



# **BUILDING DEPARTMENT APPLICATION PACKET**

**SINGLE FAMILY RESIDENTIAL**

## City of Camas

616 NE 4<sup>th</sup> Avenue  
Camas, WA 98607

Email: [permits@cityofcamas.us](mailto:permits@cityofcamas.us) / Phone: 360.817.1568

### APPLICATION AND SUBMITTAL PROCEDURES FOR RESIDENTIAL CONSTRUCTION

A building application form must be filled out and returned to the Building Department at least 24 hours prior to submitting plans and other required information. Email application form to the permit office: [permits@cityofcamas.us](mailto:permits@cityofcamas.us)

***NOTE: If the property is NOT located in a subdivision (In-fill lot) all Engineering & Planning Dept. requirements must be met BEFORE submitting the building application packet. Please contact the Community Development Dept. to schedule a pre-application meeting with City Staff to determine all development requirements 360.817.1568 / [permits@cityofcamas.us](mailto:permits@cityofcamas.us)***

#### REQUIRED ITEMS FOR APPLICATION

- 2 SETS OF CONSTRUCTION DRAWINGS (necessary whether you have built this same plan in Camas before or not)
- 2 PLOT PLANS (with legal description, lot/structure dimensions, to scale of not less than 1"=20')
- 2 SETS OF TRUSS ENGINEERING AND LAYOUTS SNOWLOAD 25PSF ROOF/30 PSF GROUND
- 2 SETS OF EROSION CONTROL PLAN
- 2 SETS OF TJI DRAWINGS (if you will be using them)
- 1 PROOF OF OWNERSHIP (we will verify with Clark County GIS)
- 2 RESIDENTIAL ENERGY CODE WORKSHEET (available on the City of Camas website)
- 1 COPY OF YOUR CONTRACTOR'S LICENSE
- 2 SETS OF SEISMIC AND LATERAL ENGINEERING FOR WINDS 97 MPH, 3 SECOND WIND GUST, SEISMIC ZONE D1, EXPOSURE B
- Abbreviated Construction Stormwater Pollution Prevention Plan (SWPPP)

#### PLEASE NOTE:

- Payment of the plan review fee is required at time of plan submittal.
- All plan reviews will be done in the order that they are received.
- Complete information must be submitted before the plans can be reviewed in a timely manner.

