CITY COUNCIL REGULAR MEETING AGENDA
Monday, January 5, 2015, 7:00 PM
City Municipal Center, 616 NE 4th Avenue

Agenda Updated January 5, 2015

NOTE: There are two public comment periods included on the agenda. Anyone wishing to address the City Council may come forward when invited; please state your name and address. Public comments are typically limited to three minutes, and written comments may be submitted to the City Clerk. Special instructions for public comments will be provided at the meeting if a public hearing or quasi-judicial matter is scheduled on the agenda.

I. CALL TO ORDER

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

IV. PUBLIC COMMENTS

V. CONSENT AGENDA

A. Approve the minutes of the December 15, 2014, Camas City Council Meeting and the work session minutes of December 15, 2014.

City Council Meeting Minutes 12-15-14

City Council Workshop Minutes 12-15-14.pdf

B. Approve claim checks as approved by the Finance Committee

C. Authorize release of retainage for Project No. WS-714 / WS-729 STEP Sewer RR Crossing / Garfield Water Relocation Project, in the amount of $30,734.67 to 3 Kings Environmental, Inc. All City and State project documentation has been received and verified. (Submitted by Jim Hodges)

WS-729 - WS-714 pay est 5 Final.pdf

D. Approve Pay Estimate No. 3 for Project P-899 (less retainage), Fallen Leaf Lake ADA Ramp in the amount of $20,015.23 for work through December 19th, 2015. This project is fully funded in the City's adopted 2014 Budget. (Submitted by Steve Wall)

P-899 Fallen Leaf Lake ADA Ramp Pay Estimate 3

NOTE: Any item on the Consent Agenda may be removed from the Consent Agenda for general discussion or action.

VI. NON-AGENDA ITEMS

A. Staff

B. Council

VII. MAYOR

A. Announcements

A. Council's Confirmation Vote of Mayor's Appointment to the Position of Public Works Director

VIII. MEETING ITEMS

A. Resolution 15-001 Adopting a City of Camas Fee Schedule
Details: Resolution No. 1314 was approved December 15, 2014, establishing a 2015 Fee Schedule with an effective date of January 1, 2015. Resolution No. 1314 had the incorrect fee schedule (2014) attached rather than the proposed 2015 Fee Schedule as presented on November 3, 2014 with City Council and considered during Public Hearing on November 17, 2014.
Presenter: Cathy Huber Nickerson, Finance Director

Recommended Action: Move to approve Resolution No. 15-001 adopting the City of Camas 2015 Fee Schedule.

Res 15-001 - 2015 Fee Schedule

B. Ordinance Amending Title 16 Environment, Chapter 16.53 Wetlands
Details: On December 15, 2014, Council held a public hearing to consider amendments to the Camas Municipal Code, Chapter 16.53 Wetlands. At the conclusion of the public hearing, Council approved the amendments and directed the City Attorney to prepare an ordinance for adoption. The amendments are intended to comply with new mandates from the Department of Ecology.
Presenter: Sarah Fox, Senior Planner

Recommended Action: Adopt ordinance

Ordinance Amending CMC Ch 16 53

C. Ordinance to Adopt the Annual 2014 Comprehensive Plan Amendments
Details: City Council conducted a public hearing on December 15, 2014, to review the proposed Annual Comprehensive Plan Amendments, which included the following: the Grass Valley Plan (File No.CPA14-02); the Parks, Recreation, and Open Space Comprehensive Plan (File No. CPA14-03 "PROS" Plan); and miscellaneous map amendments. City Council accepted public testimony, considered the proposed amendments concurrently, and rendered a decision of approval. Council directed the City Attorney to prepare an ordinance for adoption.
Presenter: Sarah Fox, Senior Planner
Recommended Action: Adopt ordinance

Ordinance No. 15-002
PROS Plan 110714
PROS Plan appendices
Camas Comprehensive Plan Map
Camas Zoning Map

D. Stoneleaf Final Plat
Details: This is the final plat for Stoneleaf Phase 1, which is a condominium project that is being platted into fee simple lots. Preliminary plat approval was granted on October 14th, 2014. Staff is recommending approval.
Presenter: Robert Maul, Planning Manager
Recommended Action: Approval

FP14-06 Staff Report
STONELEAF PLAT Final 122314

IX. PUBLIC COMMENTS

X. ADJOURNMENT

XI. CLOSED SESSION

A. Labor Negotiations

NOTE: The City of Camas welcomes and encourages the participation of all of its citizens in the public meeting process. A special effort will be made to ensure that a person with special needs has the opportunity to participate. For more information, please call 360.834.6864.

CITY COUNCIL REGULAR MEETING MINUTES - DRAFT
Monday, December 15, 2014 at 7:00 p.m.
Camas City Hall, 616 NE 4th Avenue

NOTE: There are two public comment periods included on the agenda. Anyone wishing to address the City Council may come forward when invited; please state your name and address. Public comments are typically limited to three minutes, and written comments may be submitted to the City Clerk. Special instructions for public comments will be provided at the meeting if a public hearing or quasi-judicial matter is scheduled on the agenda.

I. CALL TO ORDER

Mayor Scott Higgins called the meeting to order at 7 p.m.

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

Present: Don Chaney, Linda Dietzman, Tim Hazen, Steve Hogan, Melissa Smith, and Shannon Turk

Excused: Greg Anderson

Staff: Kristin Berquist, Phil Bourquin, Pete Capell, Sarah Fox, Jennifer Gorsuch, Shawn MacPherson, Kathy Huber Nickerson, Robert Maul and Steve Wall

Press: No one from the press was present.

IV. PUBLIC COMMENTS

There were no comments from the public.

V. CONSENT AGENDA

A. Approved the minutes of the December 1, 2014, Camas City Council Meeting and the work session minutes of December 1, 2014

Council Minutes 12-1-14

Workshop Minutes 12-1-14

B. Approved claim checks 124048 – 124253, in the amount of $2,183,897.08.

C. Approved the write-off of the November 2014 Emergency Medical Services (EMS) billings in the amount of $60,715.49. This is the monthly uncollectable balance of Medicare and Medicaid accounts that are not collectable after receiving payments from Medicare, Medicaid and secondary insurance. (submitted by Cathy Huber Nickerson)

D. Authorized the Mayor to sign the Modification to the Development Agreement with the builder, Doug Campbell, for the 7th Avenue Townhomes, LLC. The City worked with the developer to replace a substandard storm line in return for shared costs. During construction, the developer ran into some unforeseen cost overruns due to bedrock issues. The attached addendum splits the overrun between the City and the developer for an additional amount of $3,832.90. The attached addendum was drafted and approved as to form by the City Attorney. (submitted by Robert Maul)

Original Agreement

Addendum to Agreement

E. Authorized the Engineering Manager/City Engineer to sign the Professional Services Contract Agreement with HDJ Design Group for surveying and design, environmental permitting and documentation, and right-of-way acquisition services for the NW Brady Road Improvements in an amount not to exceed $818,773.28. This total cost includes a contingency budget of $72,154.91 in the event that additional environmental analysis and permitting will be required. The project design is in the budget for 2015 and 2016 and Federal Highway Administration (FHWA) will provide $339,000 in design funds. (submitted by James Carothers)

PSC_12-3-14

F. Authorized BergerABAM Consultant Services for Phase 2 of the Comprehensive Plan Update. According to State requirements, the City must update the Comprehensive Plan by June 2016. The goal of the first phase of the update is to create a vision for the City, which will guide development for the next twenty years. Phase 2 will update the policies and goals of the plan consistent with the vision and State guidelines. Phase 1 is nearing completion and a vision statement will be presented in

January. A scope of work and contract for Phase 2 must be approved in order to seamlessly continue this project. (submitted by Sarah Fox)

Camas Comp Plan Phase 2 - Scope of Work

G. Authorized Pay Estimate 5 for Project No. S-566 NW Friberg Street/Goodwin Road Improvements to McDonald Excavating, Inc., in the amount of $644,289.50 for work completed through November 30, 2014. This project is partially funded by a Public Works Trust Fund (PWTF) loan and a Community Economic Revitalization Board (CERB) grant administered by the Washington State Department of Commerce and the Washington State Department of Ecology. (submitted by James Carothers)

S-566 Pay Estimate No. 5

H. Authorized release of retainage for Project No. WS-720A 2013 STEP/STEF Tank Pumping Project to AAA Septic Service, LLC in the amount of $2,518.52. All required City and State project documentation has been received and verified. (submitted by James Carothers)

WS-720A Pay Estimate No. 9 Final

I. Authorized Pay Estimate 6 for Project No. WS-741 2014 STEP/STEF Tank Pumping to AAA Septic Service in the amount of $3,384.20 for work through November 30, 2014. This project provides for on-going pumping of STEP and STEF Tanks throughout Camas and is funded by the Water/Sewer Fund. (submitted by James Carothers)

WS-741 Pay Estimate No. 6

J. Authorized Pay Estimate 2 for Project No. S-583 NW 18th Bike and Pedestrian Trail Link to Green Construction, Inc., in the amount of $140,506.94 for work through November 30, 2014. This budgeted project is partially funded by a Transportation Alternatives Program grant, neighborhood contributions and the storm drainage utility. (submitted by James Carothers)

S-583 Pay Estimate No. 2

K. Authorized Pay Estimate 6 for Project No. S-565 NW 38th Avenue Roadway Improvements, Phase 2 to Nutter Corporation in the amount of $272,030.54 for work completed from November 1, 2014 through December 8, 2014. (submitted by James Carothers)

S-565 Pay Estimate No. 6

L. Authorized the Mayor to execute an agreement with Lloyd Halverson to provide government affairs services on behalf of the City of Camas for 2015 and 2016. The services will include developing state and federal lobbying strategies, lobbying the Washington State Legislature in support of annual legislative goals, lobbying Congress in support of federal funding for infrastructure projects and providing written and oral reports. The total cost for two years will be $15,000. (submitted by Pete Capell)

Agreement with Lloyd Halverson 2014

M. Approved Pay Estimate 2 for Project No. P-905 Municipal Center Exterior Painting in the amount of $20,126.24. This is the final billing less 5% retainage. This project is fully funded in the City's adopted 2014 Budget. (submitted by Denis Ryan)

P-905 Pay Estimate No. 2

N. Approved yearly allocation of salaries and benefits for the Camas-Washougal Volunteer Firefighters in the amount of $37,778.73. (submitted by Pam O'Brien)

It was moved by Don Chaney, seconded by Melissa Smith to approve the Consent Agenda. The motion carried unanimously.

VI. NON-AGENDA ITEMS

A. Staff

There were no comments from Staff.

B. Council

Smith wished everyone a Happy Christmas and New Year. Turk reminded everyone that there is a new survey on Camas2035.com. Chaney thanked everyone for the great year.

VII. MAYOR

A. Announcements

Mayor wished everyone a Merry Christmas and Happy New Year.

B. Camas City Council and Committee Appointments for 2015
Department/Presenter: Mayor Scott Higgins

Committee Appointments 2015

2015 Council Committee Appointments

Mayor noted the reappointment of Jeff Groff to the Library Board until December 31, 2019; Jim Short, Frank Hood, and Lloyd Goodlett to the Planning Commission until December 31, 2017; Cassi Marshall and Steve Lorenz to the Design Review Board until December 31, 2017, and Tanis Knight to the Civil Service Commission for December 31, 2020.

It was moved by Melissa Smith, seconded by Steve Hogan to approve the Boards and Commission Committee Appointments for 2015. The motion carried unanimously.

Mayor referred to the list of Council Committee Assignments for 2015 and noted that Council vacancy appointments will occur after the new Council member is appointed. The C-Tran liaison is Greg Anderson and Mayor Higgins is the alternate.

It was moved by Melissa Smith, seconded by Shannon Turk to approve the Camas City Council Committee Appointments for 2015. The motion carried unanimously.

It was moved by Don Chaney, seconded by Melissa Smith that Greg Anderson serves as Mayor Pro Tem for the year 2015. The motion carried unanimously.

VIII. FINANCE

A. Readopting Resolution No. 1314 with Amended 2015 Fee Schedule

Details: Resolution No. 1314 was approved December 1, 2014, establishing a 2015 Fee Schedule with an effective date of January 1, 2015. Resolution No. 1314 had the incorrect fee schedule (2014) attached rather than the proposed 2015 Fee Schedule as presented on November 3, 2014, to City Council and considered during the Public Hearing on November 17, 2014.

Department/Presenter: Cathy Huber Nickerson, Finance Director

Resolution 1314 -- Adopting 2015 Fee Schedule

Executed Resolution No. 1314 - Posted12-17-14

It was moved by Linda Dietzman, seconded by Steve Hogan that Resolution No. 1314 with the amended Fee Schedule be read by title only. The motion carried unanimously.

It was moved by Linda Dietzman, seconded by Steve Hogan to readopt Resolution No. 1314 to include the Amended 2015 Fee Schedule. The motion carried unanimously.

IX. COMMUNITY DEVELOPMENT

A. Public Hearing - Green Mountain Development Agreement

Details: Public Hearing to consider a Development Agreement between Green Mountain Land, LLC and the City of Camas. The proposed agreement involves approximately 1,300 residential units and 8.8 net acres of commercial development on 181 acres of land located north of the Ingle Road and Goodwin Road intersection.

Department/Presenter: Phil Bourquin, Community Development Director

Green Mountain Development Agreement (replaced 12-15-14)

Green Mountain DA Exhibits

Mayor Scott Higgins opened the public hearing at 7:11 p.m.

