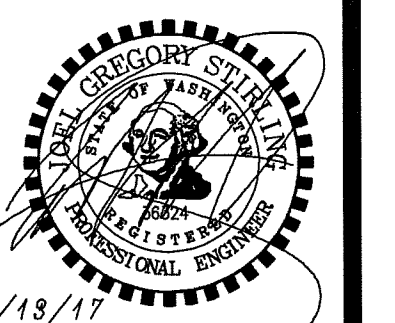
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STERLING
DESIGN, INC.

Sheet Description:
EXAMPLE RESIDENTIAL
DUPLEX PLAN

Project:
FRANKLIN DUPLEX

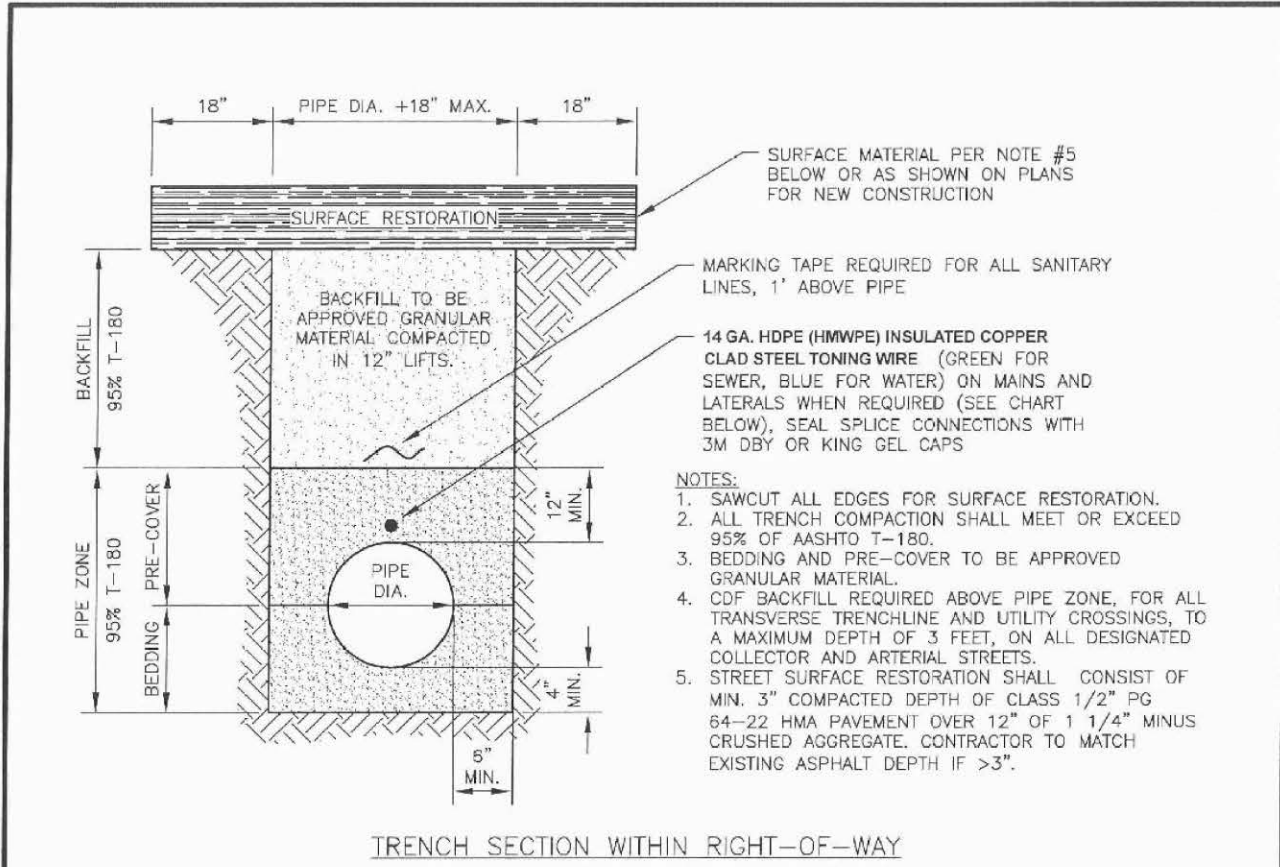


GENERAL CONSTRUCTION NOTES:

- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE W.S.D.O.T./APWA "STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION" AND STANDARD DETAIL SHEETS ATTACHED HERewith.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES, INCLUDING THE INVERT AND TOP ELEVATIONS AT CROSSING LOCATIONS, PRIOR TO THE START OF CONSTRUCTION AND TO NOTIFY THE CITY ENGINEER OF ANY POTENTIAL CONFLICTS.
- CONTRACTOR SHALL CALL CLARK COUNTY'S 24-HOUR UTILITY NOTIFICATION CENTER AT (360) 696-4848 OR (800) 553-4344 FOR UTILITIES LOCATE, A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING MONUMENTS, PROPERTY CORNERS AND SURVEY MARKERS SHALL BE PROTECTED. REPLACEMENT OF LOST, DESTROYED OR DAMAGED MARKERS SHALL BE DONE BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH R.C.W. 48.09 AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL NOT EXCAVATE OVER FOUR FEET IN DEPTH WITHOUT USING ADEQUATE SAFETY MEASURES. THE CONTRACTOR IS REFERRED TO TITLE 296 W.A.C., PART N FOR EXCAVATION, TRENCHING AND SHORING REQUIREMENTS.
- ALL UTILITIES SHALL HAVE A GRANULAR BACKFILL APPROVED BY THE CITY OF CAMAS. WATER SETTLEMENT OF UTILITY TRENCHES IS NOT ALLOWED. TRENCH LINES LOCATED WITHIN AN EXISTING ROADWAY SHALL BE FLATED OR TOPPED WITH COLD MIX. GRANULAR BACKFILL OVERNIGHT IS NOT ALLOWED. PLATES SHALL HAVE COLD MIX AROUND ALL EDGES.
- ALL EROSION/SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE EROSION/SEDIMENT CONTROL PLAN AND CITY OF CAMAS EROSION/SEDIMENT CONTROL DETAILS PRIOR TO ANY CLEARING OR THE START OF ANY CONSTRUCTION.
- IF THE CITY INSPECTOR OR ENGINEER(S) HAS EVIDENCE OF POOR CONSTRUCTION PRACTICES OR EROSION CONTROL TECHNIQUES, A "STOP WORK" ORDER SHALL BE ISSUED UNTIL PROPER MEASURES HAVE BEEN TAKEN AND APPROVED BY THE CITY ENGINEERING STAFF.
- THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF CAMAS PUBLIC WORKS DEPARTMENT. APPROVAL SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- THE DEVELOPER/CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE CITY OF CAMAS ENGINEERING DEPARTMENT PRIOR TO COMMENCING ANY WORK.
- ANY SIGNIFICANT DEVIATIONS FROM THE PLANS WILL REQUIRE A SUBMITTAL FROM THE APPLICANT'S ENGINEER AND APPROVAL FROM THE CITY OF CAMAS ENGINEERING DEPARTMENT.
- AN EROSION/SEDIMENT CONTROL BOND MAY BE REQUIRED BY THE CITY OF CAMAS PRIOR TO WORK COMMENCEMENT.

REV. NO.	DATE	BY	APPR.	CITY OF CAMAS - GENERAL DETAIL	DETAIL NO.
1	5/1/07	SCD	JC	NOTES	G1
2	10/1/08	SCD	JC		
3	1/1/11	SCD	JC		
4	10/21/14	SCD	JC	DETAIL APPROVED BY: <i>Joe P. Githen</i> 10-21-14 DATE	NOT TO SCALE

EC-NOTES.DWG

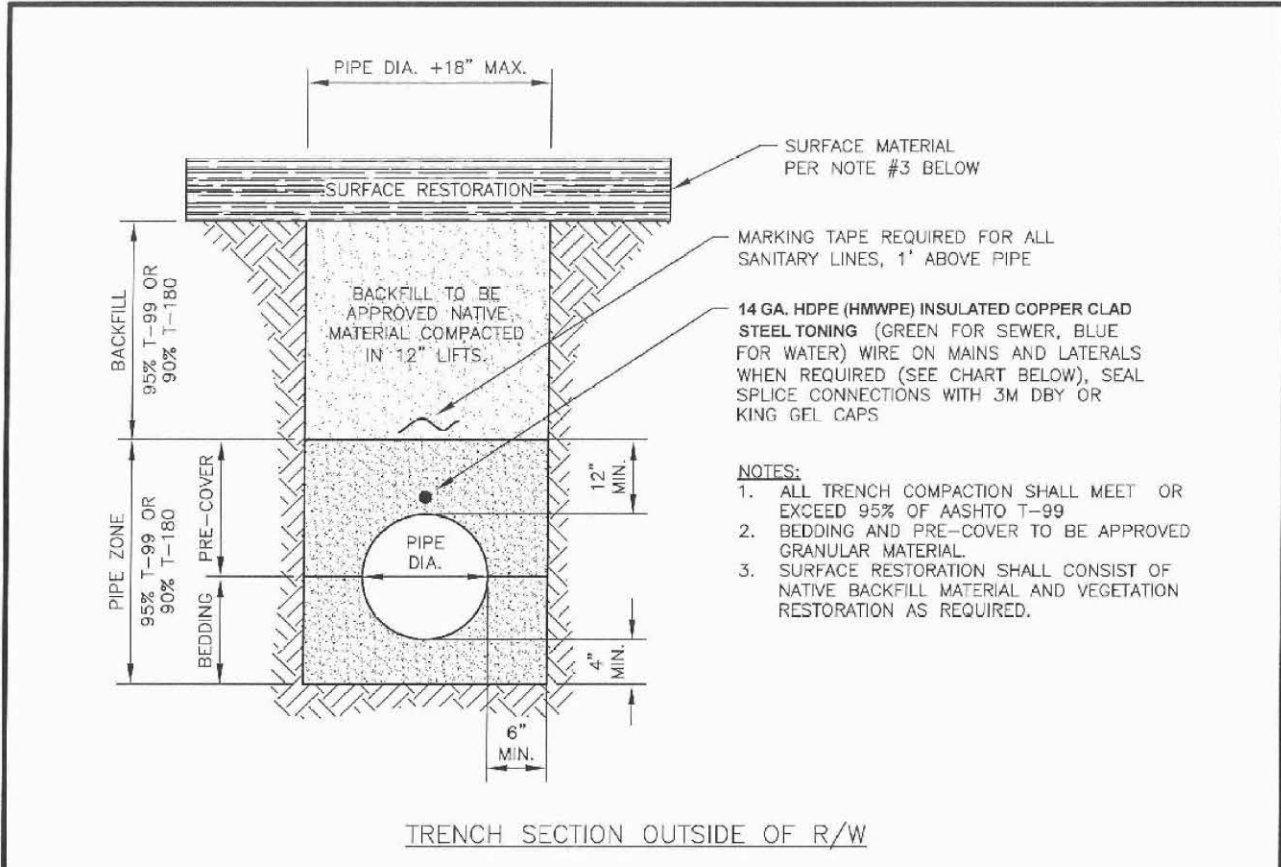


MINIMUM PIPE COVER CHART			
UTILITY TYPE	MAIN TYPE	MIN. PIPE (MAIN) COVER	MIN. LATERAL OR SERVICE COVER
WATER	DISTRIBUTION	2.5'	2'
	TRANSMISSION*	3'	2' **
STORM	MAIN	5'	PER PLAN (MIN. 2')
	STEP***	5'	1.5'
SEWER	STEP***	6'	4.5'
	GRAVITY	6'	4.5'

* TONING WIRE REQUIRED FOR MAINS 12" DIA. AND LARGER
** SERVICES ONLY ALLOWED WHERE APPROVED
*** TONING WIRE REQUIRED

REV. NO.	DATE	BY	APPR.	CITY OF CAMAS - GENERAL DETAIL	DETAIL NO.
1	5/1/07	SCD	JC	TRENCH DETAIL (IN R.O.W.)	G2
2	10/1/08	SCD	JC		
3	1/1/11	SCD	JC		
4	10/21/14	SCD	JC	DETAIL APPROVED BY: <i>Joe P. Githen</i> 10-21-14 DATE	NOT TO SCALE

EC-NOTES.DWG



MINIMUM PIPE COVER CHART			
UTILITY TYPE	MAIN TYPE	MIN. PIPE (MAIN) COVER	MIN. LATERAL OR SERVICE COVER
WATER	DISTRIBUTION	2.5'	2'
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REV. NO.	DATE	BY	APPR.	CITY OF CAMAS - GENERAL DETAIL	DETAIL NO.
1	5/1/07	SCD	JC	TRENCH DETAIL (OUTSIDE R.O.W.)	G3
2	1/1/11	SCD	JC		
3	10/21/14	SCD	JC	DETAIL APPROVED BY: <i>Joe P. Githen</i> 10-21-14 DATE	NOT TO SCALE

EC-NOTES.DWG

GRADING NOTES:

- ALL GRADING SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE W.S.D.O.T. STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION AND THE CITY OF CAMAS DESIGN STANDARDS MANUAL.
- THE LIMITS OF CLEARING SHALL BE FLAGGED PRIOR TO CLEARING AND GRUBBING OF THE SITE.
- ANY EXISTING TREES TO REMAIN WITHIN THE CLEARING LIMITS SHALL BE MARKED AND PROTECTED FROM DAMAGE.
- PRIOR TO ANY FILL PLACEMENT, ALL AREAS WHICH WILL RECEIVE STRUCTURAL FILL SHALL BE EXCAVATED TO FIRM, NON-ORGANIC, UNDISTURBED NATIVE GROUND. THE STRIPPED AREAS SHALL BE OBSERVED AND ACCEPTED BY THE GEOTECHNICAL ENGINEER AND THE CITY OF CAMAS INSPECTOR.
- ALL LOT FILLS SHALL MEET 95% OF AASHTO T-99 COMPACTION.
- ALL RIGHT-OF-WAY FILLS SHALL MEET 95% OF AASHTO T-180 COMPACTION.
- FILLS SHALL BE INSTALLED IN VERTICAL LIFTS NOT EXCEEDING 8 INCHES IN THICKNESS AND SHALL BE COMPACTED AS PREVIOUSLY NOTED.
- FILLS PLACED ON SLOPES EXCEEDING SH:IV SHALL BE KEYED AND BENCHED, GEOTECHNICAL APPROVAL REQUIRED PRIOR TO ANY FILL PLACEMENT.
- ALL SURFACES SHALL BE GRADED SMOOTH AND BE FREE OF IRREGULARITIES THAT MIGHT ACCUMULATE SURFACE WATER.
- ALL CUT AND FILL SLOPES SHALL NOT EXCEED 2:1 SLOPES.
- ANY EXCESS MATERIAL NOT REQUIRED TO MEET THE GRADES SHOWN ON THE PLANS SHALL BE HAULED FROM THE SITE TO A CONTRACTOR PROVIDED WASTE SITE. IF WASTE SITE IS WITHIN CITY LIMITS, A GRADING PERMIT MAY BE REQUIRED.
- ALL EXPOSED AND UNWORKED SOILS SHALL BE STABILIZED BY SUITABLE APPLICATION OF EROSION CONTROL BMP'S.
- ALL SURFACES REQUIRING VEGETATION SHALL BE ROUGHENED PRIOR TO SEEDING (I.E. WHEEL TRACKED PERPENDICULAR TO SURFACE FLOW TO REDUCE EROSION AND HELP VEGETATION).
- FINAL GEOTECHNICAL SUMMARY REPORT, INCLUDING ALL COMPACTION TESTING RESULTS, SHALL BE SUBMITTED UPON COMPLETION OF SITE GRADING WORK.

REV. NO.	DATE	BY	APPR.	CITY OF CAMAS - EROSION CONTROL DETAIL	DETAIL NO.
1	5/18/07	SCD	JC	GRADING NOTES	EC1
2	1/1/11	SCD	JC		
				DETAIL APPROVED BY: <i>Joe P. Githen</i> 1-4-11 DATE	NOT TO SCALE

EC-NOTES.DWG

EROSION/SEDIMENT CONTROL NOTES:

- THE EROSION/SEDIMENT CONTROL (ESC) PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) ARE TO BE UTILIZED AS A GUIDE TO CONTROL THE TRANSPORT OF LOOSE SOILS TO THE PROPERTY OUTSIDE OF THE CONSTRUCTION AREA AND AROUND THE CONSTRUCTION SITE. THE ESC MEASURES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DOES NOT LEAVE THE SITE.
- THE IMPLEMENTATION OF THE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADE OF THE ESC MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND PERMANENT VEGETATION/LANDSCAPING IS ESTABLISHED.
- IF THE CITY INSPECTOR OR ENGINEER(S) HAS EVIDENCE OF POOR CONSTRUCTION PRACTICES OR EROSION CONTROL TECHNIQUES, A "STOP WORK" ORDER SHALL BE ISSUED UNTIL PROPER MEASURES HAVE BEEN TAKEN AND APPROVED BY THE CITY ENGINEERING STAFF.
- THE CONTRACTORS SHALL BE RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH THE MOST RECENTLY ADOPTED EDITION OF THE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON, VOL. II AND THE CITY OF CAMAS MUNICIPAL CODE 14.06 (2011).
- ALL EROSION/SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND IN WORKING CONDITION PRIOR TO DISTURBING AND EXPOSING ANY SOIL SURFACES (I.E. CONSTRUCTION ENTRANCES, FILTER FABRIC SEDIMENT BARRIERS, AND SEDIMENTATION TRAPS) AND MAINTAINED FOR THE DURATION OF THE PROJECT. TRAPPED SEDIMENT IN EXCESS OF 1 FOOT SHALL BE REMOVED OR STABILIZED ON-SITE. DISTURBED SOIL AREAS RESULTING FROM VEGETATION REMOVAL SHALL BE PERMANENTLY STABILIZED. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- TO MINIMIZE EROSION AND SEDIMENTATION TRANSPORTATION, EARTHWORK SHALL NOT BE PERFORMED WHILE SOILS ARE IN AN UNSTABLE STATE DUE TO PRECIPITATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE CLEARING LIMITS AND/OR ANY EASEMENTS, SENSITIVE OR CRITICAL AREAS, AND THEIR BUFFERS, TREES, AND DRAINAGE COURSES FLAGGED PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. FLAGGING LIMITS ARE TO BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- REMOVE ONLY THOSE TREES AND SHRUBS THAT NEED TO BE REMOVED FOR THE CONSTRUCTION OF ROADS, SIDEWALKS, UTILITIES, AND STORMWATER FACILITIES.
- ALL EXISTING AND NEWLY CONSTRUCTED ROAD CATCH BASINS AND CURB INLETS AFFECTED BY CONSTRUCTION SHALL BE PROTECTED AGAINST SEDIMENT DEPOSITS. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- ALL POLLUTANTS THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER SYSTEM.
- ALL DISTURBED SOIL SURFACES ARE TO BE STABILIZED BY A SUITABLE APPLICATION OF "BEST MANAGEMENT PRACTICES" (BMP'S). DURING THE PERIOD OF OCTOBER 1 THROUGH JULY 5 DISTURBED SOILS MAY REMAIN UNSTABILIZED FOR UP TO TWO DAYS WHEN NOT BEING WORKED. FROM JULY 5 THROUGH OCTOBER 1, DISTURBED SOILS MAY REMAIN UNSTABILIZED FOR UP TO 7 DAYS WHEN NOT BEING WORKED. STABILIZATION OF DISTURBED SOIL AREAS MAY CONSIST OF HYDROSEEDING, HAND-SEEDING AND MULCHING. PLACEMENT OF EROSION CONTROL BLANKETS OR PLASTIC. SEEDING AREAS ARE TO BE FERTILIZED, WATERED, AND MAINTAINED TO ENSURE THAT THE GROWTH OF VEGETATION OCCURS AS SOON AS POSSIBLE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL BMP'S SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMP'S ARE NO LONGER NEEDED.