# Residential Plan Review Submittal Requirements

***Complete set of plans: Plans shall show specifically what is being built.***

***A complete set of plans consists of:***

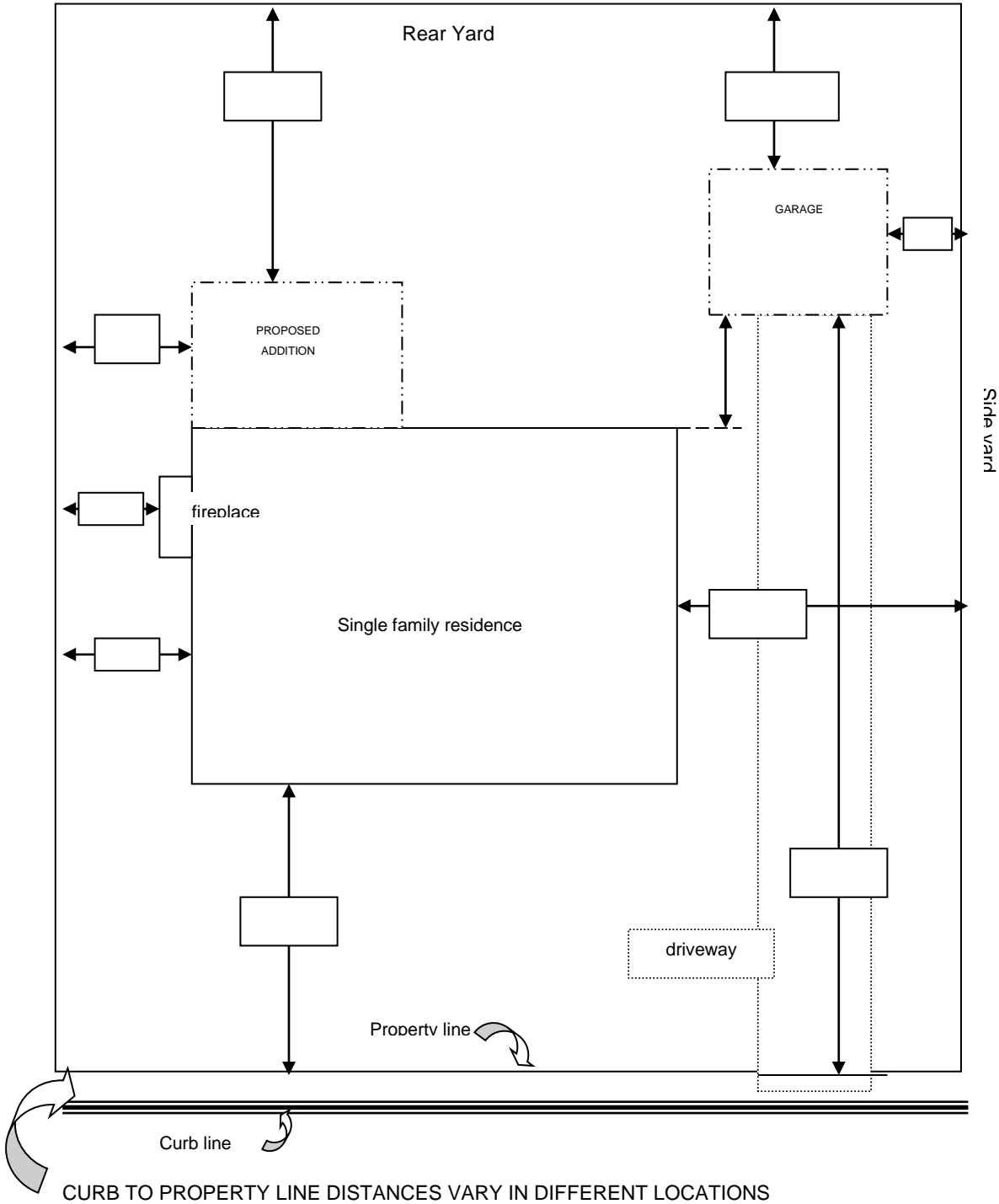
- **Plot plan** shall show dimensions of the building site, street names, placement of all structures, distances to other buildings and/or property lines, contours of the property if more than 2' of slope, and if utilizing a STEP/STEF tank show the placement location.
- **Foundation plan** shall show code prescriptive lateral requirements or engineering design. The plan shall also show dimensions, anchor bolts, bearing pads and vents. If using a wood floor, show joists, girders, and posts and specify all required connectors and hangers. Indicate interior bearing points and walls. Details shall be provided to adequately show construction per code or engineering.
- **Basement and retaining wall** details shall note and show code requirements. Engineer's calculations shall be provided for retaining walls. Foundation details excepted by jurisdiction may be used.
- **Floor plan** label use of each room; show dimensions, window sizes, smoke detectors, carbon monoxide detectors, appliance locations, furnaces, water heaters, crawl space access, ventilation fans, plumbing fixtures, decks, balconies and code prescriptive lateral brace panels or engineered design.
- **Wall bracing** for code prescriptive lateral or engineered design shall be provided on plans, shown on full size sheets, indication details and locations, load path connections. Engineered design shall also provide 1 set of calculations and specifications. For prescriptive design, provide appropriate code sections to identify the minimum wall bracing requirements.
- **Floor framing plan** shall be included on plans and identify framing components used. Show all headers and beams. If using manufactured floor system, provide 2 copies of the manufacturer's layout and specifications.
- **Roof framing plan** shall be included on plans and identify framing components used. Show all sized beams and headers required. Identify ventilation requirement and how it is being provided. Include interior bearing points or walls. If using engineered trusses, show trusses on roof framing plan and provide 2 copies of the manufacturer's layout and engineering, which shall include required hangers and connectors for all load including vertical uplift.
- **Cross-Section and details** provide at least 2 full cross- sections (in different directions) through entire building showing framing members, sizes, spacing, headers, joists, sub-flooring, wall construction components and roof components. Indicate where the required radon vent will be installed. Indicate location of cross-section on floor plan (details of walls, floors, roofs, stairs, fireplaces and foundations shall be on plans).
- **Elevations** provide all proposed exterior elevations. Elevations shall show actual finish grade (if greater than 2' grade change). Show steps in foundation walls and retaining walls. Provide drainage plan when required.
- **Energy Code** provide 1 completed copy of the Washington State Energy Code Prescriptive Worksheet. Identify U-Factors for Doors and Windows, R-Values for floors, walls and ceilings on plans.
- **Erosion Control** Measures are required to prevent sediment from leaving the site onto the street and or entering inlets during construction.
- **SWPPP** Abbreviated construction stormwater pollution prevention plan.