The following members of the public spoke:

Randy Printz, 805 Broadway, Vancouver
Rick Marshall, 521 NE 17th Ave.
Russell Wegner, 19910 NE 16th St.
Monica Gruher, 21917 NE 28th St.

Randy Printz, Mayor Higgins, and Bourquin answered questions that were asked.

The public hearing was closed at 7:26 p.m.

To give time for getting a full copy of Resolution No. 1315, Council moved on to Item C.

B. Resolution No. 1315 Adopting the Green Mountain Development Agreement

Details: Resolution adopting the Green Mountain Development Agreement.

Department/Presenter: Phil Bourquin

Executed Resolution No. 1315 - Posted 12-17-14

Green Mountain Resolution 1315

It was moved by Linda Dietzman, seconded by Melissa Smith that Resolution No. 1315 be read by title only. The motion carried unanimously.

It was moved by Linda Dietzman, seconded by Steve Hogan to adopt Resolution No. 1315. The motion carried unanimously.

C. Final Plat for Hidden Terrace (formerly "Hidden Meadows")

Details: Hidden Terrace is a 60-lot single-family development located at NW Astor and NW 43rd Avenue. The development received preliminary plat approval on December 5, 2005, and was subsequently modified through a major modification decision. (File #MajMod13-02)

Department/Presenter: Sarah Fox, Senior Planner

Hidden Terrace Staff Report FP14-04

Hidden Terrace Plat FP14-04

It was moved by Shannon Turk, seconded by Linda Dietzman to approve the final plat for Hidden Terrace Subdivision (File #FP14-04). The motion carried unanimously.

D. Public Hearing - Webberly/Hagensen Annexation (File # ANNEX14-03) Hearing for 10% Petition to Annex into the City Limits

Details: The Webberly/Hagensen annexation request is to incorporate approximately 32 acres into the City limits just north of the Camas High School campus.

Department/Presenter: Robert Maul, Planning Manager

10% Petition Staff Report

Webberly-Hagensen Annexation Application

Mayor Higgins opened the public hearing at 7:38 p.m.

The following members of the public testified:
Brett Webberly, 25817 NE 3rd St., Camas
Larry Webberly, 1441 Canyon Creek Rd., Camas

Mayor closed the public hearing at 7:41 p.m.

Staff responded to questions from Council.

It was moved by Shannon Turk, seconded by Melissa Smith to accept the notice but modify the boundaries to include the nine parcels as noted in the map by the hash marks, direct the proponents to circulate a petition and require the simultaneous adoption of a proposed zoning regulation and the assumption of any existing indebtedness. The motion carried with Linda Dietzman voting no.

E. Public Hearing - Amendments to Camas Municipal Code (CMC), Title 16 Environment, Chapter 16.53 Wetlands

Details: On November 18, 2014, the Planning Commission held a public hearing and forwarded a recommendation of approval for amendments to Camas Municipal Code Title 16 Environment, Chapter 16.53 Wetlands. The amendments are intended to comply with new mandates from the Department of Ecology.

Department/Presenter: Sarah Fox, Senior Planner and Robert Maul, Planning Manager

Staff Report

Exhibit A

Exhibit B

Draft Chapter 16.53 Wetlands

Mayor Higgins opened the public hearing at 7:52 p.m.

The public hearing was closed at 7:52 p.m.

Council made comments.

It was moved by Linda Dietzman, seconded by Shannon Turk to approve the amendments and direct the City Attorney to prepare an ordinance for adoption. The motion carried unanimously.

F. Public Hearing - Annual 2014 Comprehensive Plan Amendments

Details: The proposed 2014 Annual Comprehensive Plan Amendments include the following: the Grass Valley Plan (File No. CPA14-02); the Parks, Recreation, and Open Space Comprehensive Plan (File No. CPA14-03 "PROS" Plan); and miscellaneous map amendments. City Council must consider the proposed amendments concurrently so that the cumulative effect of the various proposals can be ascertained. Due to map inconsistencies at the public hearing on December 1, 2014, revised draft maps are included with the staff report.

Department/Presenter: Phil Bourquin, Community Development Director; Robert Maul, Planning Manager; Sarah Fox, Senior Planner

Staff Report for Dec. 15 2014

Exhibit A Draft Comprehensive Plan Map

Exhibit B Draft Camas Zoning Map

CPA14-02 Narrative 01-13-14

CPA14-02 Narrative 10-6-14

CPA14-02 Market Analysis

CPA14-02 Proposed Comp Plan

CPA14-02 Proposed Zoning

CPA14-02 Existing Comp Plan

CPA14-02 Existing Zoning

Mayor Higgins opened the public hearing at 7:52 p.m.

The following members of the public testified:
Randy Printz, 805 Broadway, Vancouver, asked that the materials submitted during the December 1st Council Meeting be part of the record for this meeting.

The public hearing was closed at 7:53 p.m.

There were no comments from Council.

It was moved by Linda Dietzman, seconded by Shannon Turk to revoke the prior approval of December 1st, and to amend the City's Comp Plan by 1. Accepting the findings and conclusions of the Staff Report dated December 5, 2014, and to include the CPA14-02 Grass Valley Plan, the CPA14-03 Parks, Recreation, and Open Space Comprehensive Plan and the miscellaneous map amendments as detailed in the Staff Report, Section III, C. and 2. To adopt the Comprehensive Plan Map (Exhibit A) and Zoning Map (Exhibit B) including the consolidated amendments.

The City Attorney will prepare an ordinance for adoption on January 5, 2015. The motion carried unanimously.

G. Ordinance No. 2720 Amending the Camas Municipal Code, Section 18.07.030 Table 1 Commercial and Industrial Zones

Details: On November 17, 2014, Council held a public hearing to review amendments to the Camas Municipal Code (CMC), Section 18.07.030 Table 1 Commercial and industrial zones. The amendments will prohibit new residential uses in light industrial zones. At the conclusion of the public hearing Council motioned to approve the amendments as drafted and directed the City Attorney to prepare an Ordinance for adoption.

Department/Presenter: Sarah Fox, Senior Planner and Robert Maul, Planning Manager

Executed Ordinance No. 2720 - Posted 12-17-14

Ordinance 2720 Amending Section 18.07.030 Table 1

Exhibit A

It was moved by Shannon Turk, seconded by Tim Hazen that Ordinance No. 2720 be read by title only. The motion carried unanimously.

It was moved by Linda Dietzman, seconded by Shannon Turk that Ordinance No. 2720 be adopted and published according to law. The motion carried unanimously.

H. Ordinance No. 2721 Amending the Camas Municipal Code by Adding Chapter 3.86 Multifamily Tax Exemption

Details: An Ordinance amending the Camas Municipal Code (CMC) by adding Chapter 3.86, implementing a multi-family property tax exemption program provided for under the Revised Code of Washington (RCW

84.14) and designating three residential target areas. City Council held a public hearing on December 1, 2014, on this matter.

Department/Presenter: Phil Bourquin, Community Development Director

Executed Resolution No. 2721 - Posted 12-17-14

Ordinance 2721 Amending CMC 3.86

CMC 3.86

It was moved by Don Chaney, seconded by Steve Hogan that Ordinance No. 2721 be read by title only. The motion carried unanimously.

It was moved by Don Chaney, seconded by Steve Hogan that Ordinance No. 2721 be adopted and published according to law. The motion carried unanimously.

Mayor thanked Council and Staff for their patience and persistence in pursuing what is best and technically correct for Camas.

X. PUBLIC COMMENTS

There were no comments from the public.

XI. ADJOURNMENT

The meeting adjourned at 8:03 p.m.

NOTE: The City of Camas welcomes and encourages the participation of all of its citizens in the public meeting process. A special effort will be made to ensure that a person with special needs has the opportunity to participate. For more information, please call 360.834.6864.

Quick Preview of Agenda and Supporting Documents

Quick Preview of Agenda and Supporting Documents - Posted 12-15-14 (large file-it may take a few minutes to load)

_____ _____

Mayor City Clerk

CITY COUNCIL WORKSHOP MEETING MINUTES - DRAFT
Monday, December 15, 2014 at 4:30 p.m.
Camas City Hall, 616 NE 4th Avenue

I. CALL TO ORDER

Mayor Scott Higgins called the meeting to order at 4:30 p.m.

II. ROLL CALL

Present: Don Chaney, Linda Dietzman, Tim Hazen, Steve Hogan, Melissa Smith and Shannon Turk

Excused: Greg Anderson

Staff: Kristin Berquist, Phil Bourquin, Pete Capell, James Carothers, Sarah Fox, Jennifer Gorsuch, Cathy Huber Nickerson, Mitch Lackey, Leona Langlois, Robert Maul, and Steve Wall

Press: No one from the press was present

III. PUBLIC COMMENTS

Chris Kralik, 631 NW 18th Loop, Camas, followed up with a report to Council about the traffic issues on NW Fargo and made a suggestion for improvements.

Manoj Kripalani, PO Box 451, Camas, wished staff a Merry Christmas, and talked about flexibility.

Matt Olson, 4600 Camas Meadows Dr., Camas, spoke about the upcoming development proposals and listed three items for Staff to consider before making decisions pertaining to each of these items.

IV. PUBLIC WORKS DEPARTMENT

A. WasteWater Treatment Plant (WWTP) Energy Efficiency Upgrades

Details: Staff has been working with Abacus Resource Management Company and the Washington State Department of Enterprise Services (DES) to develop and finalize the Energy Services Proposal for the Wastewater Treatment Plant's energy efficiency upgrades to the Blower

Control and the Ultraviolet Disinfection Control operating systems. The scope and total cost of the proposed upgrades are consistent with the Energy Efficiency Grant Proposals Presentation made to Council on September 15, 2014, and the project was included in the adopted 2015/2016 Budget. The total cost of the project is $473,294 with guaranteed energy savings of $17,977 per year and a one-time cash incentive from Clark Public Utilities for the project of $123,265. Staff will review Abacus' Energy Services Proposal with Council and walk Council through the DES process for completing the project.

Department/Presenter: Steve Wall, Utilities Manager

WWTP Energy Services Proposal

Example IAA and Funding Authorization Forms

The Amended Interagency Agreement, along with the funding authorizations for the design and construction with DES, will be included on an upcoming consent agenda.

B. Miscellaneous and Updates

Details: Updates on miscellaneous or emergent items

Department/Presenter: Eric Levison, Public Works Director

Wall reported that Camas received the maximum $500,000 grant for the Light Emitting Diode (LED) Proposal so this proposal and a plan to execute it will be brought to a future Council meeting.

Wall gave a quick update on the storm event that occurred in Camas the week of December 8th.

V. COMMUNITY DEVELOPMENT DEPARTMENT

A. Lofts at Camas Meadows Development Agreement

Details: Workshop to discuss a proposed Development Agreement for The Lofts at Camas Meadows LLC, Vanport Manufacturing, Inc. and the City of Camas. The proposed agreement is an amendment to two prior agreements and includes dimensional standards, land uses, access, as well as landscaping along Camas Meadows Drive.

Department/Presenter: Phil Bourquin, Community Development Director

Development Agreement

Exhibits A through F

A public hearing and accompanying resolution for the Lofts at Camas Meadows Development Agreement is scheduled to be placed on the January 5, 2015, Regular Agenda.

B. Stoneleaf Final Plat

Details: Stoneleaf is a 54-lot subdivision approved on October 15, 2014 (File #SUB12-02). A staff report and supporting documents will be submitted for the regular meeting on January 5, 2015.

Department/Presenter: Robert Maul, Planning Manager

Stoneleaf Plat 120114

C. Miscellaneous and Updates

Details: Updates on miscellaneous or emergent items

Department/Presenter: Phil Bourquin, Community Development Director

Bourquin wished everyone a "Merry Christmas".

VI. CITY ADMINISTRATION

A. Public Works Director Transition Plan

Details: Eric Levison will be retiring in the spring of 2015. Staff recommends an internal appointment instead of a recruitment process.

Department/Presenter: Pete Capell, City Administrator

Capell noted the options for the transition from the current Public Works Director to a new director and informed Council that there would be an executive session to discuss the candidates and to discuss personnel matters.

B. Miscellaneous and Scheduling

Details: Updates on miscellaneous or scheduling items

Department/Presenter: Pete Capell, City Administrator

Capell attended the Columbia River Economic Development Commission

(CREDC) Luncheon earlier today and noted there was a panel discussion about visioning led by Mayor Higgins. Some attendees referred to Camas as the model for visioning and Capell gave the credit for this to a consistent vision between the various Mayors and Councils.

Capell recited the schedule for the 2015 Council Planning Conference.

VII. COUNCIL COMMENTS AND REPORTS

Hogan noted that the Christmas Tree Lighting was a success and that Downtown Camas Association (DCA) received funding from the Washington State Main Street Tax Credit Incentive Program and noted the benefits the companies who donate to the program receive.

Hazen said that the Hometown Holidays Event was well organized.

Turk attended the Camas 2035 Vision Meeting and encouraged everyone to attend the next Camas 2035 Vision Meeting for the public that will be held at 6 p.m. on January 8th at the Lacamas Lake Lodge and Conference Center. Turk also commented about the Chamber of Commerce lunch she attended.

Mayor said he enjoyed the atmosphere of Hometown Holidays and made comments about what he enjoyed about the CREDC luncheon.

VIII. PUBLIC COMMENTS

Chris Kralik, NW 18th Loop, Camas, spoke about the professional attitude of the City of Camas Staff and wished everyone a great holiday season and health in 2015.