REV. NO.	DATE	BY	APPR.	CITY OF CAMAS - EROSION CONTROL DETAIL	DETAIL NO.
1	9/18/07	SCD	JC	EROSION/SEDIMENT CONTROL NOTES	EC2
2	1/1/11	SCD	JC		
				DETAIL APPROVED BY: <i>Joe P. Githen</i> 1-4-11 DATE	NOT TO SCALE

EC-NOTES.DWG

EROSION/SEDIMENT CONTROL NOTES (CONTINUED):

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR POLICING THE JOB SITE DAILY AND MAINTAINING THE EROSION/SEDIMENT CONTROL MEASURES THROUGHOUT ALL PHASES OF CONSTRUCTION. AN INSPECTION LOG SHALL BE KEPT AND MADE AVAILABLE TO THE CITY OF CAMAS. THE POLICING AND MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO:
 - VERIFYING THAT ALL AREAS ARE GRADED SUCH THAT ALL RUNOFF IS DIRECTED TO A SEDIMENTATION DEVICE BEFORE DISCHARGE TO SURFACE.
 - REMOVAL OF TRAPPED SILT AT SILT BARRIERS, SILT TRAPS, OR POINTS OF ACCUMULATION.
 - ADDITIONAL PROTECTIVE MEASURES DUE TO JOB SITE OR WEATHER CONDITIONS AS REQUIRED BY THE CITY OF CAMAS.
 - MONITORING OF VEHICLES LEAVING THE SITE TO MINIMIZE TRANSMISSION OF LOOSE SOILS TO THE PUBLIC ROADWAYS.
 - VERIFY THAT ALL PROPERTIES ADJACENT TO THE PROJECT SITE ARE PROTECTED FROM SEDIMENTATION DEPOSITION. THIS MAY BE ACCOMPLISHED BY INSTALLING PERIMETER CONTROLS SUCH AS SEDIMENTATION BARRIERS, FILTERS OR DIKES, SEDIMENTATION BASINS/TRAPS, OR BY A COMBINATION OF SUCH MEASURES.
- CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES SHALL BE STABILIZED IN ACCORDANCE WITH EROSION/SEDIMENT CONTROL NOTE 11. SLOPES FOUND TO BE ERODING EXCESSIVELY WITHIN TWO YEARS OF CONSTRUCTION MUST BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES. THESE MEASURES MAY CONSIST OF ROUGHENED SOIL SURFACES, INTERCEPTORS, DIVERSIONS OR TERRACES, TEMPORARY OR PERMANENT CHANNELS, ADDITIONAL VEGETATION, OR PIPE SLOPE DRAINS AS REQUIRED BY THE CITY OF CAMAS UNTIL THE PROBLEM IS CORRECTED.
- THE ESC MEASURES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING ANY STORM EVENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING UNDERGROUND UTILITIES AS SPECIFIED BELOW:
 - WHERE FEASIBLE, NO MORE THAN 500 FEET OF TRENCH SHALL BE OPEN AT ONE TIME.
 - WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - TRENCH DE-WATER DEVICES SHALL DISCHARGE INTO A SEDIMENT TRAP OR SEDIMENT POND.
- SUGGESTED STANDARD SEED MIXTURE FOR THOSE AREAS WHERE A TEMPORARY VEGETATIVE COVER IS REQUIRED:

SEED VARIETY	% WEIGHT	% PURITY	% GERMINATION
CHEWINGS OR ANNUAL BLUE GRASS	40	98	90
(FESTUCA RUBRA VAR. COMMUTATA OR PCA ANNU)			
PERENNIAL RYE	50	98	90
(LOLIUM PERENNE)			
RED TOP OR COLONIAL BENT GRASS	5	92	85
(AGROSTIS ALBA OR AGROSTIS TENUS)			
WHITE DUTCH CLOVER	5	98	90
(TRIFOLIUM REPENS)			

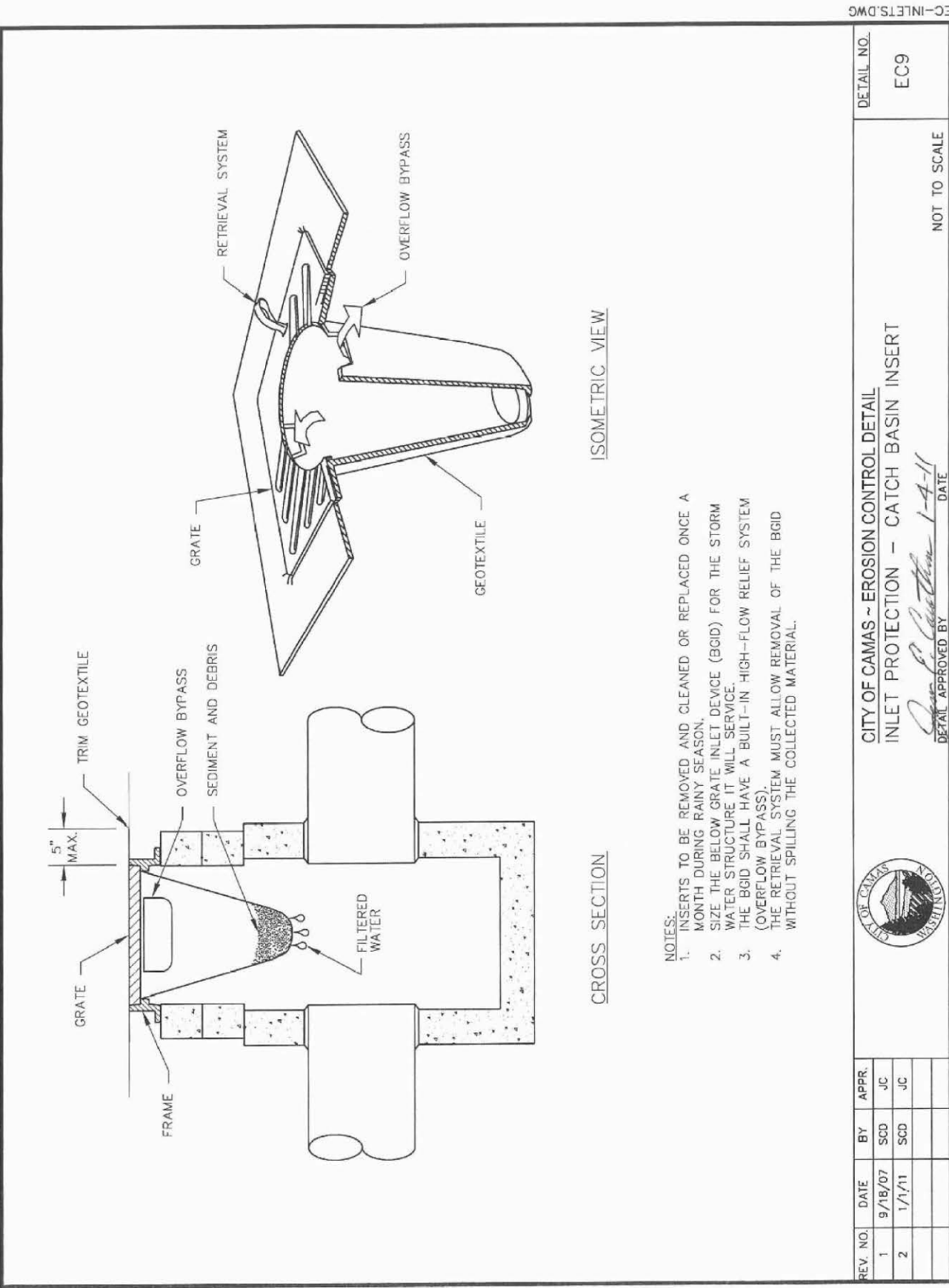
 *APPLICATION RATE OF 120 LBS/ACRE AND COVERED WITH STRAW OR MULCH
- SUGGESTED TURF SEED MIXTURE FOR DRY SITUATIONS WHERE THERE IS NO NEED FOR MUCH WATER:

SEED VARIETY	% WEIGHT	% PURITY	% GERMINATION
DWARF FESCUE (SEVERAL VARIETIES)	45	98	90
(FESTUCA ARUNDINACEA VAR.)			
DWARF PERENNIAL RYE	30	98	90
(LOLIUM PERENNE VAR. BARCLAY)			
RED FESCUE	20	98	90
(FESTUCA RUBRA)			
COLONIAL BENT GRASS	5	98	90
(AGROSTIS TENUS)			

 *APPLICATION RATE OF 120 LBS/ACRE AND COVERED WITH STRAW OR MULCH

REV. NO.	DATE	BY	APPR.	CITY OF CAMAS - EROSION CONTROL DETAIL	DETAIL NO.
1	9/18/07	SCD	JC	EROSION/SEDIMENT CONTROL NOTES	EC3
2	1/1/11	SCD	JC		
				DETAIL APPROVED BY: <i>Joe P. Githen</i> 1-4-11 DATE	NOT TO SCALE

EC-NOTES.DWG



EC-NOTES.DWG

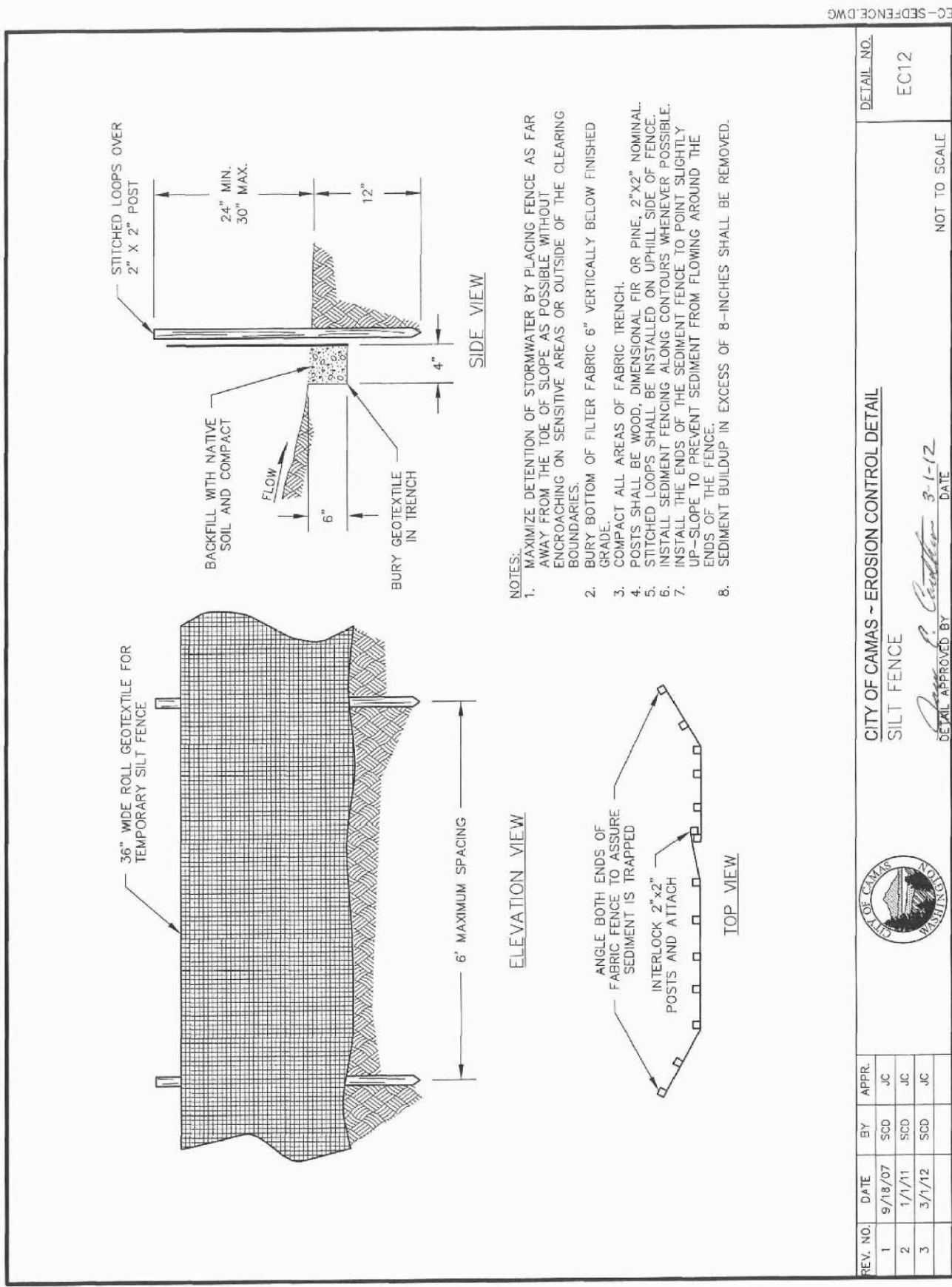
EC9

NOT TO SCALE

CITY OF CAMAS - EROSION CONTROL DETAIL INLET PROTECTION - CATCH BASIN INSERT

DETAIL NO. EC9

REV. NO.	DATE	BY	APPR.
1	9/18/07	SCD	JC
2	1/1/11	SCD	JC



EC-NOTES.DWG

EC12

NOT TO SCALE

CITY OF CAMAS - EROSION CONTROL DETAIL SILT FENCE

DETAIL NO. EC12

REV. NO.	DATE	BY	APPR.
1	9/18/07	SCD	JC
2	1/1/11	SCD	JC
3	3/7/12	SCD	JC

Sheet Description:

Project:

DETAILS SHEET

FRANKLIN DUPLEX




Scale: AS SHOWN
Project Number: 708
Design/Drawn: JGS/JC
Drawing Date: JAN. 2017
Sheet 8 of 10 Sheet(s)

PREPARED BY:
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STERLING DESIGN, INC.

- ALL TRENCH EXCAVATION AND PIPE INSTALLATION SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE W.S.D.O.T. STANDARD SPECIFICATIONS SECTION 7-08.3(1) AND 7-08.3(2).
- ALL EXCAVATED MATERIAL FROM THE TRENCH EXCAVATION SHALL BE DISPOSED OF ON AN APPROVED SITE.
- PIPE BEDDING, PIPE ZONE MATERIAL, AND TRENCH BACKFILL SHALL BE AN APPROVED SAND OR SANDY SILT MATERIAL. GREENHOUSE GAS (GHG) MINUS CORRECTION FOOT SAND BACKFILL IS NOT ALLOWED.
- TRENCH COMPACTION SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE STANDARD SPECIFICATIONS SECTION 7-08.3(2) AND 7-08.3(3) DETERMINING THE TYPE OF EQUIPMENT AND METHOD TO USE TO ACHIEVE THE REQUIRED COMPACTION. EACH LIFT SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE STANDARD SPECIFICATIONS TEST METHOD.
- SETTLEMENT OF THE FINISHED SURFACE WITHIN THE WARRANTY PERIOD SHALL BE THE RESULT OF THE CONTRACTOR'S NEGLIGENCE. THE CONTRACTOR SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE CITY.
- ALL SANITARY SEWER PIPE AND FITTINGS 2 INCHES IN DIAMETER AND LARGER SHALL BE 15' MINIMUM SAND BEDDED PIPE WITH A MINIMUM OF 4" OF APPROVED GRANULAR MATERIAL. ALL SANITARY SEWER PIPE AND FITTINGS SMALLER THAN 2" INCH DIAMETER SHALL BE 12" MINIMUM SAND BEDDED PIPE WITH A MINIMUM OF 4" OF APPROVED GRANULAR MATERIAL.
- PIPE SHALL BE BEDDED WITH A MINIMUM OF 4 INCHES OF APPROVED GRANULAR MATERIAL. 14 GAUGE GREEN PIPE (HMWPE) INSULATED CORROD CLAD STEEL TONING WIRE SHALL BE INSTALLED TO THE FULL DEPTH OF THE TRENCH TO PROVIDE ELECTRICAL PROTECTION. SHALL BE ACCESSIBLE AT ALL VALVES, RISERS, A.A.R.V.'S AND SERVICE BOXES. ALL SPLICES AND CONNECTIONS TO TONING WIRE SHALL BE PROTECTED WITH KING GEL CAPS, 3M DUREX BURRY, OR OTHER BURRY OR EQUIVALENT.
- ALL PIPE AND FITTINGS SHALL BE HYDROSTATICALLY TESTED AT 150 P.S.I. FOR FIFTEEN MINUTES, EXCEPT LATERAL SERVICES, WHICH SHALL BE TESTED AT 100 P.S.I. FOR TWO MINUTES.
- ALL S.T.E.P. SANITARY SEWER MAINLINES SHALL BE INSTALLED WITH A MINIMUM COVER OF 5 FEET.
- ALL S.T.E.P. SANITARY SEWER LATERALS SHALL BE INSTALLED IN A DEDICATED TRENCH FROM THE SERVICE CONNECTION TO THE TRENCH BACKFILL SHALL BE APPROVED GRANULAR MATERIAL AS APPROVED BY THE CITY ENGINEER.
- ALL TANKS WITH A BURY DEPTH OVER 4'-0" MUST HAVE H=20 RATED TANK LID.