# PLOT PLAN

Every application for a permit shall be accompanied by two plot plans drawn to an appropriate scale. They should show necessary information such as size and shape of lot, location and size of work proposed, distances of the construction from all property lines, distances from other buildings on the property and driveway. For required rear yard  property lines, consult the Building Department.

A house number will be assigned when the plot plans are submitted.

**EXAMPLE ONLY**

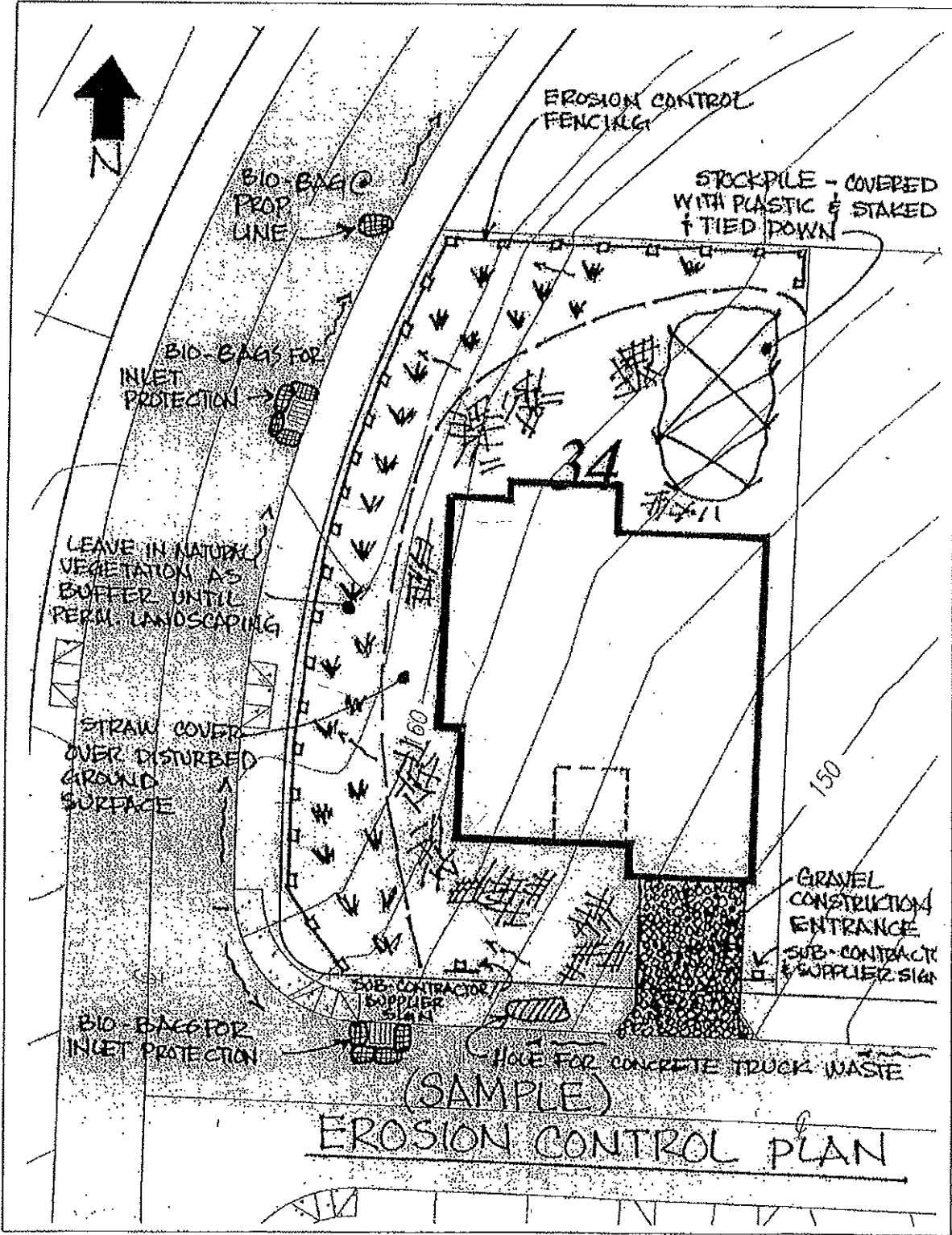


CURB TO PROPERTY LINE DISTANCES VARY IN DIFFERENT LOCATIONS

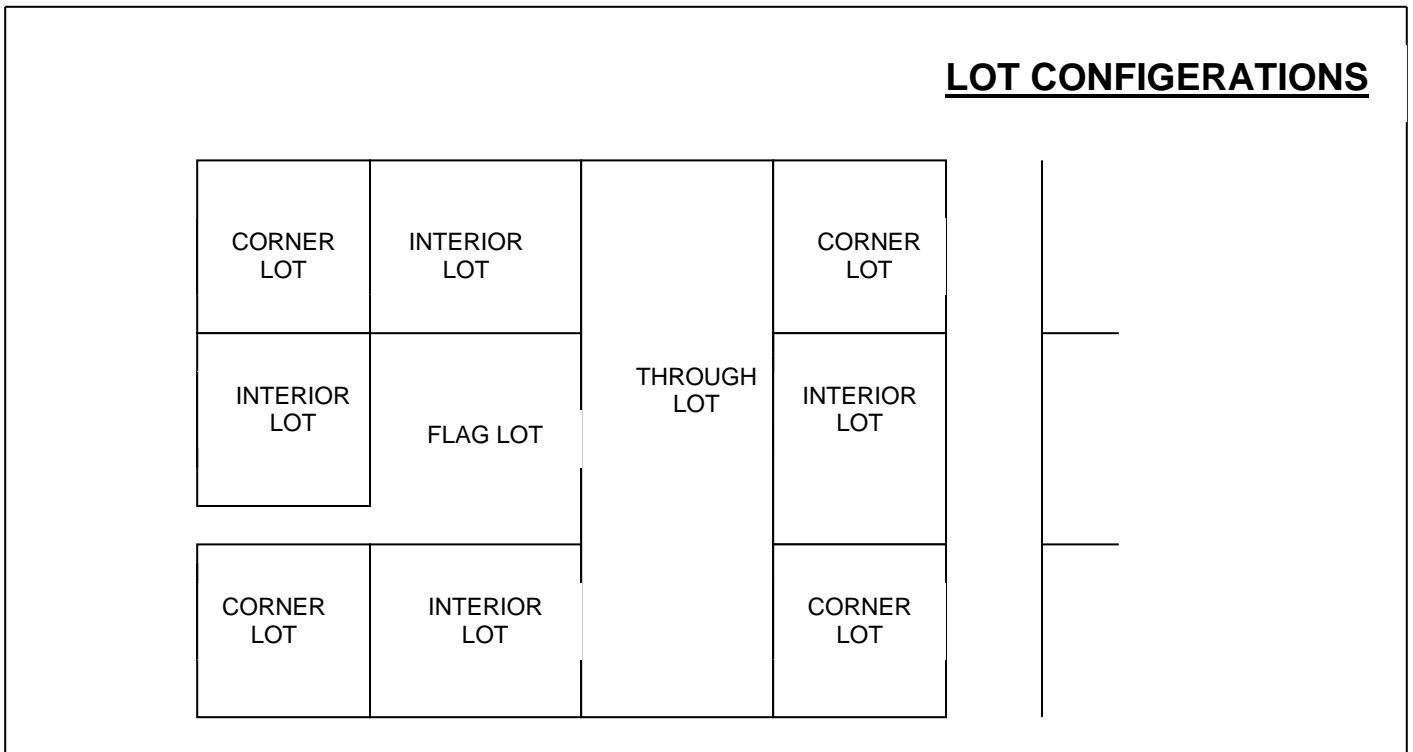
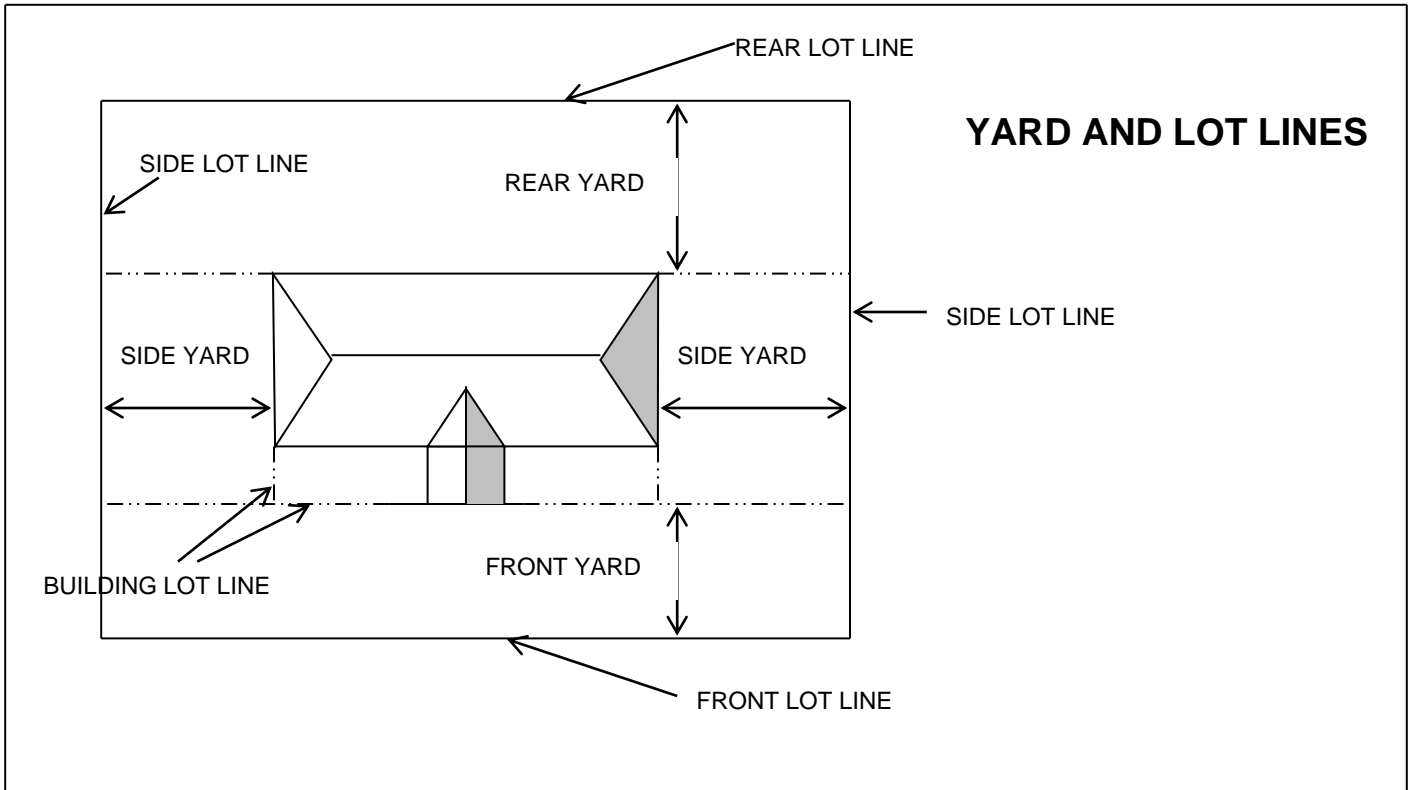
(STREET NAME)