IX. EXECUTIVE SESSION

A. Personnel

The meeting recessed at 5:03 p.m. for discussion about personnel for an estimated ten minutes. No further action will be taken.

The meeting reconvened at 5:22 p.m.

X. ADJOURNMENT

The meeting adjourned at 5:22 p.m.

NOTE: The City of Camas welcomes and encourages the participation of all of its citizens in the public meeting process. A special effort will be made to ensure

that a person with special needs has the opportunity to participate. For more information, please call 360.834.6864.

Quick Preview of Workshop Agenda and Supporting Documents - Posted 12/10/14

Workshop Agenda with Supporting Documents

Mayor	City Clerk

CITY OF CAMAS **PROJECT NO. WS-714/729** **Project Name: STEP SEWER RR CROSSING/GARFIELD WATER LINE**	**PAY ESTIMATE: FIVE - FINAL** PAY PERIOD: 8/23/14 Through 8/30/14 ORIGINAL CONTRACT AMOUNT: $690,809.35	3 Kings Environmental 1311 SE Grace Ave Battle Ground, WA 98604 360-666-5464

ITEM NO.	DESCRIPTION	UNIT	ORIGINAL QUANTITY	UNIT PRICE	CONTRACT TOTAL	QUANTITY PREVIOUS	TOTAL PREVIOUS	QUANTITY THIS EST.	TOTAL THIS EST.	QUANTITY TO DATE	TOTAL TO DATE
SCHEDUILE A: STEP SEWER RR CROSSING, WS-714											
1	Mobilization	LS	1.00	$25,000.00	$25,000.00	1.00	$25,000.00	0.00	$0.00	1.00	$25,000.00
2	SPCC Plan	LS	1.00	$500.00	$500.00	1.00	$500.00	0.00	$0.00	1.00	$500.00
3	Project Temporary Traffic Control	LS	1.00	$2,875.00	$2,875.00	1.00	$2,875.00	0.00	$0.00	1.00	$2,875.00
4	Crushed Surfacing Base Course	CY	5.00	$48.50	$242.50	5.00	$242.50	0.00	$0.00	5.00	$242.50
5	HMA Cl. 1/2 In. Pg 64-22	TON	5.00	$180.00	$900.00	6.87	$1,236.60	0.00	$0.00	6.87	$1,236.60
6	PVC Sanitary Sewer Pipe 24 Inch Diam.	LF	110.00	$158.00	$17,380.00	99.00	$15,642.00	0.00	$0.00	99.00	$15,642.00
7	Testing Sewer Pipe	LF	110.00	$11.00	$1,210.00	99.00	$1,089.00	0.00	$0.00	99.00	$1,089.00
8	48-Inch Steel Casing	LF	94.00	$2,103.00	$197,682.00	78.00	$164,034.00	0.00	$0.00	78.00	$164,034.00
9	Ramming Shaft	EA	1.00	$26,250.00	$26,250.00	1.00	$26,250.00	0.00	$0.00	1.00	$26,250.00
10	Reception Shaft	EA	1.00	$10,050.00	$10,050.00	1.00	$10,050.00	0.00	$0.00	1.00	$10,050.00
11	Obstruction Removal	EST	1.00	$20,000.00	$20,000.00	0.493562	$9,871.23	0.00	$0.00	0.49	$9,871.23
12	Erosion & Water Pollution Control	LS	1.00	$3,420.00	$3,420.00	1.00	$3,420.00	0.00	$0.00	1.00	$3,420.00
13	Utility Marker Posts	EA	1.00	$150.00	$150.00	1.00	$150.00	0.00	$0.00	1.00	$150.00
14	Casing Vent Standpipe	EA	1.00	$2,770.00	$2,770.00	1.00	$2,770.00	0.00	$0.00	1.00	$2,770.00
	TOTAL STEP SEWER SCHEDULE A:				**$308,429.50**		**$263,130.33**		**$0.00**		**$263,130.33**
	Sales Tax (8.4%):				$25,908.08		$22,102.95		$0.00		$22,102.95
	Subtotal:				$334,337.58		$285,233.28		$0.00		$285,233.28
	5% RETAINAGE								$0.00		
	SCHEDULE A: WS-714 TOTAL LESS RETAINTAGE								**$0.00**		

SCHEDUILE A: CHANGE ORDERS, WS-714											
1	C.O. #1 - Item C, Over Excavation for 8 Inch Tie-In	EA	1.00	$3,691.21	$3,691.21	1.00	$3,691.21	0.00	$0.00	1.00	$3,691.21
2	C.O. #1 - Item D, Upsize Fittings, 6 Inch to 8 Inch	EA	1.00	$2,908.46	$2,908.46	1.00	$2,908.46	0.00	$0.00	1.00	$2,908.46
3	C.O. #2 - Item A, Mandatory Overtime Labor Pay	LS	1.00	$2,357.29	$2,357.29	0.00	$0.00	1.00	$2,357.29	1.00	$2,357.29
4	C.O. #2 - Item B, Payment for Extra 48" Casing	LS	1.00	$8,160.00	$8,160.00	0.00	$0.00	1.00	$8,160.00	1.00	$8,160.00
				$0.00	$0.00	0.00	$0.00	0.00	$0.00	0.00	$0.00
	TOTAL CHANGE ORDER SCHEDULE A:				**$17,116.96**		**$6,599.67**		**$10,517.29**		**$17,116.96**
	Sales Tax (8.4%):				$1,437.82		$554.37		$883.45		$1,437.82
	Subtotal:				$18,554.78		$7,154.04		$11,400.74		$18,554.78
	5% RETAINAGE								($525.86)		
	SCHEDULE A: CHANGE ORDER TOTAL LESS RETAINTAGE								**$10,874.88**		

CITY OF CAMAS **PROJECT NO. WS-714/729** **Project Name: STEP SEWER RR CROSSING/GARFIELD WATER LINE**	**PAY ESTIMATE: FIVE - FINAL** PAY PERIOD: 8/23/14 Through 8/30/14 ORIGINAL CONTRACT AMOUNT: $690,809.35	3 Kings Environmental 1311 SE Grace Ave Battle Ground, WA 98604 360-666-5464

ITEM NO.	DESCRIPTION	UNIT	ORIGINAL QUANTITY	UNIT PRICE	CONTRACT TOTAL	QUANTITY PREVIOUS	TOTAL PREVIOUS	QUANTITY THIS EST.	TOTAL THIS EST.	QUANTITY TO DATE	TOTAL TO DATE
SCHEDUILE B: STEP GARFIELD WATER LINE, WS-729											
1	Mobilization	LS	1.00	$25,000.00	$25,000.00	1.00	$25,000.00	0.00	$0.00	1.00	$25,000.00
2	SPCC Plan	LS	1.00	$500.00	$500.00	1.00	$500.00	0.00	$0.00	1.00	$500.00
3	Archaelogical Standby Time	HR	12.00	$400.00	$4,800.00	0.00	$0.00	0.00	$0.00	0.00	$0.00
4	Clearing And Grubbing	LS	1.00	$675.00	$675.00	1.00	$675.00	0.00	$0.00	1.00	$675.00
5	Project Temporary Traffic Control	LS	1.00	$3,600.00	$3,600.00	1.00	$3,600.00	0.00	$0.00	1.00	$3,600.00
6	Crushed Surfacing Base Course	CY	25.00	$48.50	$1,212.50	25.00	$1,212.50	0.00	$0.00	25.00	$1,212.50
7	HMA Cl. 1/2 In. Pg 64-22	TON	5.00	$180.00	$900.00	6.76	$1,216.80	0.00	$0.00	6.76	$1,216.80
8	Shoring	LF	1.00	$2,200.00	$2,200.00	1.25	$2,750.00	0.00	$0.00	1.25	$2,750.00
9	Plugging Existing Pipe	EA	3.00	$990.00	$2,970.00	4.00	$3,960.00	0.00	$0.00	4.00	$3,960.00
10	Removal and Replacement of Unsuitable Mat.	CY	20.00	$75.00	$1,500.00	0.00	$0.00	0.00	$0.00	0.00	$0.00
11	Existing Water Main Restraint	EA	3.00	$850.00	$2,550.00	3.00	$2,550.00	0.00	$0.00	3.00	$2,550.00
12	Ductile Iron Class 52 Pipe for Water Main 6 In.	LF	20.00	$150.00	$3,000.00	15.00	$2,250.00	0.00	$0.00	15.00	$2,250.00
13	Ductile Iron Class 52 Pipe for Water Main 16 In.	LF	280.00	$200.00	$56,000.00	280.00	$56,000.00	0.00	$0.00	280.00	$56,000.00
14	Butterfly Valve 16 in.	EA	1.00	$3,182.00	$3,182.00	1.00	$3,182.00	0.00	$0.00	1.00	$3,182.00
15	Tapping Sleeve and Valve Assembly, 16x6 In.	EA	1.00	$4,296.00	$4,296.00	1.00	$4,296.00	0.00	$0.00	1.00	$4,296.00
16	48-Inch Steel Casing	LF	66.00	$2,103.00	$138,798.00	65.50	$137,746.50	0.00	$0.00	65.50	$137,746.50
17	Ramming Shaft	EA	1.00	$25,700.00	$25,700.00	1.00	$25,700.00	0.00	$0.00	1.00	$25,700.00
18	Reception Shaft	EA	1.00	$8,115.00	$8,115.00	1.00	$8,115.00	0.00	$0.00	1.00	$8,115.00
19	Obstruction Removal	EST	1.00	$30,000.00	$30,000.00	1.00	$30,000.00	0.00	$0.00	1.00	$30,000.00
20	Erosion & Water Pollution Control	LS	1.00	$3,400.00	$3,400.00	1.00	$3,400.00	0.00	$0.00	1.00	$3,400.00
21	Seeding, Fertilizing, and Mulching	LS	1.00	$5,000.00	$5,000.00	1.00	$5,000.00	0.00	$0.00	1.00	$5,000.00
22	Utility Marker Posts	EA	3.00	$150.00	$450.00	3.00	$450.00	0.00	$0.00	3.00	$450.00
23	Removing and Resetting Beam Guardrail	LF	10.00	$500.00	$5,000.00	12.50	$6,250.00	0.00	$0.00	12.50	$6,250.00
	TOTAL GARFIELD WATERLINE				**$328,848.50**		**$323,853.80**		**$0.00**		**$323,853.80**
	Sales Tax (8.4%):				$27,623.27		$27,203.72		$0.00		$27,203.72
	Subtotal:				$356,471.77		$351,057.52		$0.00		$351,057.52
	5% RETAINAGE								$0.00		
	SCHEDULE B: WS-729 TOTAL LESS RETAINTAGE								**$0.00**		

SCHEDUILE B: CHANGE ORDERS, WS-729											
1	C.O. #1 - Item A, Relocate Ramming Shaft	EA	1.00	$6,174.81	$6,174.81	1.00	$6,174.81	0.00	$0.00	1.00	$6,174.81
2	C.O. #1 - Item B, Return of Shoring	EA	1.00	$2,476.76	$2,476.76	1.00	$2,476.76	0.00	$0.00	1.00	$2,476.76
3	C.O. #2 - Item C, Add 1" Corp. Stop	LS	1.00	$497.80	$497.80	0.00	$0.00	1.00	$497.80	1.00	$497.80
4	C.O. #2 - Item D, Exc. Under Unmarked Pipe	LS	1.00	$1,183.58	$1,183.58	0.00	$0.00	1.00	$1,183.58	1.00	$1,183.58
5	C.O. #2 - Item E, Add 6" 45 Deg. Bend	LS	1.00	$259.45	$259.45	0.00	$0.00	1.00	$259.45	1.00	$259.45
6	C.O. #2 - Item F, Delete Item 3, Archeol. Stdby.	HR	-12.00	$400.00	($4,800.00)	0.00	$0.00	0.00	$0.00	0.00	$0.00
7	C.O. #2 - Item G, Delete Item 10, Unsuitable Mat'l	CY	-20.00	$75.00	($1,500.00)	0.00	$0.00	0.00	$0.00	0.00	$0.00
				$0.00	$0.00	0.00	$0.00	0.00	$0.00	0.00	$0.00
	TOTAL CHANGE ORDER SCHEDULE B:				**$4,292.40**		**$8,651.57**		**$1,940.83**		**$10,592.40**
	Sales Tax (8.4%):				$360.56		$726.73		$163.03		$889.76
	Subtotal:				$4,652.96		$9,378.30		$2,103.86		$11,482.16
	5% RETAINAGE								($97.04)		
	SCHEDULE B: CHANGE ORDER TOTAL LESS RETAINTAGE								**$2,006.82**		

CITY OF CAMAS **PROJECT NO. WS-714/729** **Project Name: STEP SEWER RR CROSSING/GARFIELD WATER LINE**	**PAY ESTIMATE: FIVE - FINAL** PAY PERIOD: 8/23/14 Through 8/30/14 ORIGINAL CONTRACT AMOUNT: $690,809.35	3 Kings Environmental 1311 SE Grace Ave Battle Ground, WA 98604 360-666-5464

ITEM NO.	DESCRIPTION	UNIT	ORIGINAL QUANTITY	UNIT PRICE	CONTRACT TOTAL	QUANTITY PREVIOUS	TOTAL PREVIOUS	QUANTITY THIS EST.	TOTAL THIS EST.	QUANTITY TO DATE	TOTAL TO DATE
	WS-714 / WS-729 SCHEDULE A&B:				CONTRACT TOTAL		TOTAL PREVIOUS		**TOTAL THIS EST.**		TOTAL TO DATE
	ORIGINAL CONTRACT TOTAL				$637,278.00		$586,984.13		$0.00		$586,984.13
	CHANGE ORDERS TO DATE				$21,409.36		$15,251.24		$12,458.12		$27,709.36
	SUBTOTAL				$658,687.36		$602,235.37		$12,458.12		$614,693.49
	SALES TAX (8.4%)				$55,329.74		$50,587.77		$1,046.48		$51,634.25
	TOTAL CONTRACT				$714,017.10		$652,823.14		$13,504.60		$666,327.74
	LESS 5% RETAINAGE						($30,111.77)		($622.91)		($30,734.67)
	TOTAL LESS RETAIN.						**$622,711.37**		**$12,881.70**		**$635,593.07**

WS-714 SEWER ACT. NUMBER: 424-00-594-350-65	**THIS PAY EST:**	**$10,874.88**
WS-729 WATER ACT. NUMBER: 424-00-594-343-65	**THIS PAY EST:**	**$2,006.82**

Steve Dunpke 9/8/14
Project Engineer Date

Mark Yeh 9-9-2014
Contractor Date

James Hodges 9/9/2014
Project Manager Date

RFC
ENTERED
JK 9/9/14

P D BADERTSCHER CONST LLC
5317 NE 316TH CT
CAMAS, WA 98607

Invoice

Date	Invoice #
12/23/2014	3161190

Pay Estimate 3

Contractor Licenses
WA - PDBADBC942RG
OR - CCB#190193

Bill To

CITY OF CAMAS
PUBLIC WORKS DEPARTMENTS
P O BOX 1055
CAMAS WA 98607

Terms

Due on receipt

Description	Amount
PROJECT NO. P-899 FINAL INVOICE	
TOTAL AFTER CHANGE ORDER 2	34,034.93
PAYMENT 1: RECEIVED 9-15-14	-8,919.15
PAYMENT 2: RECEIVED 10-6-14	-4,047.12
Sales Tax	0.00

95 % $ 20,015.23

Retainage of 5 % held

Thank you for your business.