REV. NO.	DATE	BY	APPR.
1	5/1/07	SCD	JC
2	1/1/11	SCD	JC
3	10/21/14	SCD	JC



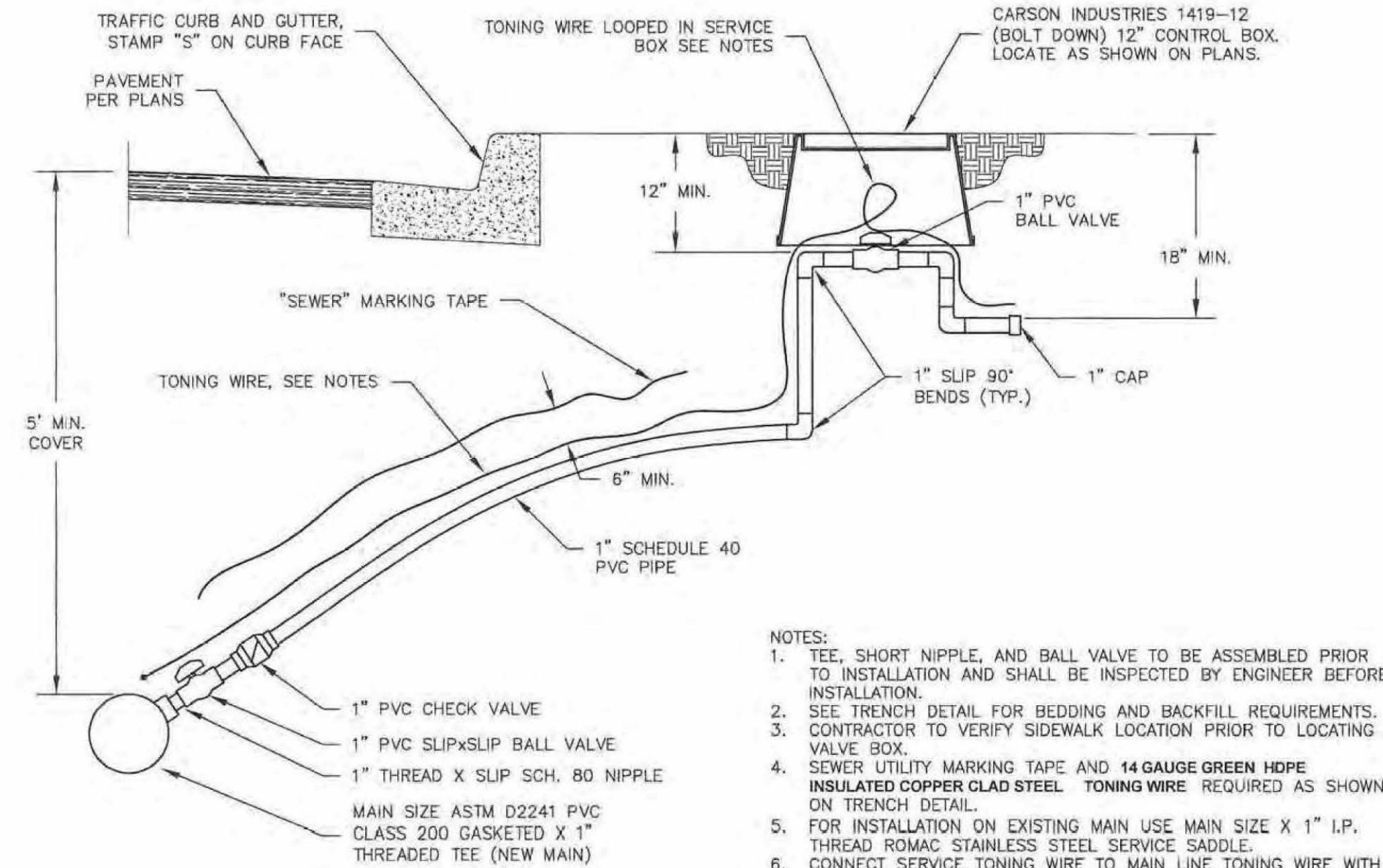
CITY OF CAMAS - SANITARY DETAIL

STEP SEWER CONSTRUCTION NOTES

Dan J. Leather 10-21-14

Initial Additional BY _____ DATE _____

NOT TO SCALE



REV. NO.	DATE	BY	APPR.
1	5/1/07	SCD	JC
2	1/1/11	SCD	JC
3	10/21/14	SCD	JC

CITY OF CAMAS ~ SANITARY DETAIL
STEP SEWER SERVICE

DETAIL APPROVED BY Don J. Caruth 10-21- DATE

DETAIL N

SP2


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NOT TO SCALE

STEP-SERVING

1. ALL TRENCH EXCAVATION AND PIPE INSTALLATION SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE W.S.D.O.T. STANDARD SPECIFICATIONS SECTION 7-06.3(1) & 7-06.3(2).
2. ALL EXISTING MATERIAL FROM THE TRENCH EXCAVATION SHALL BE DISPOSED OF ON AN APPROVED SITE.
3. PIPE BEDDING, PIPE ZONE MATERIAL AND TRENCH BACKFILL SHALL BE AN APPROVED TYPE OF STANDARD SPECIFICATION WASHED SCREENINGS 3/8" MINUS, CRUSHED ROCK SAND BACKFILL IS NOT ALLOWED.
4. TRENCH COMPACTION SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE STANDARD SPECIFICATIONS SECTION 7-06.3(1) & 7-06.3(2) REGARDING THE TYPE OF EQUIPMENT AND METHOD TO USE TO ACHIEVE THE REQUIRED COMPACTION. EACH LIFT SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DENSITY AS REQUIRED BY THE M.D.T. TESTING DIVISION.
5. SETTLEMENT OF THE FINISHED SURFACE WITHIN THE WARRANTY PERIOD SHALL BE CONSIDERED TO BE A RESULT OF IMPROPER COMPACTION AND SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
6. ALL PIPE AND FITTINGS SHALL BE PVC GASKETED PIPE, ASTM D2241 PRESSURE RATED FOR 8" PIPE UNLESS OTHERWISE NOTED.
7. PIPE SHALL BE BEDDED WITH A MINIMUM OF 4" INCHES OF APPROVED GRANULAR MATERIAL.
8. 14 GAUGE GREEN HDPE (HMWPE) INSULATED COPPER CLAD STEEL TONING WIRE SHALL BE PLACED DIRECTLY OVER ALL SEWER LINES AND SERVICE LATERALS. THE TONING WIRE SHALL BE ACCESSIBLE AT ALL MANHOLES, CLEANOUTS, AND SERVICE CONNECTIONS.
9. ALL MANHOLES, ALL SPLICES AND CONNECTIONS TO TONING WIRE SHALL BE PROTECTED WITH 12" GALV. STEEL PIPE 3" DIRECT BURY, OR OTHER APPROVED EQUIVALENT. ALL TONING WIRE SERVICE CONNECTIONS SHALL BE TESTED PRIOR TO INSTALLING BACKFILL.
10. MAINTENANCE CLEANOUTS SHALL BE SPACED A MAXIMUM OF 400 FEET AND/OR FOR EVERY 90 DEGREE BEND.
11. ALL PIPE AND FITTINGS SHALL BE AIR TESTED AT FIVE P.S.I. FOR ONE MINUTE PER EVERY 100 FEET OF MANHOLE.
12. ALL TRENCHES AND SERVICE LATERAL ENDS SHALL EXTEND 8 FEET PAST THE STREET RIGHT-OF-WAY LINE OR AS SHOWN ON THE PLANS AND MARKED WITH A 10 FOOT LONG 2 X 4.
13. ALL SANITARY LINES SHALL BE INSTALLED WITH A MINIMUM COVER OF 6 FEET AND A MINIMUM OF 48" UNLESS OTHERWISE NOTED.
14. ALL S.T.E.F. SANITARY SEWER LATERALS SHALL BE INSTALLED IN A DEDICATED TRENCH FROM THE SERVICE CONNECTION TO THE TANK. BACKFILL SHALL BE APPROVED GRANULAR MATERIAL AS APPROVED BY THE M.D.T. TESTING DIVISION.
15. ALL TANKS WITH A BURY DEPTH OVER 4'-0" MUST HAVE H=20 RATED TANK LID.

REV. NO.	DATE	BY	APPR.
1	5/1/07	SCD	JC
2	1/1/11	SCD	JC
3	10/21/14	SCD	JC

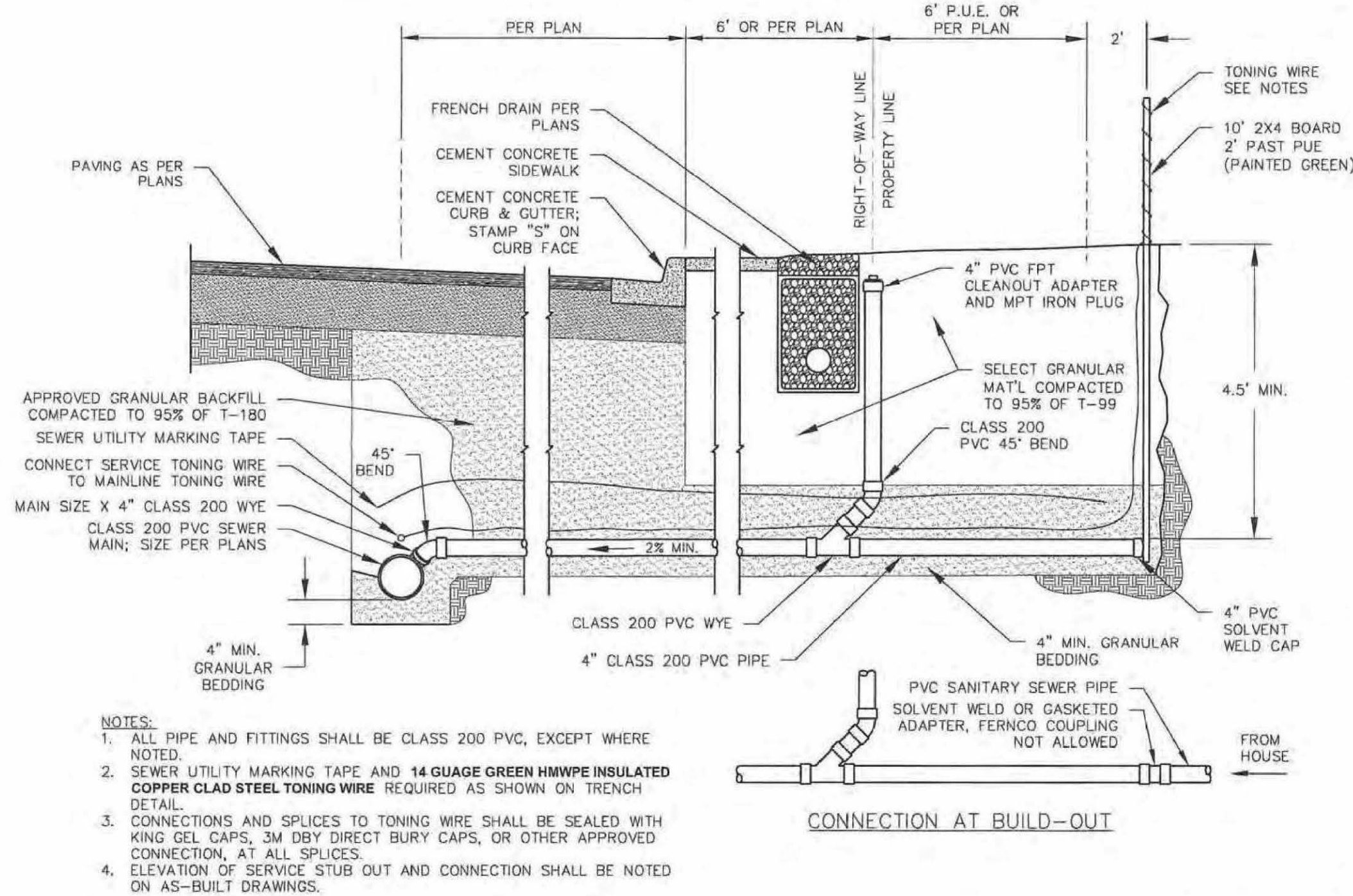


CITY OF CAMAS ~ SANITARY DETAIL

STEF SEWER CONSTRUCTION NOTES

[Signature] 10-21-14

NOT TO SCALE



REV. NO.	DATE	BY	APPR.
1	5/1/07	SCD	JC
2	1/1/11	SCD	JC

CITY OF CAMAS ~ SANITARY DETAIL
STEF SEWER SERVICE STUB OUT

DETAIL APPROVED BY Jan P. Carstensen 1-4-11
DATE

DETAIL N
SF2

100

NOT TO SCALE

ITEF-SERV.DWG

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STERLING
DESIGN, INC.

Sheet Description:

DETAILS SHEET

Project:

FRANKLIN DUPLEX



Scale: AS SHOWN

Project Number: 708


Design/
Drawn JGS/BC

Drawing Date: JAN. 2017

Sheet 9 of 10 Sheet(s)

1. ALL TRENCH EXCAVATION AND PIPE INSTALLATION SHALL CONFORM TO THE MOST CURRENT A.W.W.A. STANDARDS, AND THE MOST RECENTLY ADOPTED EDITION OF THE W.S.D.O.T. STANDARD SPECIFICATIONS SECTION 7-08.3(1), AND SECTION 7-08.3(2). ALL EXCESS MATERIAL FROM THE TRENCH EXCAVATION SHALL BE LOADED DIRECTLY INTO THE TRUCK OR TRAILER OF THE CONTRACTOR AT THE END OF EACH DAY.
2. PIPE BEDDING, PIPE ZONE MATERIAL, AND TRENCH BACKFILL SHALL BE AN APPROVED GRANULAR MATERIAL, OF EITHER WASHED SCREENINGS OR 5/8 INCH MINUS CRUSHED ROCK. SAND BACKFILL IS NOT ALLOWED.
3. TRENCH COMPACTION SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE W.S.D.O.T. STANDARD SPECIFICATIONS SECTION 7-08.3(3). CONTRACTOR TO DETERMINE THE TYPE OF EQUIPMENT AND METHOD USED TO ACHIEVE THE REQUIRED COMPACTION AND BE APPROVED BY THE CITY OF CAMAS. EACH LIFT SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE A.A.S.H.T.O. T-180 TEST METHOD.
4. SETTLEMENT OF THE FINISHED SURFACE WITHIN THE WARRANTY PERIOD SHALL BE CONSIDERED TO BE A RESULT OF IMPROPER COMPACTION AND SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE CITY.
5. ALL VALVES 12 INCHES OR LESS IN DIAMETER SHALL BE A.W.W.A. APPROVED INSULANT WEDGE GATE VALVES, BUBBLE TIGHT AT 200PSI, HAVE NON RISING STEMS, AND OPEN BY TURNING TO THE LEFT. PROVIDE A 2 INCH SQUARE NUT TO CONFORM TO A.W.W.A. C-504. ALL VALVES 12 INCHES OR LARGER IN DIAMETER SHALL BE A.W.W.A. STANDARD WEDGE GATE VALVES.
6. ALL WATER PIPE 12 INCHES OR LESS IN DIAMETER SHALL BE DUCTILE IRON CLASS 52 PIPE. ALL WATER PIPE 14 INCHES IN DIAMETER AND LARGER SHALL BE DUCTILE IRON CLASS 51 PIPE. RUBBER GASKET TYPE SHALL BE U.S. PIPE, TYTON OR APPROVED EQUAL. ALL FITTINGS SHALL BE DUCTILE IRON AND SHALL CONFORM TO THE A.W.W.A. STANDARD.
7. ALL TEES, FLANGES, CAPS, BENDS AND OFFSETS, AS WELL AS ALL OTHER APPURTENANCES WHICH ARE SUBJECT TO UNBALANCED THRUST, SHALL BE PROPERLY BRACED BY ONE OF THE FOLLOWING METHODS:
 - a. CONCRETE THRUST BLOCKING- AS DETAILED IN THE PLANS, SHALL BE PLACED AT BENDS, TEES, DEAD ENDS AND OTHER POINTS. BLOCKING SHALL BE 18 INCHES THICK, 24 INCHES LONG, AND 18 INCHES HIGH. IT SHALL BE AGAINST SOLID UNDISTURBED EARTH AT THE SIDES AND BOTTOM OF THE TRENCH EXCAVATION AND SHALL BE SHAPED SO AS NOT TO OBSTRUCT ACCESS TO THE JOINTS OF THE PIPE. 6 MIL PLASTIC SHALL BE USED TO INSULATE PIPE.
 - b. MECHANICAL JOINT RESTRAINT- USE "EGBA IRON SERIES 1100 MEGA LUC MECHANICAL JOINT THRUST RESTRAINT" OR APPROVED EQUAL. CONTRACTOR TO RESTRAIN THE MINIMUM REQUIRED PIPE LENGTH WITH THE USE OF RUBBER GASKETS OR APPROVED EQUAL.
8. ALL WATER MAINS SHALL BE TESTED AT 200PSI IN ACCORDANCE WITH SECTION 7-09.3(23) OF THE STANDARD SPECIFICATIONS. THE CITY SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ACCEPTANCE TESTING. MAXIMUM LENGTH OF PIPE TO BE TESTED AT ONE TIME IS 1000 FT.
9. CHLORINATION SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 7-09.3(24) OF THE STANDARD SPECIFICATIONS. CITY INSPECTOR WILL TAKE SAMPLES AND DELIVER TO LABORATORY FOR BACTERIA TESTING. NECESSARY SAMPLE RESULTS WILL BE CONFIRMED, PRIOR TO PRESSURE TESTING, DECHLORINATION OR DISPOSAL TO SANITARY MAIN WILL BE REQUIRED.
10. APPROPRIATE DISPOSAL AND OR DECHLORINATION OF FLUSHED WATER DURING BLOWOFF IS THE RESPONSIBILITY OF THE CONTRACTOR. METHOD USED SHALL BE APPROVED BY CITY AND OTHER REGULATING AUTHORITIES.
11. WATER MAIN TO HAVE A MINIMUM COVER OF 30 INCHES. WATER SERVICES TO HAVE A MINIMUM 24" OF COVER.
12. ALL EXISTING VALVES TO BE OPERATED BY CITY OF CAMAS WATER/SEWER DEPARTMENT PERSONNEL ONLY.
13. NO CONNECTIONS TO EXISTING WATER MAINS SHALL BE MADE PRIOR TO SEWER REPAIRS TESTING, DISINFECTION, AND THE CONFIRMATION OF A NEGATIVE BACTERIA TEST.