= Areas to be filled in with your individual dimensions

# SITE PLAN



# YARD AND LOT DESCRIPTIONS





**City of Camas  
Building Department**

**616 NE 4<sup>th</sup> Avenue  
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**NOTICE TO ALL BUILDING PERMIT APPLICANTS**

The Washington State Legislature has enacted laws requiring local Building Departments to notify all permit applicants that:

- ◆ All contractors doing work in the State of Washington are required to be registered as per RCW Chapter 18.27 and WAC Rules.
- ◆ Homeowners acting as their own contractor or when hiring unlicensed contractors assume the following risks and liabilities:
  - 1) You are responsible for the medical and time loss costs of employees injured while working on your project.
  - 2) You may be liable for all unpaid taxes.
  - 3) Your homeowner's insurance may not cover work done by an unlicensed contractor.
  - 4) The law requires complete disclosure of all work that has been done on your home, if you resell. You may be required to do work over again that has been done without permits, or inspections. Non-disclosure can lead to civil action being taken against you.
  - 5) You may be placing yourself and your family in a life-threatening situation, especially when hiring unlicensed people to install plumbing, electrical wiring, heating systems or wood stoves.
  - 6) Suppliers can place a lien on your home for non-payment of materials by your contractor.
  - 7) Unpaid workers can place a lien on your property.
  - 8) When problems arise, your only recourse is a lengthy and costly civil action – if there are any assets of value to attach, and if you can find the contractor.

The Department of Labor and Industries Contractor Registration information line 1-800-647-0982 operates weekdays from 8:00am to noon and 1:00pm to 5:00pm. The information line allows you to check whether commercial and residential contractors are registered, properly bonded, etc..