Total $21,068.66

Phone #	Fax #	E-mail	Web Site
360-798-8771	360-834-2597	pat@concreterus.com	www.concreterus.com

RESOLUTION NO. 15-001

A RESOLUTION adopting a City of Camas fee schedule.

WHEREAS, the City of Camas has the authority to establish fees and charges for services provided by the City; and

WHEREAS, it is prudent business to review fees and charges imposed by the City; and

WHEREAS, it is necessary to establish such fees at rates that reasonably assure recovery of the full direct and indirect costs of the time and materials expended to provide the service for which the fee is charged; and

WHEREAS, it should be understood that these fees and charges are an important part of the resources for the operation of the City and in many cases do not cover the costs involved; and

WHEREAS, the fee schedule and administrative provisions set forth in this resolution are supported by the analysis performed by the City; and

WHEREAS, it is desirable to improve the City's ability to communicate its fees and charges to its citizens and customers through the preparation of a consolidated fee schedule.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF CAMAS AS FOLLOWS:

I

The fees and charges on the attached Exhibit "A" are adopted and made part of the City of Camas Fee Schedule effective January 19, 2015.

II

On January 1 of each year, the fees set forth in this Resolution may increase (if allowed by law) by the rate of increase, if any, of the Consumer Price Index for All Urban Consumers for Portland-Vancouver, All Items, June to June Index published by the Bureau of Labor Statistics in the year prior. Fees will be rounded to the next highest whole dollar.

III

ADOPTED by the Council of the City of Camas and approved by the Mayor this 5th day of January, 2015.

SIGNED:_____
Mayor

ATTEST:_____
Clerk

APPROVED as to form:

_____
City Attorney

2015 City of Camas Fee Schedule

Fee Description	Notes	Fee
ADMINISTRATIVE FEES		
Public Records		
Postage		actual cost
All Other Records Photocopied - Black & White	per page	$0.15
All Other Records Photocopied - Color	per page	$0.50
Map - 11 x 17 Color		$3.25
Map - 24 x 36 print		$3.25
Map - 24 x 36 color original		$6.50
Map - 42 x 36 print		$6.50
Map - 42 x 36 color original		$13.00
Camas Municipal Code Book		actual cost
Photos		actual cost
Photos - Digital Black & White	per page	$0.15
Photos - Digital Color	per page	$1.05
Compact Disk of Council Meeting	each	$0.50
Tape of Council Meeting		$5.25
COMMUNITY DEVELOPMENT, BUILDING & PLANNING FEES		
Building Permit Fees **Total Valuation**		
$1.00 to $500.00		$24.00
$501.00 to $2,000.00	$24.00 for first $500 plus $3.10 for each additional $100,or fraction thereof, to and including $2,000.00	
$2,001.00 to $25,000.00	$71.00 for the first $2,000.00 plus $14.25 for each additional $1,000.00, or fraction thereof, to and including $25,000.00	
$25,001.00 to $50,000.00	$400.00 for the first $25,000.00 plus $10.50 for each additional $1,000.00, or fraction thereof, to and including $50,000.00	
$55,001.00 to $100,000.00	$660 for the first $50,000.00 plus $7.25 for each additional $1,000.00, or fraction thereof, to and including $100,000.00	
$100,001.00 to $500,000.00	$1,020.00 for the first $100,000.00 plus $6.00 for each additional $1,000.00,or fraction thereof, to and including $500,000.00	
$500,001.00 to $1,000,000.00	$3,300.00 for the first $500,000.00 plus $5.00 for each additional $1,000.00, or fraction thereof, to and including $1,000,000.00	
$1,000,001.00 and up	$5,730.00 for the first $500,000.00 plus $3.75 for each additional $1,000.00 or fraction thereof.	
Other Inspections & Fees		
Inspections During Non-Business Hours (minimum charge 2 hours)	per hour	$69.00
Re-inspection Fees	per hour	$69.00
Inspections for which No Fee is Specifically Indicated (minimum charge - one half hour)	per hour	$69.00
Additional Plan Review for Changes, Additions or Revisions to Plans (minimum charge - one half hour	per hour	$69.00
Use of Outside Consultants for Plan Checking and Inspections, or both		Actual Costs[1]
Reissue of Lost Permit		$34.50
Reissue of Lost or Damaged Approved Construction Plans & Documents		$69.00
[1]Acutal costs include administrative and overhead costs.		

2015 City of Camas Fee Schedule

Fee Description	Notes	Fee
Building Valuation Table		
Building Valuation Table	100% of ICC Building Safety Journal Building Valuation Data	
Grading Plan Review Fees		
50 cubic yards (38.2m^3) or less		No Fee
51 to 100 cubic yards (40m^3 to 76.5m^3)		$24.00
101 to 1,000 cubic yards (77.2m^3 to 764.6m^3)		$38.00
1,001 to 10,000 cubic yards (765.3m^3 to 7645.5m^3)		$50.50
10,001 to 100,000 cubic yards (7646.3m^3 to 76455m^3) - $50.50 for the first 10,000 cubic yards, plus $13.505 for each additional 10,000 cubic yards or fraction thereof		
100,001 to 200,000 cubic yards (76456m^3 to 152911m^3) $276.00 for the first 100,000 cubic yards (76456m^3), plus $13.50 for each additional 10,000 (7645.5m^3) cubic yards or fraction thereof.		
200,001 (152912m^3) cubic yards or more - $415.00 for the first 200,000 (152911m^3) cubic yards, plus $7.50 for each additional 10,000 (7656.5m^3) cubic yards or fraction thereof.		
Other Grading Plan Fees		
Additional Plan Review required by Changes, Additions or Revisions to Approved Plans (minimum charge - one half hour)	per hour	$69.00
Grading Permit Fees[1]		
50 cubic yards (38.2m^3) or less		No Fee
51 to 100 cubic yards (40m^3 to 76.5m^3)		$24.00
101 to 1,000 cubic yards (77.2m^3 to 764.6m^3)		$38.00
1,001 to 10,000 cubic yards (7646.3m^3 to 76455m^3)		$50.50
10,001 to 100,000 cubic yards (76456m^3 to 76455m^3) - $50.50 for the first 10,000 cubic yards (7645.5m^3),plus $13.50 for each additional 10,000 cubic yards (7645.5m^3) or fraction thereof.		
100,001 to 200,000 cubic yards (76456m^3 to 152911m3) - $276.00 for the first 100,000 (76455m^3) cubic yards, plus $13.50 for each additional 10,000 cubic yards (7645.5m^3) or fraction thereof.		
200,001 cubic yards (152912m^3) or more - $415.00 for the first 200,000 cubic yards (152911m^3), plus $7.50 for each additional 10,000 cubic yards (7645.5m^3) or fraction thereof.		
Other Grading Fees		
Inspections Outside of Normal Business Hours (minimum charge - 2 hours)	per hour	$69.00
Reinspection Fees, per Inspection	per hour	$69.00
Inspections for which no fee is specifically indicated (minimum charge -one half hour)	per hour	$69.00

2015 City of Camas Fee Schedule		
Fee Description	**Notes**	**Fee**
[1]The fee for a grading permit authorizing additional work to that under a valid permit shall be the difference between the fee paid for the original permit and the fee shown for the entire project.		
Mechanical Permit Fees		
Mechanical Permit		$30.50
Mechanical Permit Supplemental		$15.50
Unit Fee Schedule - Does not include permit issuance fee		
For the installation or relocation of each forced-air or gravity-type furnace or burner, including ducts and vents attached to such appliance, up to and including 100,000 Btu/h (29.3kW)		$22.00
For the installation or relocation of each forced-air or gravity-type furnace or burner, including ducts and vents attached to such appliance, over 100,000 Btu/h (29.3kW)		$27.00
For the installation or relocation of each floor furnace, including vent		$22.00
For the installation or relocation of each suspended heater, recessed wall heater or floor-mounted heater		$22.00
Appliance Vents		
For the installation, relocation or replacement of each appliance vent installed and not included in an appliance permit		$11.00
Repairs or Additions		
Repair or alteration or addition to heating appliance, refrigeration unit, cooking unit, absorption unit or heating, cooling, absorption or evaporative cooling system including installation of controls regulated by Mechanical Code		$20.00
Boilers, Compressor and Absorption Systems		
For the installation or relocation of each boiler or compressor to and including 3 horsepower (10.6 kW), or each absorption system to and including 100,000 Btu/h (29.3kW)		$22.00
For the installation or relocation of each boiler or compressor over 3 horsepower (10.6 kW), to and including 15 horsepower (52.7 kW) or each absorption system over 100,000 Btu/h (29.3 kW) to and including 500,000 Btu/h (146.6 kW)		$40.00
For the installation or relocation of each boiler or compressor over 15 horsepower (52.7 kW), to or including 30 horsepower (105.5 kW), or each absorption system over 500,000 Btu/h (146.6 kW) to and including 1,000,000 Btu/h (293.1 kW)		$55.00
For the installation or relocation of each boiler or compressor over 30 horsepower (105.5 kW), to or including 50 horsepower (176 kW), or each absorption system over 1,000,000 Btu/h (293.1 kW) to and including 1,750,000 Btu/h (512.9 kW)		$81.00
For the installation or relocation of each boiler or compressor over 50 horsepower (176 kW), or each absorption system over 1,750,000 Btu/h (512.9 kW)		$135.00

2015 City of Camas Fee Schedule

Fee Description	Notes	Fee
Air Handlers		
For each air-handling unit to and including 10,000 cubic feet per minute (cfm) (4719 L/s), including ducts attached thereto Note: This fee does not apply to an air-handling unit which is a portion of a factory-assembled appliance, cooling unit, evaporative cooler or absorption unit for which a permit is required elsewhere in the Mechanical Code		$17.50
For each air-handling unit to and including 10,000 cubic feet per minute (cfm) (4719L/s)		$26.50
Evaporative Coolers		
For each evaporative cooler, other than a portable type		$16.00
Ventilation & Exhaust		
For each ventilation fan connected to a single duct		$11.00
For each ventilation system which is not a portion of any heating or air-conditioning system authorized by a permit		$17.50
For the installation of each hood which is served by a mechanical exhaust, including ducts for such hood		$17.50
Incinerators		
For the installation or relocation of each domestic-type incinerator		$27.00
For the installation or relocation of each commercial or industrial-type incinerator		$21.50
Miscellaneous		
For each appliance or piece of equipment regulated by the Mechanical Code but not classed in other appliance categories, or for which no other fee is listed in the table		$15.50
Gas Piping System		
For each gas piping system of one to four outlets		$7.00
For each gas piping exceeding four, each		$2.00
For each hazardous process piping system (HPP) of one to four outlets		$7.50
For each hazardous process piping of five or more outlets, per outlet		$2.00
For each non-hazardous process piping system (NPP) of one to four outlets		$3.75
For each non-hazardous piping system of five or more outlets, per outlet		$1.50
Other Inspections & Fees		
Inspections outside of normal business hours, per hour (minimum charge 2 hours)	per hour	$69.00
Reinspection fees, per inspection		$69.00