REV. NO.	DATE	BY	APPR	
1	7/17/06	SCD	RES1071	
2	5/1/07	SCD	JC	
3	1/1/11	SCD	JC	



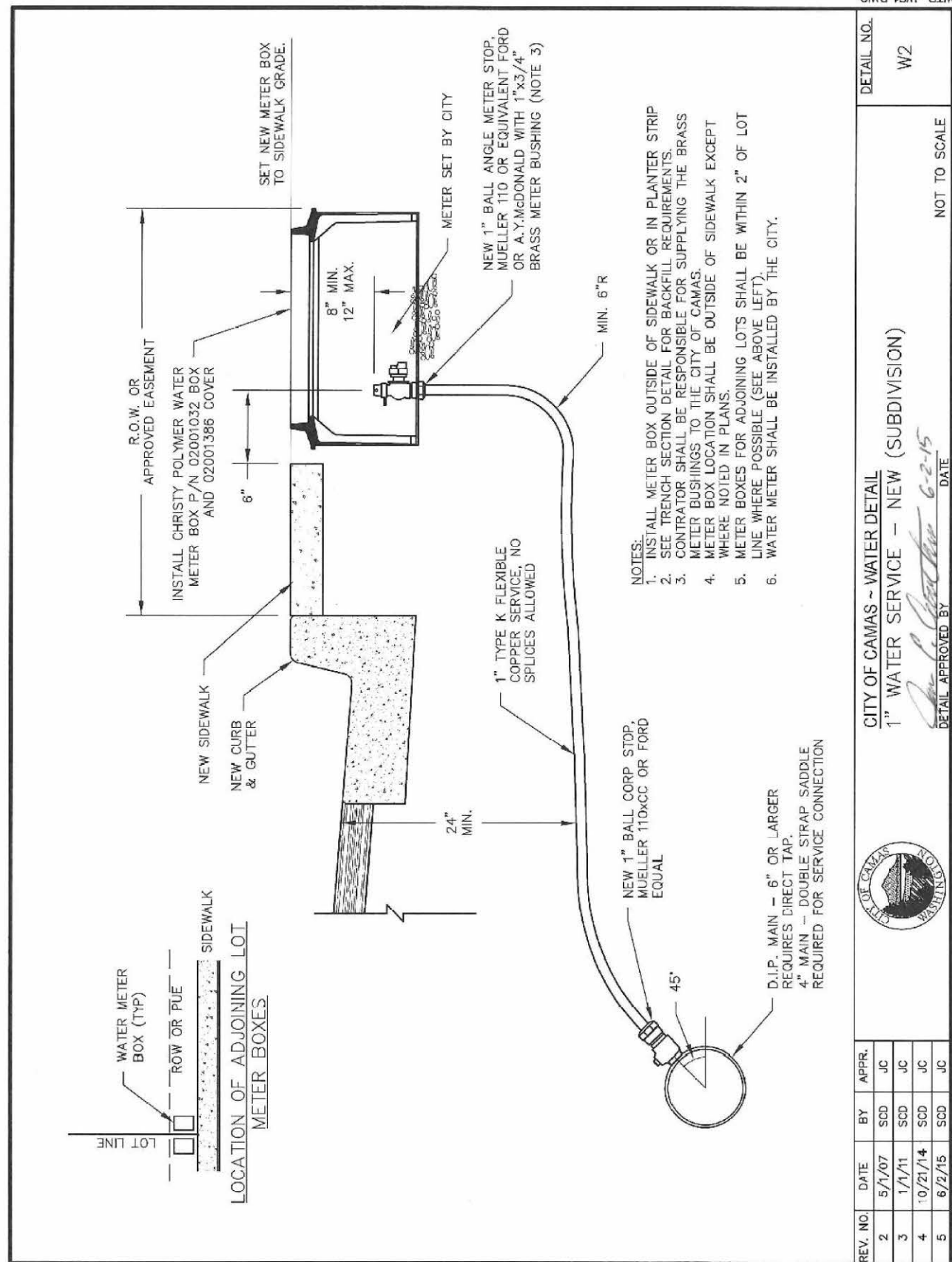
CITY OF CAMAS - WATER DETAIL

WATER CONSTRUCTION NOTES

Don P. Bratton 1-4-11

Detail Approved BY _____ DATE _____ NOT TO SCALE

DETAIL NO.
W1



PREPARED BY:
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STERLING DESIGN INC.

Sheet Description:

DETAILS SHEET

Project:

FRANKLIN DUPLEX



Scale: AS SHOWN

Project Number: 708

Design/
Drawn JGS/BC

Drawing Date: JAN. 2017

Sheet 10 of 10 Sheet(s)

Exhibit 3

CUP17-01

From: [Matthew Huang](#)
To: [Community Development Email](#)
Subject: CUP17-01 and CUP17-02 Franklin Duplex North and South
Date: Saturday, April 01, 2017 2:23:59 PM

Dear Ms. Fox,

I am writing in regards to the Notice of Application for the Franklin Duplex North and South (CUP17-01 and CUP17-02).

I am a property owner and resident at 4202 NE Everett Ct., Camas. While I am willing to accept duplexes in our neighborhood, I am not in support of in approving this CUP.

The said properties are zones R-7.5 Residential-7,500. According to Section 18.05.040.E of the Camas Municipal Code, the zone is intended for densities of five to six dwelling units per acre. Timber Grove, LLC owns two properties, which I calculated to have a total land area of 0.47 acres. Based on this property size and the land use, I am willing to accept three residential units on this property, but four residential units are too much. Increasing the housing density beyond the land use places too much strain on our roads, public facilities and environment. We want to maintain our lifestyle, and urge the City not to start a precedent by allowing residential densities higher than the approved land use.

Thank you.

Matthew Huang



STAFF REPORT
LEADBETTER ROAD PUMP STATION

FILE NO. CUP16-01 (ASSOCIATED FILES SPRV16-08, SHOR16-04, SEPA16-16, DR16-13)

TO: Hearings Examiner **HEARING DATE:** April 4, 2017

BY: Sarah Fox, Senior Planner **REPORT DATE:** March 27, 2017

PROPOSAL: To request site plan and conditional use approval to construct a pump station within a residential zone

LOCATION: The site is located on a tract within CJ Dens Subdivision, north of Leadbetter Road at Tax Parcel #177906-000.

APPLICANT: City of Camas
616 NE 4th Ave.
Camas, WA 98607

PUBLIC NOTICE: Notice of application and public hearing was mailed to property owners within 300 feet of the site on March 16, 2017, and published in the Post Record on March 16, 2017, legal publication #579273.

APPLICABLE LAW: The application was submitted on December 30, 2016, and the applicable codes are those vested and in effect through Ordinance # 16-031 (12/05/16). Camas Municipal Code Chapters (CMC): Title 16 Environment, Title 17 Land Development; and Title 18 Zoning; Specifically (not limited to): Chapter 17.19 Design & Improvement Standards; Chapter 18.07 Use Authorization, Chapter 18.13 Landscaping; Chapter 18.43 Conditional Use Permits; and Chapter 18.55 Administrative Provisions. **[Note:** Citations from Camas Municipal Code (CMC) are indicated with *italicized type*.]

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I. SUMMARY

The city proposes to construct a pump station, which is one of three new pump stations planned within the **North Shore Sewer Transmission System**. The Leadbetter Road Pump Station will be located at Tax Parcel #177906-000 (no site address) in a tract of a future residential subdivision, which is known as the CJ Dens Subdivision. The site will be landscaped and fenced and include a 250 square foot structure. The development of a public utility in a single family zone requires approval of a Conditional Use Permit, Site Plan Review and Design Review. At this site, the project also required a Shoreline Substantial Development Permit, Shoreline Variance, and State Environmental Policy Act Determination. The shoreline and SEPA decisions were issued and are considered final.

II. CRITERIA OF APPROVAL FOR CONDITIONAL USE PERMITS (CMC§18.43.050 “A” THROUGH “F”)

A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;

Discussion: “Pumping station” is a use that can be conditionally allowed in single family residential zone per the use authorization table at CMC§18.07.040 Table 2 – Residential and Multifamily land uses. Given that the city’s legislative body adopted the CMC and this list of uses, then staff assumes that the use would not be materially detrimental with mitigating conditions.

Findings: The proposed development is allowed with approval of a conditional use permit per CMC Chapter 18.07 Use Authorization.

B. THE PROPOSED USE SHALL MEET OR EXCEED THE DEVELOPMENT STANDARDS THAT ARE REQUIRED IN THE ZONING DISTRICT IN WHICH THE SUBJECT PROPERTY IS SITUATED;

Discussion: Development standards for the pump station are compiled from several sources to include: the Camas Design Standard Manual, CMC Chapter 17.19 Design and Improvement Standards, and CMC Chapter 18.13 Landscaping.

SITE DESIGN: The Camas Design Standards Manual contains engineering specifications for improvements within the city’s right-of-way. It also includes details for utilities outside the right-of-way and details for erosion control. The pump station standards in the manual lists equipment specifications at #1 through #8, which are not directly relevant to CUP or Site Plan approval. An applicable site design standard at #9 states that the station must be *“paved, fenced and landscaped.”* CMC§17.19.030(F) requires a 30-foot setback from the street. *“Storm drainage facilities, pump stations and other visible facilities shall be setback a minimum of thirty feet from any street or accessory structure and be landscaped in accordance with criteria in the Camas Design Standard Manual.”*

The bulk of the improvements are underground, however, the canopy structure is shown as being approximately 40-feet from the right-of-way of Leadbetter Road, and the (future) site entrance road.

Findings: The development is setback more than 30-feet as required.

LANDSCAPING: The applicant is proposing to landscape around the perimeter of the facility as required per CMC§17.19.030(F). There are not any specifications within that section of code beyond the requirement to include landscaping. However, there are specific requirement within CMC Chapter 18.13 Landscaping at 18.13.050, as the project is considered to be a conditional use. The following is an analysis of compliance with the standards of CMC Chapter 18.13 Landscaping at 18.13.050 - **Landscaping standards** (A through S).

A. The property owner shall be responsible for any future damage to a street, curb, or sidewalk caused by landscaping.

Findings: The property has not been improved to date, and there are not any curbs or sidewalks.

B. Landscaping shall be selected and located to deter sound, filter air contaminants, curtail erosion, minimize stormwater run-off, contribute to living privacy, reduce the visual impacts of large buildings and paved areas, screen, and emphasize or separate outdoor spaces of different uses or character.

C. Plants that minimize upkeep and maintenance shall be selected.

D. Plants shall complement or supplement surrounding natural vegetation.

E. Plants chosen shall be in scale with building development.

F. Minimum landscaping as a percent of gross site area shall be as follows: Community Commercial (CC) standard applies of 10%

G. Deciduous trees shall have straight trunks, be fully branched, have a minimum caliper of one and one-half inches, be equivalent to a fifteen-gallon container size, and be adequately staked for planting.

H. Evergreen trees shall be a minimum of five feet in height, fully branched, and adequately staked for planting.

I. Shrubs shall be a minimum of five-gallon pot size. Upright shrubs shall have a minimum height at planting of eighteen inches. Spreading shrubs at planting shall have a minimum width of eighteen inches (smaller shrub sizes may be approved where it is more appropriate within a particular landscape plan).

J. Ground cover, defined as living material and not including bark chips or other mulch, shall at planting, have a maximum spacing of twelve inches on center for flats, and a maximum twenty-four inches on center between mature plants from containers of one gallon or larger.

Findings: A landscape plan was submitted (Sheet P6). The plan includes a mix of shrubs, groundcover and trees in compliance with standards B through J.

K. Appropriate measures shall be taken, e.g., installations of watering systems, to assure landscaping success. If plantings fail to survive, it is the responsibility of the property owner to replace them.

Findings: Staff included a condition in regard to the installation of a watering system.

L. Trees shall not be planted closer than twenty-five feet from the curb line of the intersections of streets or alleys, and not closer than ten feet from private driveways (measured at the back edge of the sidewalk), fire hydrants, or utility poles.

M. Street trees shall not be planted closer than twenty feet to light standards. Except for public safety, no new light standard location should be positioned closer than ten feet to any existing street tree, and preferably such locations will be at least twenty feet distant.

N. Trees shall not be planted closer than two and one-half feet from the face of the curb except at intersections, where it should be five feet from the curb in a curb return area.

Findings: Review of tree placement per Criteria L through N should occur with landscape plan review and approval.

O. Where there are overhead power lines, tree species that will not interfere with those lines shall be chosen.

Findings: Not applicable. When the residential development is built, power lines will be underground.

P. Trees shall not be planted within two feet of any permanent hard surface paving or walkway. Sidewalk cuts in concrete for trees shall be at least four feet by four feet; however, larger cuts are encouraged because they allow additional area and water into the root system and add to the health of the tree. Space between the tree and such hard surface may be covered by permeable nonpermanent hard surfaces such as grates, bricks on sand, paved blocks, cobblestones, or ground cover.

Findings: The landscaping does not appear to be closer than five feet to paved surfaces.

Q. Trees, as they grow, shall be pruned to their natural form to provide at least eight feet of clearance above sidewalks and twelve feet above street roadway surfaces.

Findings: Not applicable at this time.

R. Existing trees may be used as street trees if there will be no damage from the development which will kill or weaken the tree. Sidewalks of variable width and elevation may be utilized to save existing street trees, subject to approval by the city.

Findings: There are several trees that are being retained and protective fencing is shown on Sheet P6.

S. Vision clearance hazards shall be avoided.

Findings: The property is at an intersection, however, the height of the shrubs should not exceed four feet, and therefore should not block vision clearance.

C. THE PROPOSED USE SHALL BE COMPATIBLE WITH THE SURROUNDING LAND USES IN TERMS OF TRAFFIC AND PEDESTRIAN CIRCULATION, DENSITY, BUILDING, AND SITE DESIGN;

Discussion: The subject property is located along Leadbetter Road, a street that will be abandoned in the future to be used as public trail. In the interim, the above-ground structure is setback by greater than 30-feet and landscaping will surround the facility. The adjacent homes along Leadbetter Road will include a street tree at a minimum. They will also be required to maintain a natural backyard landscape as they are within a shoreline management area.

Findings: The development design will be consistent with future homes that will be built along Leadbetter Road.

D. APPROPRIATE MEASURES HAVE BEEN TAKEN TO MINIMIZE THE POSSIBLE ADVERSE IMPACTS THAT THE PROPOSED USE MAY HAVE ON THE AREA IN WHICH IT IS LOCATED;

Discussion: The pump station will be fenced and landscaped. The structure is intended to match materials that would be used in a residential area, in particular, the roofing materials will be a composite shingle. The landscaping, when mature, should screen the area.

Findings: Staff has proposed conditions of approval to minimize potential adverse impacts.

E. THE PROPOSED USE IS CONSISTENT WITH THE GOALS AND POLICIES EXPRESSED IN THE COMPREHENSIVE PLAN;

Discussion: The Northshore Sewer Transmission System is a project within the city's Sewer Comprehensive Plan, the Capital Improvement Plan (2016-2035), and is consistent with the general utility goals in the plan. The general utility goal at Section 5.11.1 of the comprehensive plan states, "Provide utility serves to all businesses, residents, and properties in the city limits. In urban areas, eliminate private water and sewer/septic systems, including wells used only for irrigation." Citywide land use policy, Policy LU-1.3 requires compatibility of use and design of the surrounding and built environment for new development. The Northshore Sewer Transmission System meets

Findings: The development is consistent with the intent and purposes of the comprehensive plan.

F. ANY SPECIAL CONDITIONS AND CRITERIA ESTABLISHED FOR THE PROPOSED USE HAVE BEEN SATISFIED. IN GRANTING A CONDITIONAL USE PERMIT THE HEARINGS EXAMINER MAY STIPULATE ADDITIONAL REQUIREMENTS TO CARRY OUT THE INTENT OF THE CAMAS MUNICIPAL CODE AND COMPREHENSIVE PLAN.

Discussion: CMC§17.19.040-C(1)(g) and the Camas Design Standard Manual at requirement #9, state that a pump station "shall be located on a separate tract of land dedicated to the city along with the recording of the development plat." The plat has not been recorded and has only preliminary plat approval to date. The

agreement to transfer ownership to the city has not been finalized to date, and as such a condition of approval to ensure compliance with this provision is recommended.

Findings: Staff has proposed conditions in regard to ownership of the tract.

III. SITE PLAN REVIEW

18.18.060 - CRITERIA FOR APPROVAL FOR SITE PLAN REVIEW

The city shall consider approval of the site plans with specific attention to the following:

A. Compatibility with the city's comprehensive plan;

Findings: Refer to previous section of this report at Criterion E, page 4

B. Compliance with all applicable design and development standards contained in this title and other applicable regulations;

Findings: Refer to previous section of this report at Criterion B, page 2.

C. Availability and accessibility of adequate public services such as roads, sanitary and storm sewer, and water to serve the site at the time development is to occur, unless otherwise provided for by the applicable regulations;

Findings: The proposed project will be providing public sanitary and water service. The future subdivision development will install the roadway improvements.

D. Adequate provisions are made for other public and private services and utilities, parks and trails (e.g., provide copies of private covenant documents);

Findings: Not applicable to this project.

E. Adequate provisions are made for maintenance of public utilities; and

Findings: Staff has forwarded recommendations from the Design Review Committee in regard to the landscaping and successful establishment of the plants.

F. All relevant statutory codes, regulations, ordinances and compliance with the same. The review and decision of the city shall be in accordance with the provisions of CMC Chapter 18.55 Administration and Procedures.

Findings: The pump station has undergone review and approval of shoreline permits and SEPA. It has also been reviewed by the city's Design Review Committee. The review and process of the application is consistent with Chapter 18.55.

IV. DESIGN REVIEW COMMITTEE RECOMMENDATION

The city held a Design Review Committee public meeting on February 28, 2017. The Design Review Committee reviewed the proposal for compliance with the City's adopted design principles and provided a recommendation to staff. The staff report included the following conditions:

1. Applicant shall provide vinyl coated chain link fencing.
2. Applicant shall revise landscape drawings to include irrigation plan in accordance with Camas Design Standards Manual.
3. The applicant shall ensure that trees are a minimum caliper of 2" at time of installation.

Recommended Action:

It was moved by Committee Member Wyckoff, seconded by Committee Member Smith to forward a recommendation of approval to the Director that the design review application for the Leadbetter Road Pump Station (DR16-13) was generally consistent with the principles of Design Review. The motion carried unanimously. The recommended conditions are included with this report.

V. CONCLUSIONS OF LAW

Based on the above findings and discussion provided in this report, staff concludes that the consolidated application for a pump station (Consolidated File #CUP16-01) should be approved, because it does or can comply with the applicable standards.

- The application materials are in conformance with CMC Chapter 18.55, Article III Application Requirements.
- As proposed, the development can satisfy the design standards of 17.19.030 Infrastructure Standards.
- As submitted, the development can comply with the requirements of CMC Chapter 18.18 Site Plan Review.
- As conditioned, the development can satisfy the requirements of CMC Chapter 18.43 Conditional Use Permits.

VI. RECOMMENDATIONS

Staff recommends APPROVAL of the Leadbetter Road Pump Station (Consolidated File #CUP16-01) with conditions. The recommendation is based on the application meeting the minimum requirements of Camas Municipal Codes, and conditioned as follows:

PROPOSED CONDITIONS

The following conditions are in addition to any conditions required from other permits or approvals issued to this project. Unless otherwise waived or modified in this decision, the development must comply with the minimum requirements of the Camas Municipal Code.

1. The tract shall be dedicated to the city or other such mechanism to convey ownership of the tract. Documentation of tract ownership must be recorded prior to submittal of building permit applications.
2. Stormwater treatment, including phosphorous removal, and detention facilities shall be designed in accordance with the 2014 Stormwater Management Manual for Western Washington and the Camas Stormwater Design Standards Manual, if triggered under said manuals (e.g. over 5,000 sq. ft. of impervious surface). Final stormwater calculations shall be submitted at the time of final construction plan submittal.

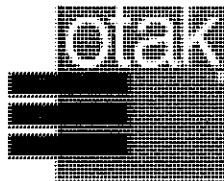
3. All construction plans will be prepared in accordance with City Design Standards Manual and City Standards. The plans will be prepared by a licensed civil engineer in Washington State and submitted to the City for review and approval.
4. The landscaping shall be maintained in a manner as to ensure plant survival for three years after installation. Installation must occur prior to final site construction approval. If plantings fail to survive, they must be replaced promptly.
5. Applicant shall revise landscape drawings to include an irrigation plan in accordance with Camas Design Standards Manual. Watering system shall be shown on final site improvement drawings and must be installed prior to receiving final site construction approval.
6. Applicant shall provide vinyl coated chain link fencing.
7. The applicant shall ensure that trees are a minimum caliper of 2" at time of installation.