2015 City of Camas Fee Schedule		
Fee Description	**Notes**	**Fee**
Inspections for which o fee is specifically indicated, per hour (minimum charge - one half hour)	per hour	$69.00
Additional plan review time required by changes, additions, or revisions to plans or plans for which an initial review has been completed, per hour (minimum charge - one half hour)	per hour	$69.00
Plumbing Permit Fees		
For issuance of each permit		$30.50
For issuance of each supplemental permit for which the original permit has not expired, been cancelled or finalled		$15.50
Unit Fee Schedule (in additional to 2 items above)		
For each plumbing fixture on one trap or a set of fixtures on one trap (including water, drainage piping and backflow protection thereof)		$11.00
For each building sewer and each trailer park sewer		$22.00
Rainwater systems - per drain (inside building)		$11.00
For each water heater and/or vent		$11.00
For each gas-piping system of one to five outlets		$7.00
For each additional gas-piping systems outlet, each outlet		$2.00
For each industrial waste pretreatment interceptor including its trap and vent, except kitchen-type grease interceptors functioning as fixture traps		$11.00
For each installation, alteration or repair of water piping and/or water treating equipment, each		$11.00
For each repair or alteration of drainage or vent piping, each fixture		$11.00
For each lawn sprinkler system on any one meter including backflow protection devices thereof		$11.00
For atmospheric-type vacuum breaker not included in item above:		
one to five		$7.50
over five, each		$2.00
For each backflow protective device other than atmospheric type vacuum breakers:		
two inch (51 mm) diameter and smaller		$11.00
over two inch (51 mm) diameter		$22.00
For each graywater system		$59.00
For initial installation and testing for a reclaimed water system		
For each annual cross-connection testing of a reclaimed water system (excluding initial test)		
For each medical gas piping system serving one to five inlet(s)/outlet(s) for a specific gas		$70.00
For each additional medical gas inlet(s)/outlet(s)		$7.50
Other Inspections & Fees		
Inspections outside of normal business hours (minimum charge - two hours)	per hour	$69.00
Reinspection fees, per inspection		$69.00
Inspections for which no fee is specifically indicated (minimum charge - one half hour)	per hour	$69.00

2015 City of Camas Fee Schedule		
Fee Description	**Notes**	**Fee**
Additional plan review required by changes, additions, or revisions to approved plans (minimum charge - one half hour)	per hour	$69.00
*Per hour for each hour worked, minimum charge: one hour		
Encroachment Permit	first $1500 construction value	$26.00
Encroachment Permit	over $1500 construction value $25.00 plus 2.5% of construction value	
Encroachment Permit extension		$255.00
Planning Fees		
Annexation - 10% petition		$255.00
Annexation - 60% petition		$1,275.00
Appeal Fee		$340.00
Archaeological Review		$115.00
Binding Site Plan	plus $21 per unit	$1,625.00
Boundary Line Adjustment		$87.00
Comprehensive Plan Amendment		$1,700.00
Conditional Use Permit - Residential	plus $95 per unit	$2,950.00
Conditional Use Permit - Non-Residential		$3,750.00
Continuance of Public Hearing		$290.00
Critical or Sensitive Areas	fee per type - wetlands, steep slopes or potentially unstable soils, streams and watercourses, vegetation removal, wildlife habitat	$670.00
Design Review - Minor		$375.00
Design - Review -Committee		$1,710.00
Development Agreement	first hearing	$760.00
Development Agreement Continuance	each additional hearing	$290.00
Engineering Review Fee	3% of estimated construction costs	
Home Occupation - Minor Notification		None
Home Occupation - Major		$26.00
LI/BP Development	plus $35.75 per 1,000 sf of GFA	$3,730.00
Lot Line Adjustment		$87.00
Minor Modifications to Approved Development		$170.00
Modification to Approved Construction Plans		$360.00
Planned Residential Development	$27 per unit plus subdivision fee	$28.00
Plat, Preliminary - Short Plat	4 lots or less: $1,650 per lot	$1,650.00
Plat, Preliminary - Short Plat	5 lots or more: $6,200 plus $215 per lot	$6,200.00
Plat, Preliminary Subdivision	$6,200 plus $215 per lot	$6,200.00
Plat, Final - Short Plat		$170.00
Plat, Final - Subdivision		$1,020.00
Plat Modification/Alteration		$530.00
Pre-Application Conference for Type III or IV	General	$300.00
Pre-Application Conference for Type III or IV	Subdivision	$770.00
SEPA		$700.00

2015 City of Camas Fee Schedule		
Fee Description	**Notes**	**Fee**
Shoreline Permit		$760.00
Sign Permit - General Sign	exempt if building permit is required	$34.00
Sign Permit - Master Sign Permit		$105.00
Site Plan Review - Residential	$953 plus $25 per lot	$975.00
Site Plan Review - Non-Residential	$2,450 plus $56 per 1,000 sf of GFA	$2,450.00
Site Plan Review - Mixed Use	$3,450 plus $26 per residential unit plus $56 per 1,000 sf of GFA	$3,450.00
Temporary Use Permit		$67.00
Unclassified Use Permit - Residential	$2,920 plus $95 per unit	$2,920.00
Unclassified Use Permit - Non-Residential		$3,730.00
Variance	minor or major	$600.00
Zone Change	single tract	$1,690.00
Sexually Oriented Businesses		
Live Entertainment Application Fee		$765.00
Live Entertainment License Fee	Renewal Date 12/31	$255.00
Live Entertainment Renewal Fee		$255.00
Live Entertainment Renewal Fee - 1/2 Year	After 6/30	$130.00
Other Sexually Oriented Business Application Fee		$510.00
Other Sexually Oriented Business License Fee	Renewal Date 12/31	$255.00
Other Sexually Oriented Business Renewal Fee		$255.00
Other Sexually Oriented Business Renewal Fee - 1/2 Year	After 6/30	$130.00
Manager's License Application Fee		$105.00
Manager's License Fee	Renewal Date 12/31	$51.00
Manager's License Renewal Fee		$51.00
Manager's License Renewal Fee - 1/2 Year	After 6/30	$26.00
Entertainer's License Application Fee		$105.00
Entertainer's License Fee	Renewal Date 12/31	$51.00
Entertainer's License Renewal Fee		$51.00
Entertainer's License Renewal Fee - 1/2 Year	After 6/30	$26.00
Ambulance		
ALS In-District		$710.00
ALS Out-of-District		$1,135.00
BLS In-District		$710.00
BLS Out-of-District		$1,135.00
Non-emergency transport		$525.00
Patient treated - no transport		$185.00
Extra Attendant		$155.00
Mileage (in district)	per mile	$16.00
Mileage (out of district)	per mile	$18.75
Late Fee		$26.00
Ambulance - annual license		$51.00
Cemetery		
In City Rates		
Lots - Full Burial		
Adult - Flat Marker		$970.00

2015 City of Camas Fee Schedule		
Fee Description	**Notes**	**Fee**
Adult - Upright Marker		$1,840.00
Child under 5 years in Garden of Angels		$260.00
Cremains		
Single Niche Garden of Faith		$770.00
Single Niche Garden of (TBD) Premium		$920.00
Single Niche Garden of (TBD) Standard		$770.00
Double Niche Premium		$1,530.00
Double Niche Standard		$1,275.00
4 x 4 Foot Ground Lot		$460.00
Out of City Rates		
Lots - Full Burial		
Adult - Flat Marker		$1,455.00
Adult - Upright Marker		$2,760.00
Child under 5 year in Garden of Angels		$260.00
Cremains		
Single Niche Garden of Faith		$1,150.00
Single Niche Garden of (TBD) Premium		$1,380.00
Single Niche Garden of (TBD) Standard		$1,150.00
Double Niche Premium		$2,300.00
Double Niche Standard		$1,920.00
4 x 4 Foot Ground Lot		$690.00
Both In City/Out of City Rates		
Liners		
Adult Line Standard		$460.00
Child/Infant under 5 years Liner for Garden of Angels		$155.00
Cremain Liner (Urn Vaults)		$200.00
Open & Close Fees		
Adult - Full Burial		$620.00
Saturday Fee (in addition to)		$205.00
Sunday Fee (in addition to)		$310.00
Child - Full Burial Garden of Angels Only		$310.00
Infant - Full Burial Garden of Angels Only		$310.00
Saturday Fee (in addition to)		$205.00
Sunday Fee (in addition to)		$310.00
Cremains - Added with a Full Burial Lot		$295.00
Cremains - 4 x 4 Lot		$295.00
Cremains - Niche Wall (includes engraving)		$440.00
For Each Opening After First		$360.00
Cremains - Saturday (in addition to)		$205.00
Cremains - Sunday (in addition to)		$310.00
Disinterment Charges		$1,020.00
Locating Fees & Staking Fees		
Staking & Inspection (grave lots)		$92.00
Staking & Inspection (cremain lots)		$92.00

2015 City of Camas Fee Schedule		
Fee Description	**Notes**	**Fee**
Markers		
Remembrance Wall - Inscription		$155.00
Marker Clean-Up Kit		$51.00
Additional/Optional Set Up Charges		
Tent, Greens, Chairs - Full Burial		$51.00
Tent, Greens, Chairs - Cremains Lot		$51.00
Tent, Greens, Chairs - Cremains Niche		$51.00
Miscellaneous Additional Charges		
Endowment Fund Lot		$155.00
Endowment Fund Niche		$77.00
Deed Transfers/Replacement Deeds		$26.00
Second Rite of Burial	one full burial & two cremains/three cremains per lot	$310.00
Other License & Permits		
Dog License - life time		$26.00
Dog License - replacement		$5.00
Guard Dog		$51.00
Impound Fee		$36.00
Second Impound Fee		$51.00
Boarding		$5.00
Pawnbroker's/Second Hand Dealer - 2 yr. license		$105.00
Solicitor's License application/back ground check		$41.00
Solicitor's License		$26.00
Special Event Permit		$36.00
Taxicab - annual license	issued after 7/1 - half of fee	$36.00
Taxicab per vehicle		$11.00
Taxi Driver's license		$5.50
Taxi Driver's License Renewal		$5.50
Utilities		
Sanitation - Extra Garbage		
Barbeque		$5.25
Bath Tub		$10.25
Bicycle		$10.25
Box Spring		$15.50
Car Tire		$6.25
Car Tire w/Rim		$10.25
Chair/Recliner		$10.25
Christmas Tree		$10.25
Couch		$21.00
Dishwasher		$21.00
Dryer		$21.00
Freezer		$41.00
Lawn Mower		$6.25
Love Seat		$21.00

2015 City of Camas Fee Schedule		
Fee Description	**Notes**	**Fee**
Mattress		$15.50
Microwave (Large)		$6.25
Microwave (Small)		$3.25
Refrigerator		$41.00
Stove		$21.00
Table		$21.00
Television (Large Screen)		$ by Size
Television (Small)		$15.50
Toilet		$12.50
Treadmill		$15.50
Truck Tire		$22.50
Truck Tire w/rim		$33.00
Washer		$21.00
Water Heater		$21.00
Other Items not listed		to be determined by PW Director
FIRE DEPARTMENT		
Development Review		
Commercial Site Plans - Review Fee		$180.00
Commercial Site Plans - Inspection Fee		$180.00
Subdivision or PRD - Review Fee		$150.00
Subdivision or PRD - Inspection Fee		$150.00
Pre-Application Conference - Review Fee		$120.00
Other Land Use Applications - Review Fee		$120.00
Other Land Use Applications - Inspection Fee		$120.00
Building Construction/Change of Use or Occupancy		
A Review Fee		$180.00
A Inspection Fee		$120.00
B Review Fee		$120.00
B Inspection Fee		$120.00
E Review Fee		$270.00
E Inspection Fee		$240.00
Portable Classroom - Review Fee		$90.00
Portable Classroom - Inspection Fee		$90.00
F Review Fee		$120.00
F Inspection Fee		$120.00
H1 Occupancy - Review Fee		$240.00
H1 Occupancy - Inspection Fee		$240.00
H2 Occupancy - Review Fee		$240.00
H2 Occupancy - Inspection Fee		$240.00
H3 Occupancy - Review Fee		$270.00
H3 Occupancy - Inspection Fee		$270.00
H4 Occupancy - Review Fee		$180.00
H4 Occupancy - Inspection Fee		$180.00
H6 Occupancy - Review Fee		$330.00
H6 Occupancy - Inspection Fee		$330.00
H7 Occupancy - Review Fee		$210.00

2015 City of Camas Fee Schedule		
Fee Description	**Notes**	**Fee**
H7 Occupancy - Inspection Fee		$210.00
I Occupancy - Review Fee		$180.00
I Occupancy - Inspection Fee		$120.00
M Occupancy - Review Fee		$150.00
M Occupancy - Inspection Fee		$150.00
R Occupancy - Review Fee		$90.00
R Occupancy - Inspection Fee		$90.00
S Occupancy - Review Fee		$120.00
S Occupancy - Inspection Fee		$120.00
Minor Remodel - less than $1,000 Review Fee		$60.00
Minor Remodel - less than $1,000 Inspection Fee		$60.00
Change of Use or Occupancy - Review Fee		$120.00
Change of Use of Occupancy - Inspection Fee		$120.00
Building or Structure for Special or Temporary Use - Review Fee		$90.00
Building or Structure for Special or Temporary Use - Inspection Fee		$90.00
Fire Alarm System		
Fire Alarm System - One Zone - Review Fee		$90.00
Fire Alarm System - One Zone - Inspection Fee		$90.00
Fire Alarm System - Two or more Zones - Review Fee		$180.00
Fire Alarm System - Two or more Zones - Inspection Fee		$120.00
Fire Extinguishing System		
New System NFPA 13 - Single Riser - Review Fee		$180.00
New System NFPA 13 - Single Riser - Inspection Fee		$180.00
Each Additional Riser - Review Fee		$180.00
Each Additional Riser - Inspection Fee		$180.00
Alteration to Fire Sprinkler Systems - Review Fee		$60.00
Alteration to Fire Sprinkler Systems - Inspection Fee		$60.00
New System NFPA 13R (Per Building) - Review Fee		$120.00
New System NFPA 13R (Per Building) - Inspection Fee		$120.00
Underground Fire Sprinkler Mains - Review Fee		$90.00
Underground Fire Sprinkler Mains - Inspection Fee		$90.00
Standpipe System - Review Fee		$60.00
Standpipe System - Inspection Fee		$60.00
Commercial Cooking Extinguishing System/Protection - Review Fee		$90.00
Commercial Cooking Extinguishing System/Protection - Inspection Fee		$90.00
Other Extinguishing Systems - Review Fee		$150.00
Other Extinguishing System -s Inspection Fee		$150.00
Fire Pumps and Private or Dedicated Fire Hydrant Systems - Review Fee		$150.00
Fire Pumps and Private or Dedicated Fire Hydrant Systems - Inspection Fee		$150.00
Hazardous Operations		
Smoke Removal Systems - Review Fee		$150.00
Smoke Removal Systems - Inspection Fee		$150.00
Fire Pump Systems - Review Fee		$150.00
Fire Pump Systems - Inspection Fee		$150.00
Application of Flammable Finishes - Review Fee		$150.00