North Shore Sewer Transmission System (NS-STS) City of Camas, Washington

Request for
Conditional Use Permit
Design Review
Site Plan Review

Prepared for
City of Camas

Prepared by
Otak, Inc.



HanmiGlobal Partner

November 18, 2016
Resubmitted December 30, 2016
Otak Project No. 17628A

REQUESTS

Conditional Use Permit, Design Review, and Site Plan Review approval is requested for the Camas North Shore Sewer Transmission System project (NS-STS) Leadbetter Road Pump Station.

Design Review and Site Plan Review approval is requested for the NE 232nd Avenue Pump Station and the new Pedestrian Bridge.

The project affects various properties along the north shore of Lacamas Lake, and includes the construction of a system that includes upgrades to one pump station, construction of two new pump stations, force mains, gravity sewer pipelines, and associated infrastructure to convey wastewater to the City's existing gravity sewer system in the Hilltop neighborhood south of Lacamas Lake. The project also includes the installation of a pedestrian bridge over the Lacamas/Round Lake channel, construction of a 12-inch waterline to support a new school planned by the Camas School district and to support further development within the North Shore Area.

SITE INFORMATION

**SUBJECT
PROPERTY:** 232nd Avenue Pump Station: 618 NE 232nd Avenue (Parcel 175929000)

Leadbetter Road Pump Station: No situs (Parcel 177906000)

Pedestrian Bridge: 308 NE 35th Avenue (Parcel 124242000) and Parcel 124289000

**ZONING
DESIGNATIONS:** 232nd Avenue Pump Station: Clark County Public Facilities Zone PF; Urban Reserve – 20 Overlay (UR-20)

Leadbetter Road Pump Station: City of Camas Residential Zone R-7.5; Airport Overlay Zone C

Pedestrian Bridge: City of Camas Open Space Zone OS

APPLICANT/PROPERTY OWNER

APPLICANT(S): City of Camas
616 NE 4th Avenue
Camas, WA 98607

Contact: Sam Adams, Project Manager
(360) 817-1563
sadams@cityofcamas.us

OWNER(S): City of Camas
616 NE 4th Avenue
Camas, WA 98607

Clark County Parks
4700 NE 78th Street
Vancouver, WA 98665

CJ Dens Lacamas I LLC
PO Box 2239
Vancouver, WA 98625

PROJECT DEVELOPMENT TEAM

APPLICANT'S
REPRESENTATIVE: Otak, Inc.
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LANDSCAPE
ARCHITECT: Otak, Inc.
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Note: All plan sheets are also separately bound in a larger format within the development application submittal.

I. REQUESTS

Conditional Use Permit, Design Review, and Site Plan Review approval is requested for the facilities listed below that are part of the larger Camas North Shore Sewer Transmission System project (NS-STTS). The project affects various properties along the north shore of Lacamas Lake, and includes the construction of a system that includes upgrades to one pump station, construction of two new pump stations, force mains, gravity sewer pipelines, and associated infrastructure to convey wastewater to the City's existing gravity sewer system in the Hilltop neighborhood south of Lacamas Lake. The project also includes the installation of a pedestrian bridge over the Lacamas/Round Lake channel, construction of a 12-inch waterline to support a new school planned by the Camas School district and to support further development within the North Shore Area.

Conditional Use Permit review is required for the Leadbetter Road Pump Station due to its location within a residential zone. "Pump station" uses are conditionally permitted in the residential zones.

Design Review is required for the NE 232nd Avenue Pump Station, which is located in Clark County's Public Facilities Zone PF; the Leadbetter Road Pump Station, which is located in the City of Camas' Residential Zone R-7.5; and the pedestrian bridge, which is located within Clark County's Open Space Zone OS and within the Gateway Corridor Overlay Zone GC.

Site Plan Review is required for two pump stations and the pedestrian bridge because they are new nonresidential structures.

II. PROJECT DESCRIPTION

A. Overview

The Camas North Shore-Sewer Transmission System (NS-NTS) project involves the construction of a system that includes upgrades to one pump station, construction of two new pump stations, force mains, gravity sewer pipelines, and associated infrastructure to convey wastewater to the City's existing gravity sewer system in the Hilltop neighborhood south of Lacamas Lake. The project also includes the installation of a pedestrian bridge over the Lacamas/Round Lake channel, construction of a 12-inch waterline to support a new school planned by the Camas School district and to support further development within the North Shore Area. See Figure 1 for a system map.

The NE 232nd Avenue pump station contains a canopy structure of 200 square feet in area, and the Leadbetter Road pump station includes a canopy structure of 250 square feet in area. The NE 232nd Avenue pump station includes 5,993 square feet of impervious surface, and the Leadbetter Road pump station includes 4,939 square feet of impervious surface. The pedestrian bridge site includes 1,500 square feet of impervious area.

Legend

- Pump Stations
- NUGA-STS Alignment
- Roads
- Streams
- Political Boundaries**
 - Carmus City
 - Carmus UGA
 - County/Other City

Map Labels: Goodwin Rd PS, 232nd Ave PS, Leadbetter Rd PS, LEADBETTER LAKE, DRESSER, 13TH, 15TH, 20TH, 35TH, 3RD, 28TH, 26TH, 24TH, 22ND, 28TH, 3RD, 6TH, 10TH, 12TH, 14TH, 16TH, 18TH, 20TH, 22ND, 24TH, 26TH, 28TH, 3RD, 5TH, 7TH, 9TH, 11TH, 13TH, 15TH, 17TH, 19TH, 21ST, 23RD, 25TH, 27TH, 29TH, 31ST, 33RD, 35TH, 37TH, 39TH, 41ST, 43RD, 45TH, 47TH, 49TH, 51ST, 53RD, 55TH, 57TH, 59TH, 61ST, 63RD, 65TH, 67TH, 69TH, 71ST, 73RD, 75TH, 77TH, 79TH, 81ST, 83RD, 85TH, 87TH, 89TH, 91ST, 93RD, 95TH, 97TH, 99TH, 101ST, 103RD, 105TH, 107TH, 109TH, 111ST, 113RD, 115TH, 117TH, 119TH, 121ST, 123RD, 125TH, 127TH, 129TH, 131ST, 133RD, 135TH, 137TH, 139TH, 141ST, 143RD, 145TH, 147TH, 149TH, 151ST, 153RD, 155TH, 157TH, 159TH, 161ST, 163RD, 165TH, 167TH, 169TH, 171ST, 173RD, 175TH, 177TH, 179TH, 181ST, 183RD, 185TH, 187TH, 189TH, 191ST, 193RD, 195TH, 197TH, 199TH, 201ST, 203RD, 205TH, 207TH, 209TH, 211ST, 213RD, 215TH, 217TH, 219TH, 221ST, 223RD, 225TH, 227TH, 229TH, 231ST, 233RD, 235TH, 237TH, 239TH, 241ST, 243RD, 245TH, 247TH, 249TH, 251ST, 253RD, 255TH, 257TH, 259TH, 261ST, 263RD, 265TH, 267TH, 269TH, 271ST, 273RD, 275TH, 277TH, 279TH, 281ST, 283RD, 285TH, 287TH, 289TH, 291ST, 293RD, 295TH, 297TH, 299TH, 301ST, 303RD, 305TH, 307TH, 309TH, 311ST, 313RD, 315TH, 317TH, 319TH, 321ST, 323RD, 325TH, 327TH, 329TH, 331ST, 333RD, 335TH, 337TH, 339TH, 341ST, 343RD, 345TH, 347TH, 349TH, 351ST, 353RD, 355TH, 357TH, 359TH, 361ST, 363RD, 365TH, 367TH, 369TH, 371ST, 373RD, 375TH, 377TH, 379TH, 381ST, 383RD, 385TH, 387TH, 389TH, 391ST, 393RD, 395TH, 397TH, 399TH, 401ST, 403RD, 405TH, 407TH, 409TH, 411ST, 413RD, 415TH, 417TH, 419TH, 421ST, 423RD, 425TH, 427TH, 429TH, 431ST, 433RD, 435TH, 437TH, 439TH, 441ST, 443RD, 445TH, 447TH, 449TH, 451ST, 453RD, 455TH, 457TH, 459TH, 461ST, 463RD, 465TH, 467TH, 469TH, 471ST, 473RD, 475TH, 477TH, 479TH, 481ST, 483RD, 485TH, 487TH, 489TH, 491ST, 493RD, 495TH, 497TH, 499TH, 501ST, 503RD, 505TH, 507TH, 509TH, 511ST, 513RD, 515TH, 517TH, 519TH, 521ST, 523RD, 525TH, 527TH, 529TH, 531ST, 533RD, 535TH, 537TH, 539TH, 541ST, 543RD, 545TH, 547TH, 549TH, 551ST, 553RD, 555TH, 557TH, 559TH, 561ST, 563RD, 565TH, 567TH, 569TH, 571ST, 573RD, 575TH, 577TH, 579TH, 581ST, 583RD, 585TH, 587TH, 589TH, 591ST, 593RD, 595TH, 597TH, 599TH, 601ST, 603RD, 605TH, 607TH, 609TH, 611ST, 613RD, 615TH, 617TH, 619TH, 621ST, 623RD, 625TH, 627TH, 629TH, 631ST, 633RD, 635TH, 637TH, 639TH, 641ST, 643RD, 645TH, 647TH, 649TH, 651ST, 653RD, 655TH, 657TH, 659TH, 661ST, 663RD, 665TH, 667TH, 669TH, 671ST, 673RD, 675TH, 677TH, 679TH, 681ST, 683RD, 685TH, 687TH, 689TH, 691ST, 693RD, 695TH, 697TH, 699TH, 701ST, 703RD, 705TH, 707TH, 709TH, 711ST, 713RD, 715TH, 717TH, 719TH, 721ST, 723RD, 725TH, 727TH, 729TH, 731ST, 733RD, 735TH, 737TH, 739TH, 741ST, 743RD, 745TH, 747TH, 749TH, 751ST, 753RD, 755TH, 757TH, 759TH, 761ST, 763RD, 765TH, 767TH, 769TH, 771ST, 773RD, 775TH, 777TH, 779TH, 781ST, 783RD, 785TH, 787TH, 789TH, 791ST, 793RD, 795TH, 797TH, 799TH, 801ST, 803RD, 805TH, 807TH, 809TH, 811ST, 813RD, 815TH, 817TH, 819TH, 821ST, 823RD, 825TH, 827TH, 829TH, 831ST, 833RD, 835TH, 837TH, 839TH, 841ST, 843RD, 845TH, 847TH, 849TH, 851ST, 853RD, 855TH, 857TH, 859TH, 861ST, 863RD, 865TH, 867TH, 869TH, 871ST, 873RD, 875TH, 877TH, 879TH, 881ST, 883RD, 885TH, 887TH, 889TH, 891ST, 893RD, 895TH, 897TH, 899TH, 901ST, 903RD, 905TH, 907TH, 909TH, 911ST, 913RD, 915TH, 917TH, 919TH, 921ST, 923RD, 925TH, 927TH, 929TH, 931ST, 933RD, 935TH, 937TH, 939TH, 941ST, 943RD, 945TH, 947TH, 949TH, 951ST, 953RD, 955TH, 957TH, 959TH, 961ST, 963RD, 965TH, 967TH, 969TH, 971ST, 973RD, 975TH, 977TH, 979TH, 981ST, 983RD, 985TH, 987TH, 989TH, 991ST, 993RD, 995TH, 997TH, 999TH, 1001ST, 1003RD, 1005TH, 1007TH, 1009TH, 1011ST, 1013RD, 1015TH, 1017TH, 1019TH, 1021ST, 1023RD, 1025TH, 1027TH, 1029TH, 1031ST, 1033RD, 1035TH, 1037TH, 1039TH, 1041ST, 1043RD, 1045TH, 1047TH, 1049TH, 1051ST, 1053RD, 1055TH, 1057TH, 1059TH, 1061ST, 1063RD, 1065TH, 1067TH, 1069TH, 1071ST, 1073RD, 1075TH, 1077TH, 1079TH, 1081ST, 1083RD, 1085TH, 1087TH, 1089TH, 1091ST, 1093RD, 1095TH, 1097TH, 1099TH, 1101ST, 1103RD, 1105TH, 1107TH, 1109TH, 1111ST, 1113RD, 1115TH, 1117TH, 1119TH, 1121ST, 1123RD, 1125TH, 1127TH, 1129TH, 1131ST, 1133RD, 1135TH, 1137TH, 1139TH, 1141ST, 1143RD, 1145TH, 1147TH, 1149TH, 1151ST, 1153RD, 1155TH, 1157TH, 1159TH, 1161ST, 1163RD, 1165TH, 1167TH, 1169TH, 1171ST, 1173RD, 1175TH, 1177TH, 1179TH, 1181ST, 1183RD, 1185TH, 1187TH, 1189TH, 1191ST, 1193RD, 1195TH, 1197TH, 1199TH, 1201ST, 1203RD, 1205TH, 1207TH, 1209TH, 1211ST, 1213RD, 1215TH, 1217TH, 1219TH, 1221ST, 1223RD, 1225TH, 1227TH, 1229TH,

B. Pump Stations

- Asphalt paving in areas subject to vehicular traffic
- Gravel surfacing for areas between concrete pads and between concrete pads and the site fence
- Landscape screening
- Site fencing and gates
- Bollards to protect above grade equipment such as pig launchers and tanks from vehicles
- A roof canopy over the electrical control pad to provide protection from the elements

- Site lighting. Site lights will be on aluminum poles and LED type fixtures. Lighting shall be a minimum 30 foot-candles (FC) in front of electrical equipment and near process equipment and 0.1 to 1 FC for site lighting. Lighting under the electrical canopies will be LED.
- Odor control facilities to minimize off-site impacts
- Emergency Generators

Details of the individual pump stations are provided below.

NE 232nd Avenue Pump Station

This station will be located on Clark County property within the limits of Camp Currie, on the west side of NE 232nd Avenue (addressed as 618 NE 232nd Avenue, parcel 175929000) just north of Leadbetter Road. The City has received a license agreement from Clark County to install the pump station on this property. The site is located within the Clark County Public Facilities Zone PF. The station site is 3,314 square feet and will be heavily screened with vegetation and enclosed by a 6-foot wood fence to preserve the rural camp environment aesthetic. The pump station is located on a site designated as “open space and park” and is subject to additional setback and screening requirements. See Sheets P2 through P4 for details.

Leadbetter Road Pump Station

This station will be located on the north side of Leadbetter Road approximately 1,500 feet west of NE Everett Street (parcel 177906000). This is on property currently owned by CJ Dens and located in the R-7.5 zone and the Airport Overlay – Zone C. A parcel containing the pump station and a stormwater facility will be created and dedicated to the City in the future. The station site is 5,605 square feet in area. The pump station is located in a residential zone and requires a Conditional Use permit. See Sheets P5 through P7 for details.

The pump station will be accessed from new roadways proposed for the CJ Dens development, and the pump station shares a site with the developer’s stormwater facility. The entrance to the pump station will be gated.

C. New Pedestrian Bridge

A new bridge for pedestrian access to Lacamas Park will be constructed over the Lacamas Lake-Round Lake Channel east of the Everett Street Bridge. The bridge will also hold one sanitary sewer force main.

The south side of the proposed pedestrian bridge will be located on Clark County property before returning to the Everett Street right of way. The City has received a license agreement with the County to install the bridge on this property.

The bridge will cross the Lacamas Road-Round Lake channel at the northeastern end of the lake. The bridge is approximately 150 feet in length and 9 feet 6 inches wide, and will be constructed of steel with a concrete deck. It will be accessed via a 10-foot wide asphalt pathway from the north and a 10-foot wide asphalt pathway connecting to an existing 8-foot asphalt pathway to south. Both access pathways and the bridge deck will comply with the Americans with Disabilities Act (ADA). A 6-foot chain link fence is proposed along the eastern side of the

northern path to prevent access to the existing water treatment facility to the east. See Sheet P8 for details.

No vehicular access is proposed to the new pedestrian bridge. The bridge will allow connection to the Lacamas Lake trail system on the south and to Everett Street and the park's overflow parking lot on the north.

III. COMPLIANCE WITH TITLE 18 ZONING

Applicable approval criteria are addressed below. The criteria are included in *italics* and the response follows each section or group of sections.

A. Chapter 18.07 Use Authorization

18.07.040 - Table 2— Residential and multifamily land uses.

The Leadbetter Road Pump Station is located in the R-7.5 Zone. Subsection 18.07.040 lists "Pumping station" under Communications and Utilities as a Conditional Use in the R-7.5 zone. This pump station is subject to Type III Conditional Use approval.

18.07.050 - Park and open space land uses.

The NE 232nd Ave pump station is located in the OS Zone. This section lists "Pumping station" under Utility Uses as a Permitted Use in the OS Zone. The pedestrian bridge is located in the OS Zone and serves as both a pedestrian trail and a public utility. This section lists "Pedestrian and multi-use trails" and "Public utilities, minor" as permitted uses in the OS Zone.

B. Chapter 18.09 Density and Dimensions

The Leadbetter Road pump station is located in the R-7.5 Zone. Subsection 18.09.030 contains the development standards for sites in the residential zones. The applicable standards of the R-7.5 Zone are listed in Table 1 below. This is a new tract that will be dedicated to the city, and property lines will be created to meet these standards.

Table 1. Compliance with R-7.5 Zone Standards

Relevant Standard	Required	Proposed
Maximum Building Lot Coverage	40%	~1%
Maximum Building Height	35 ft	13 ft 6 in ¹
Minimum Front Yard Setback	20 ft	23.4 ft
Minimum Side Yard Setback	5 ft	Exceeds 5 ft
Minimum Street Side Yard Setback	20 ft	Exceeds 20 ft
Minimum Rear Yard Setback	25 ft	Exceeds 25 ft

¹ As measured from roof ridge to slab.

The NE 232nd Avenue pump station and pedestrian bridge are subject to the standards of 18.32 Park and Open Space Zoning, which is addressed later in this narrative.

C. Chapter 18.11 Parking

[...]

18.11.020 - Design.

The design of off-street parking shall be as follows:

A. Ingress and Egress. The location of all points of ingress and egress to parking areas shall be subject to the review and approval of the city.

[...]

C. Parking Spaces—Access and Dimensions. Adequate provisions shall be made for individual ingress and egress by vehicles to all parking stalls at all times by means of unobstructed maneuvering aisles. The city is directed to promulgate and enforce standards for maneuvering aisles and parking stall dimensions, and to make such standards available to the public.

D. Small Car Parking Spaces. A maximum of thirty percent of the total required parking spaces may be reduced in size for the use of small cars, provided these spaces shall be clearly identified with a sign permanently affixed immediately in front of each space containing the notation "compacts only." Spaces designed for small cars may be reduced in size to a minimum of eight feet in width and fifteen feet in length. Where feasible, all small car spaces shall be located in one or more contiguous areas and/or adjacent to ingress/egress points within parking facilities. Location of compact car parking spaces shall not create traffic congestion or impede traffic flows.

Response: The pump station will require access by maintenance vehicles, and generally no more than two vehicles will be on-site at any time. No parking spaces have been provided, but asphalt areas are being provided to allow maintenance vehicle access to equipment and facilities. Adequate access and turning movements for these vehicles has been provided.