2015 City of Camas Fee Schedule		
Fee Description	**Notes**	**Fee**
Application of Flammable Finishes - Inspection Fee		$150.00
Commercial Drying Ovens - Review Fee		$90.00
Commercial Drying Ovens - Inspection Fee		$90.00
Organic Coating Systems - Review Fee		$90.00
Organic Coating Systems - Inspection Fee		$90.00
Semiconductor Fabrication HPM Tool Installation - Review Fee		$150.00
Semiconductor Fabrication HPM Tool Installation - Inspection Fee		$150.00
Other Hazardous Material Equipment & Systems - Review Fee		$150.00
Other Hazardous Material Equipment & Systems - Inspection Fee		$150.00
Compressed Gas System (greater than exempt amounts) - Review Fee		$180.00
Compressed Gas System (greater than exempt amounts) - Inspection Fee		$180.00
LPG Tank Installation (greater than 125 gal.) - Review Fee		$90.00
LPG Tank Installation (greater than 125 gal.) - Inspection Fee		$90.00
Aerosols - Review Fee		$90.00
Aerosols - Inspection Fee		$90.00
High-Piled Combustible Storage - Inspection Fee		$180.00
High-Piled Combustible Storage - Review Fee		$180.00
Hazardous Materials		
Storage, Dispensing & Use of Hazardous Materials - Review Fee		$240.00
Storage, Dispensing & Use of Hazardous Materials - Inspection Fee		$240.00
HMIS - Review Fee		$120.00
HMIS - Inspection Fee		$120.00
HMMP - Review Fee		$180.00
HMMP - Inspection Fee		$180.00
Explosive Materials		
Explosive Storage & Use/Blast Permit - Review Fee		$120.00
Explosive Storage & Use/Blast Permit - Inspection Fee		$120.00
Magazines (Explosives) - Review Fee		$120.00
Magazines (Explosives) - Inspection Fee		$120.00
Fireworks Stand - Review Fee		$50.00
Fireworks Stand - Inspection Fee		$50.00
Display - Review Fee		$120.00
Display - Inspection Fee		$120.00
Decommissioning Underground Storage Tank - Review Fee		$90.00
Decommissioning Underground Storage Tank - Inspection Fee		$60.00
High-Piled Combustible Storage		
Cryogenic Systems, process or product - Review Fee		$90.00
Cryogenic Systems, process or product - Inspection Fee		$90.00
Candles & Open Flames in Places of Assembly - Review Fee		$12.00
Candles and Open Flames in Places of Assembly - Inspection Fee		$12.00
Other Fire Permits		
Revision for Plans Submitted for Review	50% of Original Fee	
Investigation Fee (work started with a permit) - Review Fee		Double
Investigation Fee (work started with a permit) - Inspection Fee		Double

2015 City of Camas Fee Schedule		
Fee Description	**Notes**	**Fee**
Re-inspection Fees		$90.00
Use of Consultant for Plan Review and Inspections - Review Fee		Actual Cost
Use of Consultant for Plan Review and Inspections - Inspection Fee		Actual Cost
Blasting Permit	valid for 12 month period	$250.00
Blasting Permit	invoice for actual costs if exceed permit fee	
Controlled Burn	$.50 per sq. ft. minimum $1,000, maximum $2,000	
LIBRARY		
Meeting Rooms		
Room A		
Maintenance Charge:		
Non-Profit		no charge
Private Functions	per hour	$41.00
Cleaning deposit, if serving food (refundable);	cost exceeding $50 will be billed	$51.00
For-Profit	per hour	$41.00
Cleaning deposit, if serving food (refundable);	cost exceeding $50 will be billed	$51.00
Room B		
Maintenance Charge:		
Non-Profit		no charge
Private Functions	per hour	$41.00
Cleaning deposit, if serving food (refundable);	cost exceeding $50 will be billed	$51.00
For-Profit	per hour	$41.00
Cleaning deposit, if serving food (refundable);	cost exceeding $50 will be billed	$51.00
Rooms A & B		
Maintenance Charge:		
Non-Profit		no charge
Private Functions	per hour	$82.00
Cleaning deposit, if serving food (refundable);	cost exceeding $50 will be billed	$51.00
For-Profit	per hour	$85.00
Cleaning deposit, if serving food (refundable);	cost exceeding $50 will be billed	$51.00
Kitchen Use		
Non-Profit		$10.50
Private Functions		$26.00
For Profit		$26.00
Closed Hours Staffing Fee		
Non-Profit	per hour in addition to hourly charge	$51.00
Private Functions	per hour in addition to hourly charge	$51.00
For Profit	per hour in addition to hourly charge	$51.00
Non-refundable application fee		
Non-Profit		
Private Functions		$10.50
For Profit		$10.50
Non-Resident Annual Fees		
Household		$115.00

2015 City of Camas Fee Schedule

Fee Description	Notes	Fee
Operational Charges		
Photocopy/Printing	ten black and white per person, per day	no charge
Black & White Photocopy/Printing	over 10 per person, per day, each	$0.10
Color Photocopy/Printing	each	$0.50
Lost & Damaged Materials: Default prices if not noted in bib record		
Adult hardback books		$26.00
Juvenile & young adult hardback		$21.00
Picture book		$21.00
Trade paperbacks - adult		$21.00
Trade paperbacks - easy, juvenile, young adult		$15.50
Mass market paperback		$9.50
Boardbook		$5.00
Reference book		replacement price
Magazines & pamphlets		$6.25
Interlibrary loan	when overdue one day	$50.00
Audio tape or CD set		replacement price
Audio cassettes (single)		$10.00
Audio cassette or CD case		$10.00
Audio CD (single)		$15.00
Playaway	minimum	$46.00
Video		replacement price
Video case - single		$2.00
Video case - double		$4.00
DVD	or replacement price	$26.00
DVD case		$2.25
Music Cassette		replacement price
Music CD		replacement price
CD jewel case		$2.25
Book discussion kit		$105.00
Processing Fee		to be determined in 2015
PARKS & RECREATION FEES		
Camas Community Center Rental		
Reception Room - Midweek	per day	$65.00
Reception Room - Weekend	per day	$125.00
Reception Room - Long Term Use	per hour	$7.75
Conference Room - Midweek	per day	$35.00
Conference Room - Weekend	per day	$65.00
Conference Room - Long Term Use	per hour	$7.75
Ball Room - Midweek	per day	$85.00
Ball Room - Weekend	per day	$230.00
Ballroom - Long Term Use	per hour	$7.75
Kitchen - Midweek	per day	$21.00
Kitchen - Weekend	per day	$41.00

2015 City of Camas Fee Schedule		
Fee Description	**Notes**	**Fee**
Kitchen - Long Term Use	per hour	$7.75
Microphones - Midweek	per day	$21.00
Microphones - Weekend	per day	$41.00
Microphones - Long Term Use	per hour	$7.75
Sound System - Midweek,	per day	$55.00
Sound System - Weekend	per day	$55.00
Sound System Projector - Midweek	per day	$80.00
Sound System Projector - Weekend	per day	$80.00
Deposit - refundable		$205.00
Alcohol Use Fee		$105.00
Key Call Back Fee		$155.00
Midweek is Monday through Thursday and Friday until 2:00 p.m.		
Weekends are Fridays after 2:00 p.m. through Sunday		
No rental fee will be charged to non-profit groups who are community-based and IRS recognized, City of Camas sponsored events, school sponsored events or governmental agencies that reserve the facility Monday through Thursday, between the hours of 8:00 a.m. and 5:00 p.m. and Friday before 2:00 p.m.		
Camas residents will receive 20% discount		
Long Term Users will be charged $7.50/hr. - must pay for 6 months to be long term user		
No Rental Fee to Non-Profit Groups Monday through Thursday		
Fallen Leaf Lake Park Rental		
Fridays, Saturdays, Sundays and Holidays	per day	$230.00
Monday through Thursday	per day	$130.00
Deposit - refundable		$205.00
Alcohol Use Fee		$105.00
Key Call Back Fee		$155.00
Camas residents will receive 20% discount		
Non-profit groups renting on weekends will be charged mid-week rates		
Lacamas Lake Lodge Rental		
Main Hall	hourly; Saturday-5 hr. minimum; all other days-2 hrs. minimum	$155.00
Deposit - refundable	per day	$510.00
Room 1A	hourly; Saturday-5 hr. minimum; all other days-2 hrs. minimum	$26.00
Deposit - refundable	per day	$210.00
Room 1B	hourly; Saturday-5 hr. minimum; all other days-2 hrs. minimum	$26.00
Deposit - refundable	per day	$210.00
AV Equipment	per day	$105.00

2015 City of Camas Fee Schedule		
Fee Description	**Notes**	**Fee**
Alcohol Use Fee		$105.00
Key Call Back Fee		$155.00
Non-profit will receive a 50% discount off the hourly rate		
Cancellation must be received a minimum of 61 days prior to the event to receive a full refund. A 50% refund will be allowed if cancellation notices is received 30-60 days prior to the event. No refunds will be made with less than a 30 day notice.		
Swimming Pool Fees		
Youth/Senior Admissions		$3.25
Youth/Senior Pass - 10		$26.00
Youth/Senior Pass - 25		$64.00
General Admission		$4.50
General Pass - 10		$36.00
General Pass - 25		$90.00
Teen Pass		$67.00
Lessons		$59.00
Private Lessons - Single		$26.00
Private Lessons - 10		$205.00
Rentals	per half hour up to 40 swimmers	$115.00
Other Activities		
POLICE DEPARTMENT		
Police Case Reports six (6) pages and under (no charge to victim)		$5.50
Police Case Reports over six (6) pages (no charge to victim)		$10.50
State Accident Reports (no charge to driver)		$5.50
Immigration Checks		$10.50
Visa/Clearance Letters		$10.50
Fingerprint Cards	per card	$12.50
Record Checks/Non-Criminal Justice Agency inc. Military Services		$10.50
Work crew Sign-Up Fee		$21.00
per Resolution 1314 12/1/14		

ORDINANCE NO. 15-001

AN ORDINANCE amending Chapter 16.53 of the Camas Municipal Code.

The Council of the City of Camas do ordain as follows:

Section I

Camas Municipal Code Section 16.53.020 is hereby amended to provide as follows:

16.53.020 Rating system.

A. Designating Wetlands. Wetlands are those areas, designated in accordance with the approved federal wetland delineation manual and applicable regional supplements, that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation adapted for life in saturated soil conditions. All areas within the city of Camas meeting the wetland designation criteria in the approved federal wetland delineation manual and applicable regional supplements, regardless of any formal identification, are hereby designated critical areas and are subject to the provisions of this title.

B. Wetland Rating System. Wetlands shall be rated according to the Washington State Department of Ecology (Ecology) wetland rating system found in *Washington State Wetland Rating System for Western Washington—2014 Update* (Revised, Ecology Publication #14-06-029, October 2014) or most current edition. The rating system document contains the definitions and methods for determining if the criteria below are met:

1. Wetland Rating Categories.

a. Category I. Category I wetlands are those that meet one or more of the following criteria:

i. Wetlands that are identified by scientists of the Washington Natural Heritage Program, Department of Natural Resources(DNR) as wetlands with high conservation value;

ii. Bogs;

iii. Mature and old growth forested wetlands larger than one acre;

iv. Wetlands that perform many functions well, as indicated by scoring twenty-three points or more in the rating system.

Category I wetlands represent a unique or rare wetland type, are more sensitive to disturbance than most wetlands, are relatively undisturbed and contain some ecological attributes that are impossible to replace within a human lifetime, or provide a very high level of functions.

b. Category II. Category II wetlands are those with a moderately high level of function, as indicated by scoring between twenty and twenty-two points in the Ecology rating system.

Category II wetlands are difficult, though not impossible, to replace, and provide high levels of some functions. These wetlands occur more commonly than Category I wetlands, but they still need a relatively high level of protection.

c. Category III. Category III wetlands are those with a moderate level of functions, as indicated by scoring between sixteen and nineteen points in the Ecology rating system. Generally, wetlands in this category have been disturbed in some way and are often less diverse or more isolated from other natural resources in the landscape than Category II wetlands.

d. Category IV. Category IV wetlands have the lowest levels of functions and are often heavily disturbed. They are characterized by a score of fewer than sixteen points in the rating system. These are wetlands that should be replaceable, and in some cases may be improved. However, experience has shown that replacement cannot be guaranteed in any specific case. These wetlands may provide some important functions, and should be protected to some degree.