The pedestrian bridge will require infrequent access by maintenance vehicles, which are anticipated to park in the adjacent parking lot. No dedicated parking has been provided.

18.11.030 - Location.

Off-street facilities shall be located as hereafter specified. Such distance shall be the maximum walking distance measured from the nearest point of the parking facility to the nearest point of the building that such facility is required to serve:

A. For single-family or two-family dwelling and motels: on the same lot with the structure they are required to serve.

B. For multiple dwelling, rooming or lodging house: two hundred feet.

C. For hospital, sanitarium, home for the aged, or building containing a club: three hundred feet.

D. For uses other than those specified above: four hundred feet.

Response: This requirement is not applicable to this project.

D. Chapter 18.13 Landscaping

18.13.020 - Scope.

Landscaping standards shall apply to all new multifamily, commercial, industrial and governmental uses, including change of use, and parking lots of four spaces or more. For conditional uses permitted in residential and multifamily districts, such as churches, schools, civic organizations, etc., the standards for landscaping will be the same as the landscaping standards in community commercial zones.[...]

Response: The NE 232nd Avenue pump station is a permitted utility use, and is subject to these standards.

The Leadbetter Road Pump Station is permitted as a conditional use in residential districts, and is subject to the standards for landscaping in community commercial zones.

18.13.040 - Procedure.

Detailed plans for landscaping shall be submitted with plans for building and site improvements. Included in the plans shall be type and location of plants and materials.

Response: The landscaping plan is included as Sheets P3, P6 and P9.

18.13.050 - Landscaping tandards.

A. The property owner shall be responsible for any future damage to a street, curb, or sidewalk caused by landscaping.

Response: The city will be responsible for any potential future damage.

B. Landscaping shall be selected and located to deter sound, filter air contaminants, curtail erosion, minimize stormwater run-off, contribute to living privacy, reduce the visual impacts of large buildings and paved areas, screen, and emphasize or separate outdoor spaces of different uses or character.

Response: Landscaping has been designed to meet the above requirements. The primary focus of the landscaping at the NE 232nd Avenue and Leadbetter Road pump stations is to provide proper screening as required.

C. Plants that minimize upkeep and maintenance shall be selected.

D. Plants shall complement or supplement surrounding natural vegetation.

E. Plants chosen shall be in scale with building development.

Response: Where possible, native plants have been selected, balancing the ability to use native species with the requirement to meet screening criteria. Plants and trees selected for use at the NE 232nd Pump Station were reviewed with Clark County Park staff, as they are the adjacent property owners, and plant species were adjusted to address their comments. They have since reviewed and approved the landscaping plan for that site. Landscaping will be provided on each of the pedestrian bridge, and existing landscaping will be protected to the extent possible. See Sheets P3, P6 and P9.

F. Minimum landscaping as a percent of gross site area shall be as follows:

- *OS Zone (NE 232nd Ave station and pedestrian bridge): No minimum requirements*
- *CC Zone (Leadbetter Road pump station): 10% of gross site area must be landscaped*

Response: Approximately 90 percent of the gross site area for the Leadbetter Road Pump Station contains landscaping.

G. Deciduous trees shall have straight trunks, be fully branched, have a minimum caliper of one and one-half inches, be equivalent to a fifteen-gallon container size, and be adequately staked for planting.

H. Evergreen trees shall be a minimum of five feet in height, fully branched, and adequately staked for planting.

I. Shrubs shall be a minimum of five-gallon pot size. Upright shrubs shall have a minimum height at planting of eighteen inches. Spreading shrubs at planting shall have a minimum width of eighteen inches (smaller shrub sizes may be approved where it is more appropriate within a particular landscape plan).

J. Ground cover, defined as living material and not including bark chips or other mulch, shall at planting, have a maximum spacing of twelve inches on center for flats, and a maximum twenty-four inches on center between mature plants from containers of one gallon or larger.

Response: Trees will be evergreen species to more effectively meet screening requirements and specification will call for 6-7-foot tall stock that have fully branched form. Sheet P6 specifies minimum dimensions and/or container sizes for shrubs and groundcover plants in accordance with code provisions.

K. Appropriate measures shall be taken, e.g., installations of watering systems, to assure landscaping success. If plantings fail to survive, it is the responsibility of the property owner to replace them.

Response: The bid documents will include a 2-year plant establishment period for all landscaping. The contractor will be responsible for all watering during that time period. The City will take responsibility following the plant establishment period.

L. Trees shall not be planted closer than twenty-five feet from the curb line of the intersections of streets or alleys, and not closer than ten feet from private driveways (measured at the back edge of the sidewalk), fire hydrants, or utility poles.

Response: As shown in Sheets P3, P6 and P9 trees planned for this project are over 25 feet

from the curb line of intersections and over 10 feet from private driveways, fire hydrants, and utility poles.

M. Street trees shall not be planted closer than twenty feet to light standards. Except for public safety, no new light standard location should be positioned closer than ten feet to any existing street tree, and preferably such locations will be at least twenty feet distant.

Response: This project does not trigger frontage improvements or the provision of street trees, and no street trees are proposed for this project.

N. Trees shall not be planted closer than two and one-half feet from the face of the curb except at intersections, where it should be five feet from the curb in a curb return area.

Response: As shown in Sheets P3, P6 and P9, no trees are planned within 2.5 feet of any curb.

O. Where there are overhead power lines, tree species that will not interfere with those lines shall be chosen.

Response: No trees are proposed under power lines.

P. Trees shall not be planted within two feet of any permanent hard surface paving or walkway. Sidewalk cuts in concrete for trees shall be at least four feet by four feet; however, larger cuts are encouraged because they allow additional area and water into the root system and add to the health of the tree. Space between the tree and such hard surface may be covered by permeable nonpermanent hard surfaces such as grates, bricks on sand, paved blocks, cobblestones, or ground cover.

Response: All proposed trees are over 2 feet from any permanent hard surface. No trees are proposed near sidewalks.

Q. Trees, as they grow, shall be pruned to their natural form to provide at least eight feet of clearance above sidewalks and twelve feet above street roadway surfaces.

Response: All proposed trees are over 2 feet from any permanent hard surface. No trees are proposed near sidewalks.

R. Existing trees may be used as street trees if there will be no damage from the development which will kill or weaken the tree. Sidewalks of variable width and elevation may be utilized to save existing street trees, subject to approval by the city.

Response: Street trees are not proposed for this project.

S. Vision clearance hazards shall be avoided.

Response: Vision clearance hazards have been avoided for this site.

18.13.060 - Parking areas.

- B. All parking areas shall provide interior landscaping for shade and visual relief.*
- C. Parking lots shall have a minimum ratio of one tree per six double-loaded stalls or one tree per three single-loaded stalls (See Figure 18.13-1).*

Response: This project does not include any parking areas.

E. Chapter 18.18 Site Plan Review

Section 18.18.020 - Applicability.

A. Site plan review and approval shall be required for the following development activities prior to issuance of a building permit:

- 1. All new nonresidential uses for the location of any building(s);*
- 2. Any multifamily development in which more than two dwelling units would be contained;*
- 3. The expansion of any building or development as defined in CMC Section 18.18.020(A) exceeding twenty percent of the existing floor or site area, or any one thousand square foot addition, or increase in impervious coverage thereto, whichever is lesser.*

Response: City staff has indicated that the two pump stations and the pedestrian bridge meet these criteria and require site plan review.

18.18.030 - Site plans and review procedures.

A. Any use that is subject to the requirements for a site plan review shall be processed in accordance with the procedures established under CMC Chapter 18.55 Administration and Procedures for Type II project permit applications.

B. Site plan review and approval shall be required prior to issuance of grading or other building permits.

Response: The proposed use is subject to site plan review and will be processed as a Type II permit. The request is being submitted concurrently with a Type III Conditional Use application to permit the Leadbetter Road station, and will be processed according to Type III procedures.

18.18.040 - Submittal and contents of a complete application.

In addition to the submittal requirements under CMC Chapter 18.55 Administration and Procedures, each application for site plan review shall contain the following information. Items may be waived if, in the judgment of the community development department, the items are not applicable to the particular proposal.

- A. A written description addressing the scope of the project, the nature and size in gross floor area of each use, and the total amount of square feet to be covered by impervious surfaces;*

Response: The submitted narrative includes this information.

B. *A vicinity map showing site boundaries, and existing roads and accesses within and bounding the site;*

Response: A vicinity map showing site boundaries and existing roads and accesses within and bounding the site is included as Sheet P1.

C. *A topographic map based upon a site survey delineating contours, existing and proposed, at no less than five-foot intervals, and which locates existing streams, marshes, and other natural features;*

Response: A site survey was conducted in early 2016. A topographic map based on that site survey and showing the required information is included as Sheets P10 through P19.

D. *Site plans drawn to a scale no smaller than one inch equals fifty feet showing location and size of uses, buffer areas, proposed areas of disturbance or construction outside of the building footprint, yards, open spaces and landscaped areas, and any existing structures, easements and utilities;*

Response: A site plan at a scale of 1":20' and showing the required information is included as Sheets P2, P5 and P8.

E. *A circulation plan drawn to a scale acceptable to the community development director illustrating all access points for the site, the size and location of all driveways, streets, and roads, with proposed width and outside turning radius, the location, size, and design of parking and loading areas, and existing and proposed pedestrian circulation system. If a project would generate more than one hundred average daily trips either based on the latest edition of the International Transportation Engineer's (ITE) Trip Generation Manual or evidence substantiated by a professional engineer licensed in the state of Washington with expertise in traffic engineering, a traffic impact study shall be submitted;*

Response: A circulation plan including the required information is included as Sheets P2 and P5.

Each pump station site has been provided access and parking suitable for the use, which will be for maintenance vehicles. The pedestrian bridge is accessible by maintenance vehicles and is located adjacent to an existing parking lot. The NE 232nd Avenue Pump Station will have a "hammerhead" for turning around. Because of the steep elevations, the Leadbetter Road Pump Station will not have a hammerhead, and maintenance vehicles will back in or out of the short drive. City maintenance staff have been involved in the development of the access roads.

The NE 232nd Avenue Pump Station will be accessed using a new paved entrance off of NE 232nd Ave.

The Leadbetter Road Pump Station will be accessed from a new roadway proposed for the CJ Dens development, approximately 1,200 feet northwest of Adams Street. The pump station will share a tract with the developer's stormwater facility.

The pedestrian bridge will be accessed via the existing parking lot and circulation system to the south.

The pedestrian bridge will be accessed via the existing parking lot and circulation system to the south.

The project is a public infrastructure project and is not listed as a land use in the ITE Trip Generation Manual. Because there are no employees on site and vehicular trips to and from the site occur infrequently for maintenance and repairs, it is reasonable to assume that the pump stations will collectively generate fewer than 100 average daily trips, and a traffic impact study is not required.

F. A preliminary drainage and stormwater runoff plan;

Response: Preliminary drainage and stormwater runoff plans for the NE 232nd Avenue and Leadbetter Road pump stations are included as Sheets P19 and P20.

G. A utility plan;

Response: A utility plan is included as Sheets P2 and P5. The proposed project is a sewer utility, and includes water lines for a portion of the project. Each pump station site is served by water and electricity.

H. A plot plan of all proposed landscaping including the treatment and materials used for open spaces, and the types of plants and screening to be used;

Response: A landscaping plan including the required information is included as Sheets P3, P6 and P9. No open space is proposed as part of the project. Landscape screening will be installed at each pump station, with additional screening provided for the NE 232nd Avenue Pump Station to meet open space and park standards.

I. Typical building elevation and architectural style; and

Response: The project will install equipment canopies at the 232nd Avenue and Leadbetter Road pump stations, which cover some of the mechanical components of the site. The design of these canopies is illustrated on Sheets P4 and P7. In addition, although the majority of the pump station structures are below ground, there are some aboveground components. Visible components vary by station and include bio-filter fans, surge tanks; compressors within noise enclosures; chemical storage tanks and associated infrastructure; pig launchers; and piping.

The new pedestrian bridge will be consist of a steel structure and a concrete deck and will be pre-fabricated and delivered to the site in pieces. See Sheet P8.

J. An engineer estimate of costs for site improvements, both public and private.

Response: An engineer's estimate of the cost of the proposed improvements is attached as Appendix F.

18.18.060 - Criteria for approval.

The city shall consider approval of the site plans with specific attention to the following:

A. Compatibility with the city's comprehensive plan;

Response: Applicable policies of the City's Comprehensive Plan are contained in Chapter 5 Public Facilities and Services. Compatibility with those policies is addressed below. This criterion is met.

B. Compliance with all applicable design and development standards contained in this title and other applicable regulations;

Response: The proposed pump stations are categorized as "Pumping station" use in Chapter 18.07 Use Authorization, and the pedestrian bridge is both a "Pedestrian and multiuse path" and a "Public utility." "Pumping station" uses are permitted in the R-7.5 zone as a Conditional Use. Subsection 18.07.050 identifies the uses permitted in the City's park and open space zones. "Pumping station," "Pedestrian and multiuse path," and "Public utility" uses are permitted outright in the OS Zone.

The Leadbetter Road Pump Station is located in the R-7.5 Zone and is subject to the standards of Subsection 18.09.040 Table 2. The standards of that subsection are addressed in this narrative.

The NE 232nd Avenue Pump Station and the new pedestrian bridge are located in the County's PF Zone and the City's OS Zone, respectively, and are subject to the standards of Subsection 18.32.030. The standards of that subsection are addressed in this narrative.

The pump stations and the pedestrian bridge are also subject to Chapter 18.18 Design Review. Compliance with that chapter is addressed below.

This criterion is met.

C. Availability and accessibility of adequate public services such as roads, sanitary and storm sewer, and water to serve the site at the time development is to occur, unless otherwise provided for by the applicable regulations;

Response: The proposed project will provide sanitary sewer services to sites throughout the project area. The required roads, water, and electricity to serve the development is available and accessible. This criterion is met.

D. Adequate provisions are made for other public and private services and utilities, parks and trails (e.g., provide copies of private covenant documents);

Response: Portions of the project alignment also include water pipes to serve current and future development adjacent to the sewer alignment. In addition, a portion of the T-3 Trail System will be dedicated and constructed as part of the project. This criterion is met.

E. Adequate provisions are made for maintenance of public utilities; and

Response: The project will be under the jurisdiction of the City of Camas and will be maintained by the City. This criterion is met.

F. All relevant statutory codes, regulations, ordinances and compliance with the same. The review and decision of the city shall be in accordance with the provisions of CMC Chapter 18.55 Administration and Procedures.

Response: Compliance with all relevant statutory codes, regulations, and ordinances are addressed within this narrative. The review and decision shall be completed in accordance with the provisions of CMC Chapter 18.55 Administration and Procedures. This criterion is met.

18.18.080 - Duration of approval.

Construction on the project must commence within twenty-four months from the date of final action by the city; otherwise, the approval of the project becomes null and void.

Response: Construction on the project is anticipated to begin in Spring 2017, within 24 months of the anticipated date of final action by the city.

F. Chapter 18.19 Design Review

18.19.020 - Scope.

Design review is required for all new developments within commercial, mixed-use, business park, or multifamily zones, redevelopment (including change in use, e.g., residential to commercial), or major rehabilitation (exterior changes requiring a building permit or other development permit). Commercial uses in the context of design review include both traditional uses listed as commercial under the zoning code as well as recreational, religious, cultural, educational, and governmental buildings and associated properties. Additionally, design review is applicable to all new developments or redevelopments within a gateway area as defined in the design review manual.

Response: The proposed pump stations and pedestrian bridge are new development and are subject to Minor Design Review.

18.19.030 - Design review manual adopted.

The city's design standards are primarily contained in the design review manual, which was adopted by the city.

18.19.050 - Design principles.

The principles as provided in the DDM or DRM are mandatory and must be demonstrated to have been satisfied in overall intent in order for approval of a design review application to be granted. Standard principles shall apply to all commercial, mixed use, or multifamily uses. Specific principles are used in addition to the standard principles for gateways and corridors, commercial, mixed uses, and multifamily (e.g. apartments, townhouses, duplexes).

A. Standard Principles.

- 1. Landscaping shall be done with a purpose. It shall be used as a tool to integrate the proposed development into the surrounding environment.*
- 2. All attempts shall be made at minimizing the removal of significant natural features. Significant natural*

- features shall be integrated into the overall site plan.*
3. *Buildings shall have a "finished" look. Any use of panelized materials shall be integrated into the development in a manner that achieves a seamless appearance.*
 4. *A proposed development shall attempt to incorporate or enhance historic/ heritage elements related to the specific site or surrounding area.*

Response: Per City staff, the proposed pump stations and pedestrian bridge are subject to the general principles and guidelines of the Design Review Manual. Compliance with the Standard Principles & Guidelines is described in Table 2.

18.19.060 - Guidelines.

A. *The guidelines include five major categories:*

1. *Landscaping and screening;*
2. *Architecture;*
3. *Massing and setbacks;*
4. *Historic and heritage preservation; and*
5. *Circulation and connections.*

B. *Each of the major guidelines include subcategories. Compliance with the guideline categories and subcategories demonstrate compliance with the principles. However, not every guideline may be deemed applicable, and therefore required, by the approval authority. Additionally, the approval authority may approve a variance from one or more guidelines, provided the overall intent of the principles is satisfied. [...]*

Response: Per City staff, the proposed pump stations are subject to the general principles and guidelines of the Design Review Manual. Compliance with the Standard Principles & Guidelines is described in Table 2.

Table 2. Compliance with Design Review Manual

Standard Design Principles & Guidelines	Principle/Guideline	Applicant Response
Standard Design Principles		
	1. <i>Landscaping shall be done with a purpose. It shall be used as a tool to integrate the proposed development into the surrounding environment.</i>	The landscaping at each pump station is intended to provide a soft transition between the pump station structures and open area surrounding them. The landscaping at each site is unique and intended to reflect the surrounding environment. Some landscaping is proposed for each end of the pedestrian bridge, and it will be a functioning public trail.
	2. <i>All attempts shall be made at minimizing the removal of significant natural features. Significant natural features shall be integrated into the overall site plan.</i>	No significant natural features exist on the pump station sites or the pedestrian bridge site.

Standard Design Principles & Guidelines	Principle/Guideline	Applicant Response
	3. <i>Buildings shall have a "finished" look. Any use of panelized materials shall be integrated into the development in a manner that achieves a seamless appearance.</i>	The proposed canopy structures will be constructed of wood-clad metal supports and a gabled roof with cementitious shingles. No panelized materials are proposed. The proposed bridge will be constructed of concrete and steel.
	4. <i>A proposed development shall attempt to incorporate or enhance historic/heritage elements related to the specific site or surrounding area.</i>	The 232 nd Avenue/Camp Currie pump station is located within the Camp Currie site. The pump station will be enclosed with a wooden fence to reflect the rustic park environment.
Standard Design Guidelines		
Landscaping & Screening		
	<i>Landscaping and screening is an important factor in determining the overall character of the building site. Landscaping should be done with purpose, such as providing a buffer against less intense uses, screening parking or other components viewed as being intrusive, and defining the streetscape.</i>	Landscaping and screening is proposed for each pump station site in order to provide a visual buffer from public rights-of-way (streets and trails) and nearby development.
	<i>Signage should be placed on buildings or incorporated into the landscaping. If signs are illuminated, then they shall be front lit (light cast onto the face of the sign from a source positioned in front of the sign). Signage in the landscaping should be built in to the vegetation to keep it from being the main focus – similar to the light industrial zones. Efforts should be made to make signs vandal resistant. The intent is for the landscape not to be dominated by signage as well as to soften the visual impact. (see exhibit 1)</i>	No new signage is proposed.
	<i>Outdoor furnishings, when used, should be compatible with the immediate environment.</i>	No outdoor furnishings are proposed.

<i>Standard Design Principles & Guidelines</i>	<i>Principle/Guideline</i>	<i>Applicant Response</i>
	<i>If the site is to be fenced, then the fencing should be incorporated into the landscaping so as to have little or no visual impact. (see exhibit 2)</i>	<p>Fencing is proposed for each of the pump station sites and the pedestrian bridge site.</p> <p>The 232nd Avenue Pump Station will be enclosed with a wood fence to reflect the rustic surroundings. See Sheet P4 for details. The fence will be largely shielded from view from 232nd Avenue by a combination of Western Red Cedar and native shrubs.</p> <p>The Leadbetter Road pump station will be surrounded by a fence which will be largely shielded from public view by a combination of existing trees and proposed landscaping, which includes a mix of Weeping Alaska Cedar and Douglas Fir trees and a mix of native shrubs within the 20 ft front setback.</p> <p>The northern access to the pedestrian bridge will be fenced along the eastern edge to prevent access to the City's water treatment facility. The proposed fence is a 6-foot chain link fence.</p>
	<i>The vegetation to be utilized should encourage native, low maintenance plantings. Trees planted along streetscapes with overhead power lines should include only those identified on the City's Street Tree List. When possible, existing significant trees or other natural features that do not pose a hazard or hinder development should be required to remain and be incorporated into the landscaping and site plans.</i>	<p>The landscaping plan has been prepared in coordination with the Clark County and City of Camas Parks Department to ensure that the plantings are low maintenance. The proposed trees, shrubs, and ground cover are native plants. Proposed trees are located on-site and no streetscape trees are proposed.</p> <p>A number of existing trees will remain on each of the three sites and have been incorporated into the landscaping plans included as Sheets P3, P6 and P9.</p>

<i>Standard Design Principles & Guidelines</i>	<i>Principle/Guideline</i>	<i>Applicant Response</i>
	<i>Landscape lighting should be low voltage, non-glare, and indirect. Street lighting, such as light poles and lamps, should be compatible with other nearby lighting on the same street, unless other lighting is expected to be replaced in the foreseeable future or a nostalgic theme compatible with the proposed development is desired.</i>	No landscape lighting or street lighting is proposed.
<i>Massing & Setbacks</i>		
	<i>Higher density/ larger structures abutting lower density residential structures should be designed to mitigate size and scale differences. In some cases, creating a natural buffer may be appropriate. (see exhibit 3)</i>	The structures proposed for the 232 nd Avenue and Leadbetter Road pump stations are canopies that have been designed to reflect nearby park and residential structure designs. They are of modest size and scale (13 ft 6 in tall and 200-250 sq ft) and do not present size or scale differences.
<i>Architecture</i>		
	<i>Buildings should have a “finished”, sound, durable, and permanent appearance. Use of panelized materials should be integrated into the development in a manner that achieves a seamless appearance. This would bring into question the use of corrugated materials, standing seam, T-1 11, or similar siding materials, unless it can be shown through the use of renderings or other visual applications that the use of these materials will produce a development with a high visual (or aesthetic) quality. The applicant and/ or developer will be held accountable for ensuring that the finished development resembles and is in compliance with the submitted renderings as approved by the City.</i>	The proposed canopy structures will be constructed of steel supports wrapped with wood to provide a natural, permanent appearance. No panelized materials are proposed for the structures, which are open-sided. The pedestrian bridge will be constructed of concrete and steel.
	<i>Placement of buildings should preserve significant natural features, such as rocks, trees, etc. In doing so, developers may make use of site variances such as adjusting setbacks. (see exhibit 4)</i>	There are no significant natural features on the pump station sites.
	<i>Building walls or fences visible from roadways should be articulated in order to avoid a blank look. The wall can be broken up by including some combination of window/ display space, plantings, offsetting walls with two-tone colors, or creating plazas, water features, art (civic, pop, etc.), awnings, or similar devices. (see exhibit 5)</i>	Pump station fences will be screened from roadways by landscaping of varying heights. No building walls are proposed for the pump stations.

Standard Design Principles & Guidelines	Principle/Guideline	Applicant Response
	<i>The use of bold colors should be avoided except when used as minor accents.</i>	The proposed color palette of the canopy structures and the bridge is natural.
Historic and Heritage Preservation		
	<i>The use of Historic Markers, information kiosks, project names, architectural features, or other elements of the project should promote the historic heritage of the site or surrounding area.</i>	The 232 nd Avenue Pump Station is located within the historic Camp Currie. However, the station has been designed to recede into the park rather than command attention and no historic markers or signage is proposed for the site.

G. Chapter 18.32- Park and Open Space Zoning

18.32.010 - Applicability.

The regulations of this chapter apply only to land held in public trust.

Response: The NE 232nd Avenue Pump Station and pedestrian bridge are proposed on land owned by the City of Camas and Clark County Parks. These regulations are applicable.

18.32.020 - Permitted uses.

Uses shall be allowed in accordance with Table 18.07.050 - Park and open space land uses. Park use is also subject to the requirements and limitations of Chapter 12.32 Park Rules and Regulations.

Response: Table 18.07.050 lists “Pumping station” as a permitted use in the OS Zone. The NE 232nd Avenue Pump Station is zoned County PF. The City and County have agreed to apply the City’s OS regulations to the County zone. “Pumping station,” “Pedestrian and multiuse path,” and “Public utility uses are allowed by right in both of these zones. No park use is proposed.

18.32.030 - Development standards.

- A. Lot Area. There is no minimum or maximum lot size in the Park zoning districts.*
- B. Setbacks. The minimum setbacks are twenty feet.*
- C. Building lot coverage. The maximum building lot coverage shall not exceed thirty-five percent of lot area, with the exception of community or recreation centers, where lot coverage shall not exceed sixty percent.*
- D. Landscaping. All required yard setbacks shall be landscaped. Any storage areas visible to the right-of-way shall be screened. Parking area landscaping shall be consistent with CMC Chapter 18.13 Landscaping. [...]*

Response: The NE 232nd Avenue Pump Station and pedestrian bridge are located in the County’s PF Zone and is being reviewed for compliance with these regulations. The applicable standards of the OS zone are listed below. See Table 3.

Table 3. Compliance with OS Zone Standards

Applicable Standards	OS Zone Requirement	Proposed – 232nd Ave	Proposed – Pedestrian Bridge
Minimum Setbacks	30 ft (Leadbetter Rd) ² 20 ft (Bridge)	~39 ft	~67 ft from Everett Street
Building Lot Coverage	35%	>1%	>1%
Landscaping	All required yard setbacks shall be landscaped. Any storage areas visible to the right-of-way shall be screened.	The required yard setback is landscaped with a combination of Western Red Cedar and a variety of shrubs. No storage areas are proposed.	No landscaping or storage areas are proposed.

F. Signs. Signs shall be permitted according to the provisions of Chapter 18.15 Signs, under the commercial zoning standards.

Response: No signs are proposed. This standard is not applicable.

18.32.040 - Site plan review and design review.

A. Before a clearing, grading or building permit will be issued; Site Plan approval per Chapter 18.18 Site Plan Review is required. A phased site plan may be allowed in order to guide a new park development as funds and resources become available.

Response: Site Plan approval has been requested as part of this application. See the responses for Chapter 18.18 Site Plan Review.

B. When Design Review is applicable; the Parks & Recreation Commission shall conduct design review and find that the development is generally consistent with the design standards of CMC Chapter 18.19 Design Review, guidelines and principles for commercial and mixed uses.

Response: Design Review is applicable and has been required as part of this application. See the responses to Chapter 18.19 Design Review.

² Per 17.19.030 - Tract, block and lot standards.

H. Chapter 18.43 Conditional Use Permits

Response: The Leadbetter Road Pump Station is located within the R-7.5 Zone, which is a residential zone. A Conditional Use Permit is required to establish a pump station in this location.

18.43.050 - Criteria.

The hearings examiner shall be guided by all of the following criteria in granting or denying a conditional use permit:

A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;

Response: The proposed “Pumping station” uses are a component of a public infrastructure system that will benefit the public welfare through the provision of adequate sewer service to development in the North Shore Area. The pump station structures will be located on small sites and will be screened from the surrounding vicinity/district through a combination of landscaping and fencing. This criterion is met.

B. The proposed use shall meet or exceed the development standards that are required in the zoning district in which the subject property is situated;

Response: As described in the responses above, the proposed pump station and associated structures will meet or exceed the development standards of the R-7.5 zone in which it is located. This criterion is met.

C. The proposed use shall be compatible with the surrounding land uses in terms of traffic and pedestrian circulation, density, building, and site design;

Response: The proposed pump station is located on a vacant site with no active development proposals. However, it is assumed that future land uses will be residential in nature. The pump station will also front a future public trail (the T-3 trail) when Leadbetter Road is abandoned for a planned new north-south road.

The pump station will not generate traffic and will be accessed infrequently by maintenance vehicles. The station location does not preclude future development of the site with single-family homes meeting the density requirements of the R-7.5 Zone.

The site includes aboveground equipment including a transformer, generator, blower, pig launchers, electrical controllers and surge tank. The maximum height of this equipment is 8 ft. The site also contains a canopy structure, which has been designed to resemble residential accessory structures as much as possible. The structure includes a gable roof which will be shingled with cementitious materials, and the structural supports will be constructed of steel wrapped with treated wood.

The site improvements will be surrounded with a fence and will be softened by significant landscaping between the improvements and the future T-3 trail alignment. See Sheet P6 Landscaping Plan for details.

D. Appropriate measures have been taken to minimize the possible adverse impacts that the proposed use may have on the area in which it is located;

Response: Possible adverse impacts related to the proposed use include odor, noise, and visual impacts. However, the possible adverse impacts have been mitigated and result in no impact to the surrounding area.

Potential odor from the stations is mitigated by the use of biofiltration systems and chemicals added to the wastewater to eliminate the odorous compounds; the stations are quiet but are equipped with emergency generators in the event of a power outage. These generators are operated routinely for short periods to make sure they operate correctly, and they will turn on automatically in the event of a power outage. The pumps themselves make a little noise that is heard only when standing over the pump station wetwell. Possible visual impacts are being mitigated through the use of landscaping, including native trees and shrubs, and fencing. This criterion is met.

E. The proposed use is consistent with the goals and policies expressed in the comprehensive plan;

Response: Relevant Comprehensive Plan goals and policies are contained in Section 5.11 City Utilities. This project is included in the City's Sewer Comprehensive Plan as the method for providing sewer service to the City's newly annexed North Shore area.

F. Any special conditions and criteria established for the proposed use have been satisfied. In granting a conditional use permit the hearings examiner may stipulate additional requirements to carry out the intent of the Camas Municipal Code and comprehensive plan.

Response: There are no special conditions or criteria for "Pumping Station" uses contained in the municipal code. This criterion is not applicable.

I. Chapter 18.55 Administration and Procedures

18.55.050 - Initiation of action.

Except as otherwise provided, Type I, II, III, or BOA applications may only be initiated by written consent of the owner(s) of record or contract purchaser(s). Legislative actions may be initiated at the request of citizens, the city council, planning commission, or department director or division manager.

Response: This application has been initiated by the owners of record or contract purchasers: the City of Camas; Clark County; and CJ Dens.

18.55.060 - Preapplication conference meeting—Type II, Type III.

- A. Prior to submitting an application for a Type II or Type III application, the applicant shall schedule and attend a preapplication conference with city staff to discuss the proposal. The preapplication conference shall follow the procedure set forth by the director.*
- B. To schedule a preapplication conference the applicant shall contact the planning department. The purpose of the preapplication conference is for the applicant to provide a summary of the applicant's development proposal to staff and in return, for staff to provide feedback to an applicant on likely impacts, limitations, requirements, approval standards, fees, and other information that may affect the proposal. The director may provide the applicant with a written summary of the preapplication conference within ten days after the preapplication conference.*
- C. Notwithstanding any representations by city staff at a preapplication conference, staff is not authorized to waive any requirements of the city code. Any omission or failure by staff to recite to an applicant all relevant applicable code requirements shall not constitute a waiver by the city of any standard or requirement.*
- D. A preapplication conference shall be valid for a period of one hundred eighty days from the date it is held. If no application is filed within one hundred eighty days of the conference or meeting the applicant must schedule and attend another conference before the city will accept a permit application. Any changes to the code or other applicable laws which take effect between the preapplication conference and submittal of an application shall be applicable.*
- E. The director may waive the preapplication requirements if, in the director's opinion, the development does not warrant these steps.*

Response: The project team attended a preapplication conference with City staff on June 16, 2016. This application was originally submitted on November 18, 2016, within 180 days of that meeting. The preapplication meeting notes are attached as Appendix A.

18.55.110 - Application—Required information.

Type II or Type III applications include all the materials listed in this subsection. The director may waive the submission of any of these materials if not deemed to be applicable to the specific review sought. Likewise, the director may require additional information beyond that listed in this subsection or elsewhere in the city code, such as a traffic study or other report prepared by an appropriate expert where needed to address relevant approval criteria. In any event, the applicant is responsible for the completeness and accuracy of the application and all of the supporting documentation. Unless specifically waived by the director, the following must be submitted at the time of application:

- A. A copy of a completed city application form(s) and required fee(s);*
- B. A complete list of the permit approvals sought by the applicant;*
- C. A current (within thirty days prior to application) mailing list and mailing labels of owners of real property within three hundred feet of the subject parcel, certified as based on the records of Clark County assessor;*

- D. *A complete and detailed narrative description that describes the proposed development, existing site conditions, existing buildings, public facilities and services, and other natural features. The narrative shall also explain how the criteria are or can be met, and address any other information indicated by staff at the preapplication conference as being required;*
- E. *Necessary drawings in the quantity specified by the director;*
- F. *Copy of the preapplication meeting notes (Type II and Type III);*
- G. *SEPA checklist, if required;*

Response: The application includes the required information. A mailing list and mailing labels of owners of property within 300 ft of the subject parcels has been prepared and is included as Appendix G; a project description is included in the Project Description section of this narrative and compliance with applicable approval criteria is addressed throughout; necessary drawings are attached as Exhibits; the pre-application meeting notes are attached as Appendix A; and the SEPA checklist and addendum are attached as Appendices B and C.

IV. COMPLIANCE WITH TITLE 17 LAND DEVELOPMENT

Chapter 17.19 Design and Improvement Standards

17.19.030 - Tract, block and lot standards.

[...]

F. *Landscaping.*

[...]

- 6. *Storm drainage facilities, pump stations and other visible facilities shall be setback a minimum of thirty feet from any street or accessory structure and be landscaped in accordance with criteria in the Camas Design Standard Manual.*

Response: Both the Leadbetter Road and NE 232nd Avenue Pump Stations are over 30 feet from any street or accessory structures.

V. CONCLUSION

The request for Conditional Use, Site Plan, and Design Review has been shown to be consistent with the applicable standards of the City of Camas. The applicant respectfully requests approval of the applications.

KEY NOTES

- 1 ROAD IMPROVEMENTS CONSTRUCTED BY OTHERS
- 2 AIR INTAKE WITH DAMPER
- 3 ABOVE GRADE PIG LAUNCHER
- 4 PIPE MATERIAL TRANSITION POINT - DI TO HDPE
- 5 LIMITS OF DISTURBANCE
- 6 4" HMA OVER 6" CSBC
- 7 CONDUIT TRENCH AND PUMP DISCONNECT PANEL