2. Date of Wetland Rating. Wetland rating categories shall be applied as the wetland exists on the date of adoption of the rating system by the local government, as the wetland naturally changes thereafter, or as the wetland changes in accordance with permitted activities. Wetland rating categories shall not change due to illegal modifications.

Section II

Camas Municipal Code Section 16.53.030(D)(1), (D)(2)(f), and (D)(2)(h) are hereby amended to provide as follows:

16.53.030 Critical area report—Additional requirements for wetlands.

D. Wetland Delineation.

1. Methodology. The location of a wetland and its boundary shall be determined through the performance of a field investigation utilizing the methodology contained in the approved federal wetland delineation manual and applicable regional supplements. If a wetland is located off-site and is inaccessible, the best available information shall be used to determine the wetland boundary and category.

2. Information Requirements. Wetland boundaries shall be staked and flagged in the field and a delineation report shall be submitted to the department. The report shall include the following information:

f. Discussion of methods and results with special emphasis on technique used from the approved federal wetland delineation manual and applicable regional supplements;

h. All completed field data sheets per the approved federal wetland delineation manual and applicable regional supplements, numbered to correspond to each sample site.

Section III

Table 16.53.040-2 – Buffers Required to Protect Habitat Functions in Category I and II Wetlands, set forth in Camas Municipal Code Section 16.53.040 – Standards, is hereby amended to provide as follows:

Table 16.53.040-2 Buffers Required to Protect Habitat Functions in Category I and II Wetlands

Habitat Score in the Rating Form	Low Intensity Use	Moderate Intensity Use	High Intensity Use
3-4 points	See Table 16.53.040-1	See Table 16.53.040-1	See Table 16.53.040-1
5	70 ft.	105 ft.	140 ft.
6	90	135	180
7	110	165	220
8	130	195	260
9	150	225	300

Section IV

Table 16.53.040-3 – Buffers Required to Protect Habitat Functions in Category III Wetlands, set forth in Camas Municipal Code Section 16.53.040 – Standards, is hereby amended to provide as follows:

Table 16.53.040-3 Buffers Required to Protect Habitat Functions in Category III Wetlands

Habitat Score in the Rating Form	**Low Intensity Use**	**Moderate Intensity Use**	**High Intensity Use**
3-4 points	See Table 16.53.040-1	See Table 16.53.040-1	See Table 16.53.040-1
5	60 ft.	90 ft.	120 ft.
6	65	100	135
7	75	110	150
8	130	195	260
9	150	225	300

Section V

Camas Municipal Code Section 16.53.040(B)(4)(b)(ii) – Standards, is hereby amended to provide as follows:

4. Adjusted Buffer Width.

b. Functionally Isolated Buffer Areas. Areas which are functionally separated from a wetland and do not protect the wetland from adverse impacts shall be treated as follows:

ii. Distinct portions of wetlands with reduced habitat functions that are components of wetlands with an overall habitat rating score greater than five points shall not be subject to the habitat function buffers designated in Tables 16.53.040-2 and 16.53.040-3 if all of the following criteria are met:

Section VI

Camas Municipal Code Section 16.53.050(C)(3) – Wetland Permits (first paragraph), is hereby

amended to provide as follows:

3. Stormwater Facilities. Stormwater facilities are only allowed in buffers of wetlands with low habitat function (three or four points on the habitat section of the rating system form); provided, the facilities shall be built on the outer edge of the buffer and not degrade the existing buffer function, and are designed to blend with the natural landscape. Unless determined otherwise by the responsible official, the following activities shall be considered to degrade a wetland buffer when they are associated with the construction of a stormwater facility:

Section VII

Table 16.53.050-2 – Wetland Preservation Ratios for Categories I and II Wetlands (In Area), as set forth in Camas Municipal Code Section 16.53.050(D)(4)(b)(v), is hereby amended to provide as follows:

Table 16.53.050-2 Wetland Preservation Ratios for Categories I and II Wetlands (In Area)

Habitat Function of Wetland to be Replaced	**In Addition to Standard Mitigation**		**As the Only Means of Mitigation**	
	Full and Functioning Buffer	Reduced and/or Degraded Buffer	Full and Functioning Buffer	Reduced and/or Degraded Buffer
Low (3 – 4 points)	10:1	14:1	20:1	30:1
Moderate (5 - 7 points)	13:1	17:1	30:1	40:1
High (8 - 9 points)	16:1	20:1	40:1	50:1

Section VIII

Camas Municipal Code Section 16.53.050(D)(5) is hereby amended to provide as follows:

5. Alternate Wetland Mitigation.

a. Wetland Mitigation Banks.

i. Credits from a wetland mitigation bank may be approved for use as compensation for unavoidable impacts to wetlands when:

(A) The bank is certified under state rules;

(B) The Administrator determines that the wetland mitigation bank provides appropriate compensation for the authorized impacts; and

(C) The proposed use of credits is consistent with the terms and conditions of the certified bank instrument.

ii. Replacement ratios for projects using bank credits shall be consistent with replacement ratios specified in the certified bank instrument.

iii. Credits from a certified wetland mitigation bank may be used to compensate for impacts located within the service area specified in the certified bank instrument. In some cases, the service area of the bank may include portions of more than one adjacent drainage basin for specific wetland functions.

b. In-Lieu Fee. To aid in the implementation of off-site mitigation, the City may develop

an in-lieu fee program. This program shall be developed and approved through a public process and be consistent with federal rules, state policy on in-lieu fee mitigation, and state water quality regulations. An approved in-lieu-fee program sells compensatory mitigation credits to permittees whose obligation to provide compensatory mitigation is then transferred to the in-lieu program sponsor, a governmental or non-profit natural resource management entity. Credits from an approved in-lieu-fee program may be used when paragraphs 1-6 below apply:

i. The approval authority determines that it would provide environmentally appropriate compensation for the proposed impacts.

ii. The mitigation will occur on a site identified using the site selection and prioritization process in the approved in-lieu-fee program instrument.

iii. The proposed use of credits is consistent with the terms and conditions of the approved in-lieu-fee program instrument.

iv. Land acquisition and initial physical and biological improvements of the mitigation site must be completed within three years of the credit sale.

v. Projects using in-lieu-fee credits shall have debits associated with the proposed impacts calculated by the applicant's qualified wetland scientist using the method consistent with the credit assessment method specified in the approved instrument for the in-lieu-fee program.

vi. Credits from an approved in-lieu-fee program may be used to compensate for impacts located within the service area specified in the approved in-lieu-fee instrument.

c. Compensatory mitigation credits may be issued for unavoidable impacts in the following cases:

i. Residential building permits where on-site enhancement and/or preservation is not adequate to meet the requirements of subsection (D)(4) of this section;

ii. Approved reasonable use exceptions where sufficient on-site wetland and wetland buffer mitigation is not practical;

iii. Small impacts affecting less than 0.10 acre of wetland where on-site enhancement and/or preservation is not adequate to meet the requirements of subsection (D)(4) of this section; or

iv. As an additional mitigation measure when all other mitigation options have been applied to the greatest extent practicable.

Section IX

Camas Municipal Code Section 16.53.050(D)(6) is hereby amended to provide as follows:

6. Stormwater Facilities. Stormwater facilities are allowed in wetlands with habitat scores of three or four on the rating form, in compliance with the following requirements:

a. Stormwater detention and retention necessary to maintain wetland hydrology is authorized; provided, that the responsible official finds that wetland functions will not be degraded; and

b. Stormwater runoff is treated for water quality in accordance with the requirements of Section 17.19.040(C)(3) prior to discharge into the wetland.

Section X

This Ordinance shall take force and be in effect five (5) days from and after its publication according to law.

PASSED BY the Council and APPROVED by the Mayor this _____ day of January, 2015.

SIGNED:_____
Mayor

ATTEST:_____
Clerk

APPROVED as to form:

_____
City Attorney

ORDINANCE NO. 15-002

AN ORDINANCE adopting revisions to the City of Camas Comprehensive Plan, to the Comprehensive Land Use Map of the City of Camas, and to the Zoning Map of the City of Camas.

WHEREAS, the City of Camas has heretofore adopted a Comprehensive Plan and Comprehensive Land Use Map as required by the provisions of RCW 36.70A, Revised Code of Washington, the Growth Management Act, and

WHEREAS, under Chapter 36.70A, Revised Code of Washington, the City is required annually to consider amendments to the land use element of the Comprehensive Plan and associated rezones, and

WHEREAS, the Planning Commission has conducted a public hearing on the requests for revisions submitted to the City, and has forwarded its recommendation to the City Council, and

WHEREAS, the City Council has conducted a public hearing on the requests for revisions,

NOW, THEREFORE, THE COUNCIL OF THE CITY OF CAMAS DO ORDAIN AS FOLLOWS:

Section I

A request from property owners proposed to change the Comprehensive Plan and zoning designations for a total of eighteen parcels located west of NW Parker Street, with a combined 176.38 acres. The request is to amend the Comprehensive Plan and zoning from Light Industrial/Business Park to a Comprehensive Plan designation of Industrial with a concurrent zone change to Business Park for the following parcels: 986033-962, 125651-000, 125661-000, 986033-959, and 986033-960. The request is to amend the Comprehensive Plan and zoning from Light Industrial/Business Park to a Comprehensive Plan designation of Commercial with a concurrent zone change to Regional

Commercial for the following parcels: 986033-960, 986033-961, 125188-000, 125189-000 (portion), and 125192-000. The request is to amend the zoning of the following parcels from Community Commercial to Regional Commercial: 127367-000, 127372-000, 177480002, 177451010, 177451005, 177451000, 177437010, 177437015, and 126245-000. The City Council hereby adopts the recommendation of the Planning Commission, and directs the Community Development Director to amend the Comprehensive Plan map and Camas Zoning map consistent with the following table and this Section.

Parcels	Property Owners	Acres	Current Comprehensive Plan	Amend Comprehensive Plan	Concurrent Zoning
986033-962	Sharp Laboratories	29.39	LI/BP	IND	BP
125651-000		20.77	LI/BP	IND	BP
125661-000		9.59	LI/BP	IND	BP
986033-959		20	LI/BP	IND	BP
986033-960		27.32	LI/BP	COM	RC
986033-961		12.39	LI/BP	COM	RC
125188-000	Mackay & MacDonald	23.87	LI/BP	COM	RC
125189-000 (portion)	MacDonald Douglas	1.12	LI/BP	COM	RC
127367-000	John Mackay	4.25	COM	COM	RC
127372-000	Mackay Family	2.5	COM	COM	RC
177480002, 177451010, 177451005, 177451000, 177437010, 177437015	APC Sunrise Summit	7.61	COM	COM	RC
126245-000	Fisher	8.02	COM	COM	RC
125192-000	WA KSF, LLC (a.k.a. Fisher)	9.55	LI/BP	COM	RC

Section II

The City has requested a change to the Comprehensive Plan and zoning designations for five properties as described in the following table:

Parcels	Property Owners	Acres	Current Comprehensive Plan	Amend Comprehensive Plan	Concurrent Zoning
125652-000	Clark PUD	1.01	Light Industrial/Business Park	Industrial	Business Park

76660-000	Mr. Paltullo	0.27	Industrial	Commercial	Downtown Commercial
126242-000	Mr. Tran	3.76	Light Industrial/Business Park	Commercial	Regional Commercial
Van Vleet (future road)	City of Camas right of way	1.11	Light Industrial/Business Park	Commercial	Regional Commercial
124817-382	Lot 61 of Lakeridge	0.0064	Park	Single family Medium	R-10,000

The City Council hereby adopts the recommendation of the Planning Commission, and directs the Community Development Director to amend the Comprehensive Plan map and Camas Zoning map consistent with this Section.

Section III

The proposal includes adopting an amendment to the Comprehensive Plan for Parks, Recreation and Open Space (Adopted December 17, 2007). The proposed plan document entitled, "Parks, Recreation and Open Space Comprehensive Plan", which is attached as Exhibit "A", shall replace the 2007 Plan. The City Council hereby adopts the recommendation of the Planning Commission, and adopts the new Plan as attached.

Section IV

An amended Camas Comprehensive Plan map and Camas Zoning map, consistent with Sections I and II, are attached as Exhibits "B" and "C".

Section V

This ordinance shall take force and be in effect five (5) days from and after its publication according to law.

PASSED BY the Council and APPROVED by the Mayor this _____ day of January, 2015.

SIGNED:_____
Mayor

ATTEST:_____

Clerk

APPROVED as to form:

_____

City Attorney

Public Draft November 2014

City of Camas

2014

parks, recreation and open space comprehensive plan update

ACKNOWLEDGEMENTS

The City of Camas greatly appreciates the efforts of the numerous Camas officials and residents who have contributed to the community's parks, recreation and open space system over the years. The efforts of caring citizens and dedicated officials and staff have enabled the success of our community's park system.