LEADBETTER ROAD PUMP STATION
SITE, UTILITY & CIRCULATION PLAN
PER SITE PLAN REVIEW REQUIREMENT 3.D, 3.E & 3.G



616 NE 4TH AVENUE
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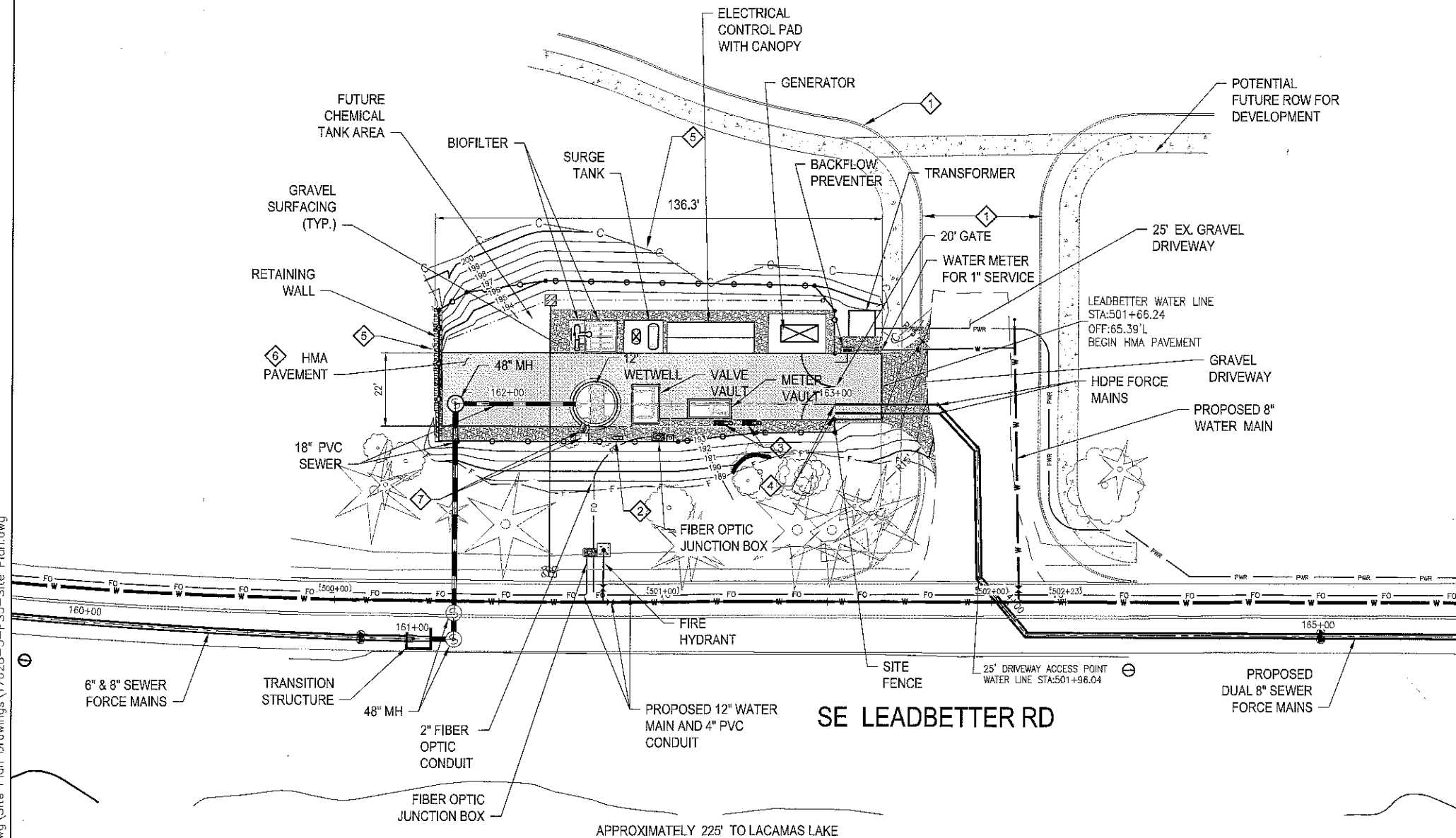
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CAMAS PROJECT NUMBER
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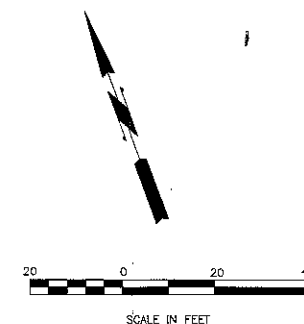
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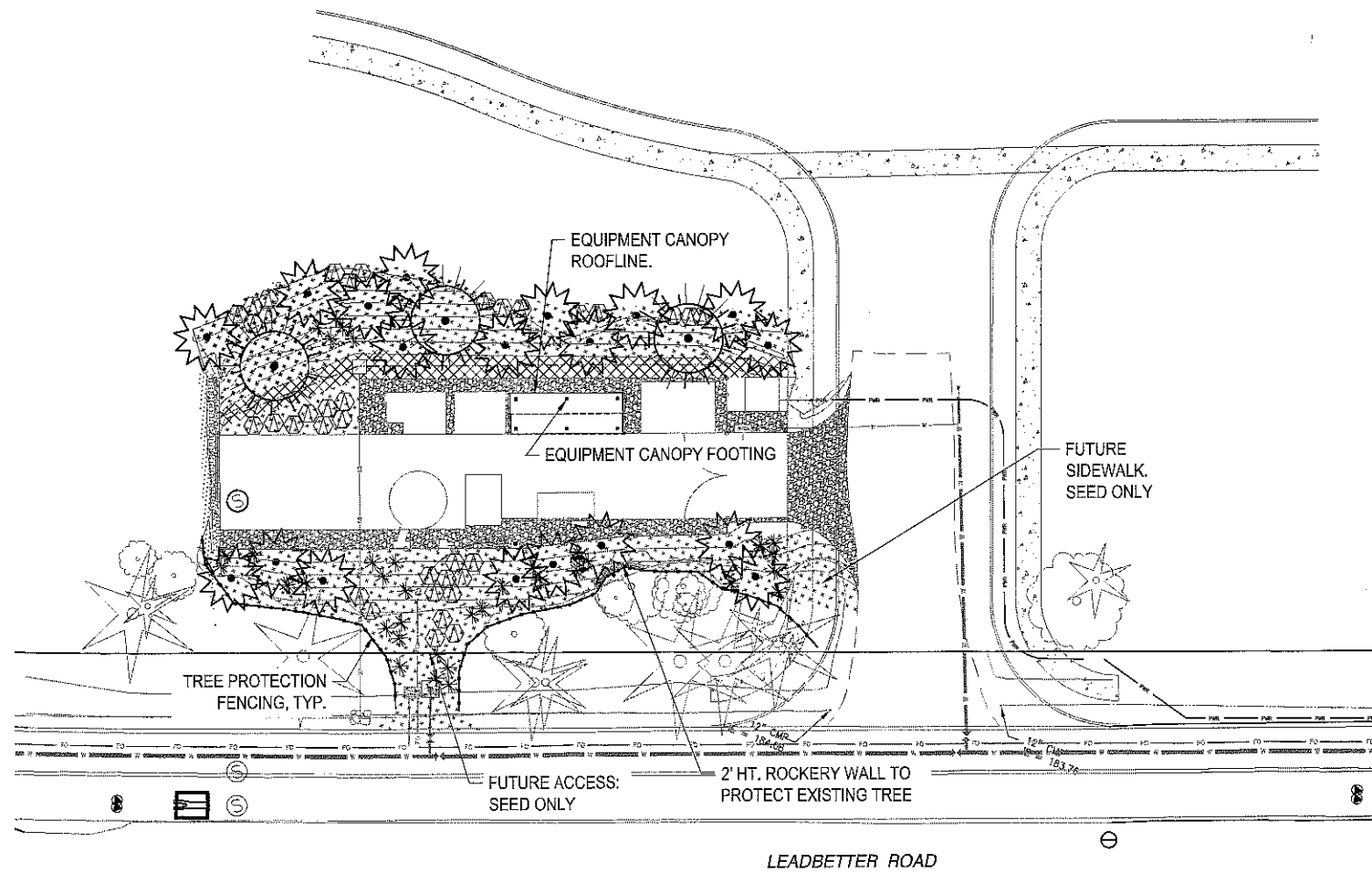


LEADBETTER ROAD PUMP STATION SITE PLAN

1" = 20'-0"





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


PLANTING LEGEND


TREES

SYMBOL	QTY	COMMON NAME / Botanical name, Size and Description
	3	DOUGLAS FIR / <i>Pseudotsuga menziesii</i> , 65' MIN. HT, B&B* or cont.
	19	WEeping ALASKA CEDAR / <i>Chamaecyparis nootkatensis</i> 'Pendula', 5' MIN. HT., B&B* or cont.


SHRUBS AND GROUND COVER

SYMBOL	QTY	COMMON NAME / Botanical name	SIZE	SPACING
	36	TALL OREGON GRAPE / <i>Mahonia aquifolium</i>	5 GAL.	4' O.C.
	36	WESTERN SWORDFERN / <i>Polystichum munitum</i>	5 GAL.	4' O.C.
	1,456	KINNIKINNICK / <i>Arctostaphylos uva-ursi</i>	1 GAL.	2' O.C.

SEED MIX

SYMBOL	QTY	DESCRIPTION	REMARKS
	859 SF .02 AC	SEED MIX #2	SEE SPECIFICATIONS FOR SEED MIX COMPOSITION AND APPLICATION RATE

OTHER

SYMBOL	QTY	DESCRIPTION
	180 LF	TREE PROTECTION FENCING.

LEADBETTER PUMP STATION
LANDSCAPE PLAN
PER SITE PLAN REQUIREMENT 3.H



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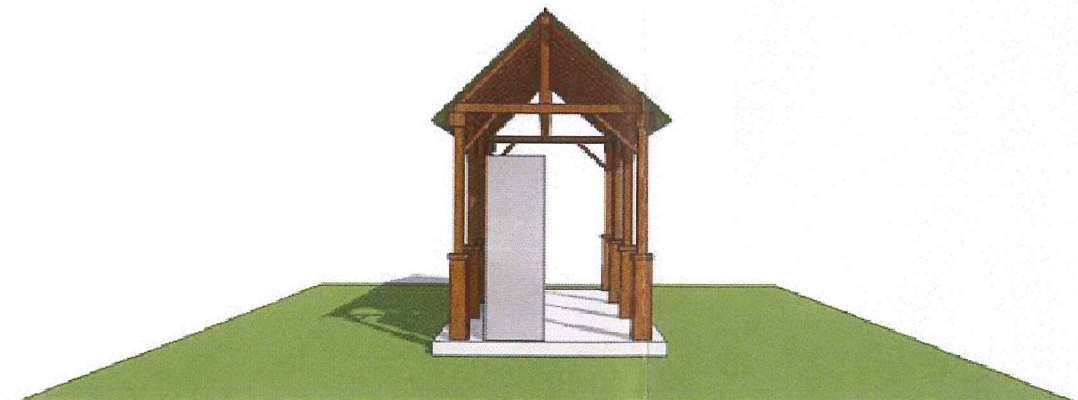
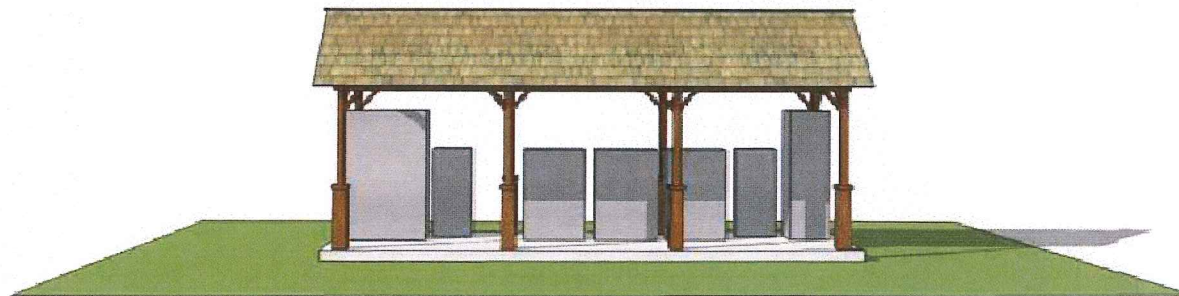
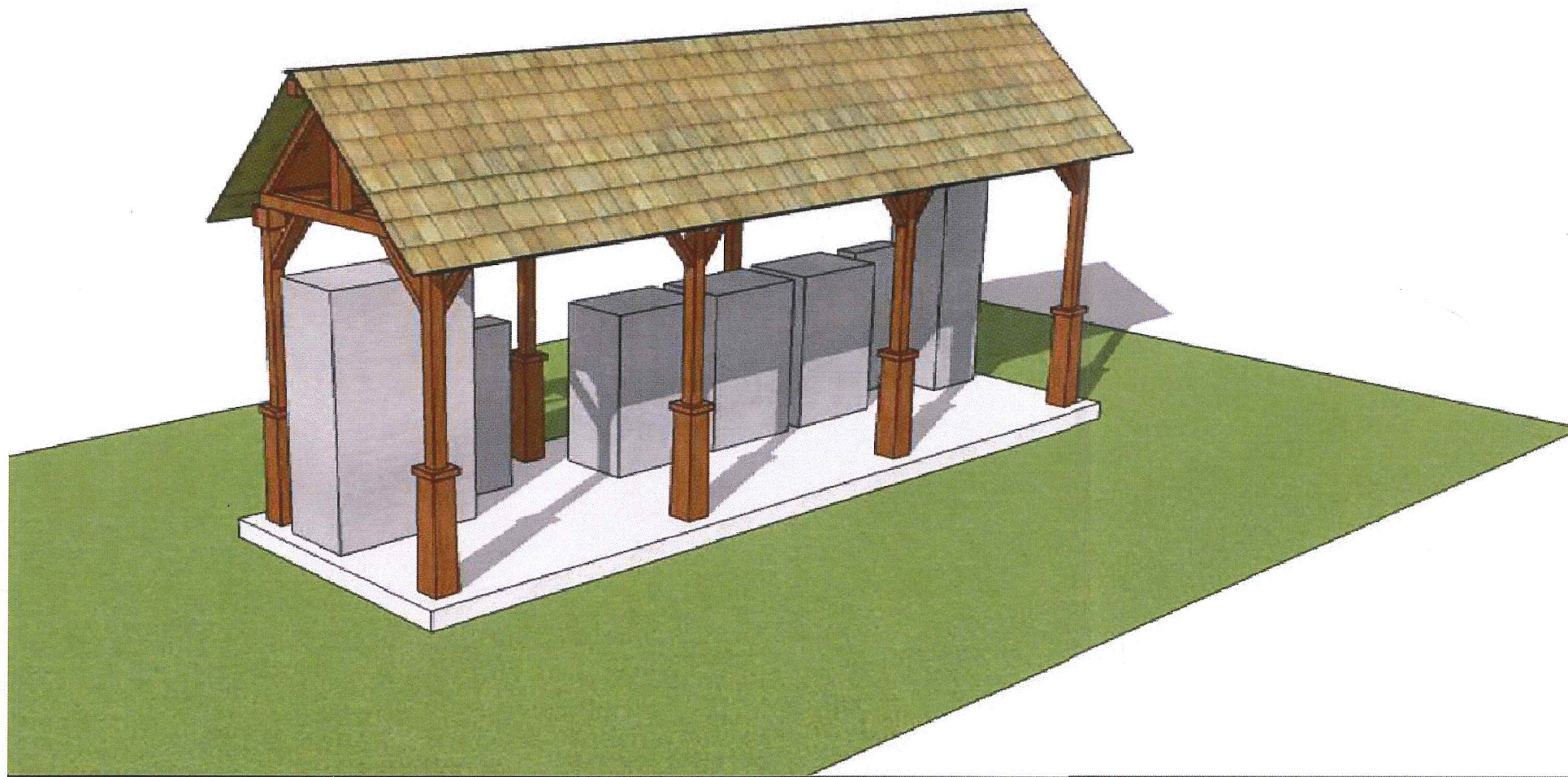
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SITE PLAN EXHIBIT NUMBER
P6

CAMAS CATALOG NUMBER

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LEADBETTER ROAD CANOPY



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STATUS	PAGE
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SITE PLAN EXHIBIT NUMBER
P7

CAMAS CATALOG NUMBER

Exhibit 4
CUP16-01

Leadbetter Road Pump Station

LEADBETTER ROAD P.S.
TOWARD LAKE





COMMUNITY DEVELOPMENT DEPARTMENT
616 NE 4th Avenue
Camas, WA 98607

STAFF REPORT
Design Review (File No. DR16-13)
Leadbetter Road Pump Station
Associated Files: CUP16-01 and SHOR16-04

To: Design Review Committee
From: Sarah Fox, Senior Planner
Applicant: Sam Adams, Project Manager
City of Camas Public Works Department
Site Address: No site address

Tax Parcel: 177906-000
Tract is 5,605 square feet

Zoning: Single-family R-7.5

APPLICABLE LAW: The application was submitted on December 30, 2016, and the applicable codes are those codes that were in effect at the date of application. Camas Municipal Code (CMC) Title 18, specifically (but not limited to): Chapter 18.19 Design Review, Chapter 18.11 Parking, Chapter 18.13 Landscaping, and Chapter 18.55 Administrative Procedures and the Camas Design Review Manual.

I. SUMMARY

The pump station is one of three new pump stations planned within the North Shore Sewer Transmission System (City File # SHOR16-04). The Leadbetter Road Pump Station will be located in a tract of a future residential subdivision and will be subject to Conditional Use Permit along with Design Review approval. The site will be landscaped and fenced and include a 250 square foot structure.

Design Review is required for all new developments within commercial, mixed-use, business park, or multifamily zones, redevelopment (including change in use, e.g., residential to commercial), or major rehabilitation (exterior changes requiring a building permit or other development permit). Commercial uses in the context of design review include both traditional uses listed as commercial under the zoning code as well as recreational, religious, cultural, educational, and **governmental buildings** and associated properties. The development is also subject to approval of a Conditional Use Permit and Site Plan Review.

II. DISCUSSION

The following staff analysis and comments are organized to follow the order of the Design Review Checklist for the project.

DESIGN REVIEW PRINCIPLES AND GUIDELINES	STAFF COMMENTS
1. Landscaping should be done with a purpose. It should be used as a tool to integrate the proposed development into the surrounding environment as well as each of the major project elements (e.g. parking, buildings(s), etc.).	
Landscaping, including trees, shrubs, and vegetative groundcover, is provided to visually screen and buffer the use from adjoining less intense uses and screening parking or other components viewed as being less intrusive.	The application includes a landscape drawing at Sheet P6. The landscaping includes evergreen foliage of Douglas Fir, Weeping Alaskan Cedar, Oregon Grape, Swordfern and Kinnikinnick.
Signs are located on buildings or incorporated into the landscaping so as not to be the main focus either during the day or night. (e.g. low signs with vegetative backgrounds to soften visual impact). If illuminated they shall be front lit. Efforts have been made to make signs vandal resistant.	Signs will be small and for emergency purposes.
Outdoor furniture samples have been submitted consistent with the overall project design.	No outdoor furnishing is proposed.
Proposed fencing is incorporated into the landscaping so as to have little or no visual impact.	Fencing is not described in the drawings. A condition in regard to fencing is included.
The vegetation to be utilized includes native, low maintenance plantings. Trees planted along streetscapes with overhead power lines should include only those identified on the City's Tree List. Retain significant trees if feasible.	The applicant proposes a two-year maintenance contract, however, the Camas Design Standards Manual requires that the site be irrigated (Detail PL1). A condition in regard to irrigation is included.
Landscape lighting - low voltage, non-glare, indirect lighting is directed, hooded or shielded away from neighboring properties.	No lighting is proposed.
Street lighting (poles, lamps) is substantially similar or architecturally more significant than other street lighting existing on the same street and will not conflict with any City approved street lighting plans for the street.	No lighting is proposed.
Parking and building lighting is directed away from surrounding properties through the use of hooding, shielding, siting and/or landscaping.	No parking or building lighting is proposed.
2. All attempts should be made at minimizing the removal of significant natural features. Significant natural features should be integrated into the overall site plan.	
Existing trees over 6" dbh that are not required to be removed to accommodate the proposed development are retained and incorporated into the landscape plan.	The site slopes to the north and all significant trees were removed prior to this application.
Rock outcroppings, forested areas and water bodies are retained.	Not applicable.
3. Buildings should have a "finished" look. Any use of panelized materials should be integrated into the	

development in a manner that achieves a seamless appearance.	
Use of corrugated materials, standing seam, T-1 11, or similar siding materials are questionable, unless it can be shown through the use of renderings or other visual applications that the use of these materials will produce a development with a high visual (or aesthetic) quality.	The structure will be open-sided. The steel support beams will be wrapped in wood. The roofing appears to be cedar-shake shingles.
Buildings walls or fences visible from roadways should be articulated in order to avoid a blank look. The walls can be broken up by including some combination of window/display space, plantings, offsetting walls with two-tone colors, or creating plazas, water features, art (civic, pop, etc.) awnings, or similar devices.	Fencing design is included as a condition of approval.
The use of bold colors has been avoided unless used as minor accents.	Colors of equipment cabinet was not included in the application. Beams and roofing will be natural wood.
Higher density/larger structures abutting lower density residential structures have been designed to mitigate size and scale differences. In some cases, creating a natural buffer may be appropriate.	A vegetated buffer is proposed.
4. A proposed development shall attempt to incorporate or enhance historic/heritage elements related to the specific site or surrounding area.	
The use of Historic Markers, information kiosks, project names, architectural features, or other elements of the project should promote the historic heritage of the site or surrounding area.	Not applicable to this site.

III. Recommendation

Staff recommends that the Design Review Committee review the materials, deliberate, and render a recommendation of approval with the following conditions:

1. Applicant provide vinyl coated chain link fencing.
2. Applicant revise landscape drawings to include irrigation plan in accordance with Camas Design Standards Manual.
3. The applicant shall ensure that trees are a minimum caliper of 2" at time of installation.