Mayor Scott Higgins

City Council

Ward 1:	Tim Hazen
	Melissa Smith
Ward 2:	Linda Dietzman
	Steve Hogan
Ward 3:	Greg Anderson
	Shannon Turk
At Large:	Don Chaney

Planning Commission

Bryan Beel, Chair
Lloyd Goodlett
Tim Hein
Frank Hood
Troy Hull
Jamia Johnson
Jim Short

Past Planning Commission Members

Carol Page Collier
Shelly Damore
David Shepherd

Park and Recreation Commission

Brent Erickson, Chair
Eunice Abrahamsen
Juli Bradley
Randy Curtis
David Gast
Steve Lorenz
Cassi Marshall

Planning Advisory Committee

Jerry Acheson
Krista Bashaw
Marilyn Boerke
Mike Brasch
Randy Curtis
Katy Daane
Tim Hazen
Nan Henriksen
Troy Hull
Cassi Marshall
Casey O'Dell

City Staff

Peter Capell, City Administrator
Jerry Acheson, Parks & Recreation Manager
Krista Bashaw, Special Events Coordinator
Phil Bourquin, Community Development Director
Sarah Fox, Senior Planner
Cathy Huber Nickerson, Finance Director
Eric Levison, Public Works Director
Denis Ryan, Operations Manager

Dedication

To the late Nina Regor, City of Camas Administrator, who served our community from January to October, 2013.

Consultant
MIG, Inc.
815 SW 2nd Avenue, Suite 200
Portland, OR 97204

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SECTION 1. INTRODUCTION

1.1 Purpose of the Plan

This Parks, Recreation and Open Space Comprehensive (PROS) Plan provides an update to the Park, Recreation and Open Space Comprehensive Plan adopted by Camas in 2007. [1] Since this time, Camas has evolved in several ways and has successfully leveraged its adopted plan to expand and improve its system of parks, recreation facilities and open spaces. Today, residents and park users have reconfirmed that this system is highly valued and central to the city's high quality of life.

This PROS Plan update continues the city's long history of planning and providing a high quality park and recreation system. This Plan responds to the many changes that have occurred over the past several years, reaffirms the system-wide vision, goals and objectives and outlines new strategies for the future. Specifically, this Plan:

- Provides an update of the city's existing parks, open spaces, recreational facilities and trails;
- Describes changes in public perceptions, needs and interests related to the park and recreation system;
- Addresses changes and needs in new growth areas and developing areas of the city;
- Recommends new projects and implementation strategies to guide development of the system; and
- Addresses state-wide requirements and renews the City's eligibility for grant funding.

[1] As an update, goals, policies and recommendations of the 2014 PROS Plan supersede those provided in the 2007 PROS Plan.

1.2 Planning Process

The planning process for preparing the PROS Plan update comprised three phases, depicted below.

Figure 1.1: Planning Process

- **Analysis and Review:** The initial phase consisted of a review of changes since the 2007 PROS Plan, including changes in land use, system inventory, park improvements, funding opportunities and partnerships. During this phase, the planning team conducted public outreach using a range of sources, and met with City staff and community stakeholders to create a strong foundation to base the Plan.
- **Plan Development:** During the second phase, the planning team collected input from the community and discussed the preferred future system with City staff and the Planning Advisory Committee. The planning team also revisited the vision, goals and objectives with outcomes of the first phase and developed updated recommendations and directions for the PROS Plan update.
- **Plan Adoption:** The Plan Adoption phase consisted of Draft Plan development with a detailed implementation strategy, public hearings to review the plan, and adoption by City Council.

1.3 Public Participation

Involvement from the public was a major contributor towards the PROS Plan update. The planning team solicited feedback from community members, stakeholders and City leaders in a variety of ways to ensure that the updated Plan reflects the priorities and needs of the community.

This Plan relied on the following primary public outreach opportunities.

- **Planning Advisory Committee:** The Planning Advisory Committee (PAC) represented a variety of recreation interests and community perspectives. The PAC met at each of the three phases in the planning process and provided overall direction for the Plan. The PAC also convened for a special meeting to focus on the future direction of aquatics in Camas.

- **Community Intercept Events:** These activities allowed the public to learn about the PROS Plan at popular community events. There were three events which consisted of a series of display boards that allowed participants to express their needs and provide comments related to the future system. Members of the planning team were available to respond to questions and provide more detailed information about the project. The planning team also used the initial events to announce the questionnaire.

- **Community Recreation Questionnaire:** The questionnaire was a key tool for broadening participation and validating the input received via the community intercept events. The design of the questionnaire also allowed for comparison of findings with those of the Community Recreation Survey from the 2007 PROS Plan. In total, there were 230 completed questionnaires provided both online and on paper. Appendix A provides a more detailed summary of questionnaire results.

- **City Website:** The City's website provided information about the Plan and community involvement opportunities to the public throughout the planning process.

- **City Staff Strategy Session:** The planning team met with City department heads from parks, planning and public works to identify opportunities, challenges and needs facing the system. This meeting also served to refine key recommendations in the updated PROS Plan.

- **City Council Retreat:** The planning team presented an overview of the planning process and key recommendations of the PROS Plan to the City Council and received feedback to guide direction of the Plan.

- **Parks and Recreation Commission, Planning Commission and City Council:** The planning team presented the PROS Plan for review and discussion to City leaders and officials at public meetings and hearings, as well as final adoption by the City Council.

1.4 Updating the Plan

The planning process will not end with the adoption of this PROS Plan update. Many factors will make it necessary to re-evaluate the Plan and the decisions that led to its creation. In addition, physical changes in the community, such as population growth, acquisition of property, and changes to private facilities all will directly affect the plan and its recommendations. The City should follow a multi-tiered approach to track progress on the Plan and make adjustments.

- **Development Review:** The City should review development proposals for conformance with the PROS Plan update. This is especially critical in future growth areas north of Lacamas Lake, as well as near the location of proposed park sites, to ensure consistency with Plan goals.

- **Biennial Review:** The Park and Recreation Commission should review the PROS Plan update every two years to reflect changes in existing conditions, new facilities, or significant population changes in the community. This is also a good time to evaluate how well the community is meeting goals set out in this document. Are acquisition and development keeping up with population growth and land development? Are facilities being maintained at the proper level? The results of the review can be used to fine tune the Plan. The review process should occur every two years, with a report and work plan for the coming biennium as products.

- **Six Year Plan Update:** Every six years the City should undertake a more extensive update of the PROS Plan to make adjustments based on changes in the community as well as to maintain eligibility for state and federal recreation grants.

The City should also ensure that periodic updates to the Comprehensive Plan are developed to support the goals, objectives and recommendations of the PROS Plan.

1.5 Organization of the Plan

Following this section, the Parks, Recreation and Open Space Comprehensive Plan update includes the following sections and appendix.

- **Section 2: Goals and Objectives** presents the goals and objectives that provide the framework for the Plan.

- **Section 3: Parks and Facilities** describes the system of park land and recreation facilities present in Camas; provides recommendations for new parks and improvements to existing sites and facilities.

- **Section 4: Trails** describes the existing trail system and provides recommendations for expanding and improving it to meet community needs.

- **Section 5: Natural Open Space** reviews the existing inventory of open space, describes the classifications of open space, and depicts the proposed open space network.

- **Section 6: Maintenance and Operations** provides recommendations for upkeep of the valuable community investments in parks and facilities.

- **Section 7: Implementation Plan** describes capital improvement priorities and a review of funding options. This section also provides a detailed six-year capital improvement plan.

- **Appendices:**

  Appendix A: Community Recreation Questionnaire Results Summary presents the results of the questionnaire conducted as part of the planning process.

  Appendix B: Design & Development Guidelines provides considerations for the design and development of parks, open spaces and trails.

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SECTION 2. GOALS AND OBJECTIVES

2.1 Overview

Through the planning process, the community revealed a commitment to continue the vision for park and recreation services first identified during the 2007 PROS Plan:

> *Through provision of recreation and park services, we enhance the quality of life and nurture the health and well being of our people, our community, our environment and our economy.*

Goals and objectives are the means of achieving this vision, and statements describing how the City will achieve the vision. The goals and objectives set the direction for providing services and can be a means of measuring the performance of a leisure services program.

The Primary Goal is the overarching goal for all Camas leisure services, and reflects the vision and mission of the City as it relates to parks, recreation, trails, and open space. Additional goals supplement this Primary Goal, providing more specific direction related to physical park planning, management and operations, recreation programs, and public involvement.

These goals and objectives stem from previous planning efforts, including the 2000 and 2007 PROS plans. The planning team revisited and refined directions from these past plans with members of the community, the Planning Advisory Committee and City staff. The recommendations contained in subsequent chapters of this document are implementing actions to achieve the goals and objectives set forth below. All goals, objectives, recommendations, and actions flow from the Camas vision for leisure services.

2.2 Primary Goal

PROS GOAL 1: Preserve and enhance the quality of life in Camas through provision of parks, recreation programs, recreational facilities, trails, and open spaces.

Objectives:

1A: Ensure that new development in future growth areas is compatible with this plan.

1B: Preserve the sensitive natural areas and bodies of water within Camas and the surrounding areas to maintain the community's character.

1C: Identify and protect significant cultural resources as part of new park, recreational facilities, trails, and open spaces, to enhance community identity and quality of life and enrich the recreational experience of users.

1D: Provide a comprehensive network of trails that is environmentally responsive and compatible with adjoining property.

1E: Encourage preservation of natural vegetation and provision of public access and recreational opportunities within private developments.

1F: Actively seek funds for the acquisition and development of park land, recreation facilities, and trails to meet recreation needs.

1G: Cooperate with other government agencies in the provision of park and recreation services in the Camas vicinity.

1H: Encourage continuing citizen involvement in park, trail, and open space planning.

2.3 Physical Planning

PROS GOAL 2: Provide active and passive recreation opportunities to serve the community's needs.

Objectives:

2A: Locate neighborhood parks convenient to all residents of Camas. Residents should have a neighborhood park or connection to the trail system available within about ½ mile of their homes.

2B: Provide equitable park opportunities throughout the City. This means upgrading existing parks to new standards; providing geographically distributed parks, trails, and facilities; and providing opportunities for different age groups and abilities.

2C: Provide parks and facilities that are responsive to diverse age groups, recreation interests, and abilities.

2D: Coordinate with the School District to acquire, develop, and maintain parks and sports fields adjacent to school facilities to maximize community benefit of public facilities.

2E: Develop a safe, scenic and enjoyable trail and bikeway system for City of Camas residents and visitors.

2F: Supplement the neighborhood park system with special use facilities, open space, and indoor facilities to serve a range of recreational needs.

2G: Plan parks to aid in the preservation of natural, cultural, historical or unique physical features.

2H: Encourage, support, and, where possible, initiate activities, to preserve, conserve or improve the shorelines of the Columbia and Washougal Rivers, Lacamas Creek, and Lacamas, and Fallen Leaf Lakes.

PROS GOAL 3: Develop a city-wide continuous network of natural open space to protect environmentally sensitive land and scenic views, create a sense of openness, and provide trail corridors.

Objectives:

3A: Preserve and protect the Open Space Network depicted in this plan.

3B: Enhance native vegetation in the Open Space Network while removing invasive species and preventing them from spreading.

3C: Work cooperatively with property owners and developers to preserve natural open space, especially those that provide visual or physical linkages to the proposed Open Space Network identified in this plan.

3D: Preserve the visual integrity of the wooded hillsides that provide the backdrop for the city. This should include encouraging the preservation of natural vegetation, minimizing disruption of soils and slopes, maintaining drainage patterns, and encouraging wildlife habitat.

3E: Encourage preservation of natural drainage corridors to reduce flood risks and allow for natural absorption of water into the soil.

PROS GOAL 4: Provide a convenient, safe, and pleasant pedestrian and bicyclist trail network that links parks, schools, and community destinations throughout the City.

Objectives:

4A: Develop a trail network that provides recreation opportunities as well as transportation. Recreation trails should be off-street as much as possible, but still allow for commuter bicyclist or pedestrian use.

4B: Improve pedestrian and bicyclist route options to connect Lacamas and Fallen Leaf lakes with Downtown.

4C: Reduce conflicts among users through the planning, design, and development of recreation trails. Trail design and location should enhance enjoyment of natural open space and provide safety for users.

4D: Meet accessibility guidelines for trail development. Incorporate information about trail difficulty into the trail system's signage.

4E: Provide connections across and around water bodies and wetlands where needed to create linked systems.

4F: Maximize public benefit of public infrastructure and publicly owned lands by co-locating trails in these areas or with these facilities.

4G: Take advantage of available traffic safety, transportation, and trail development funding to develop the bike and trail network.

4H: Incorporate interpretation and signage into the trail system.

PROS GOAL 5: Provide high quality community recreation facilities that are responsive to recreation needs and trends.

Objectives:

5A: Explore partnerships that will further development of a full-service indoor recreation facility that serves Camas residents.

5B: Design new sports fields to meet the higher level of demand and use placed on them, during the master planning of individual parks and facilities.

5C: Maintain and regularly update policies on the number of practices and games each sport team should be permitted

per week to balance demand for fields with the community's ability to provide them.

5D: Update the policies and methodology for assessing recreation facility needs periodically to reflect trends in participation.

5E: Continue to provide aquatics opportunities to serve the community as recommended in this Plan.

5F: Distribute recreation facilities throughout the community to improve access to recreational opportunities, especially in underserved areas.

5G. Work in partnership with user groups and project proponents to identify and test new recreational facilities.

5H. Design parks and facilities to improve operational efficiency and energy conservation.

2.4 Management and Operations

PROS GOAL 6: Provide a quality park, recreation, natural open space, and trail system that is efficient to administer and cost-effective to maintain.

Objectives:

6A: Strive to provide staff training, acquire labor saving equipment, and develop effective, state of the art facility designs.

6B: Explore alternative staffing, such as community service workers, youth employment programs such as Americorps, and others for additional staffing.

6C: Designate a City volunteer coordinator position to promote and manage volunteerism in the parks, recreation and open space system.

6D: Invest in preventive maintenance and upgrades to parks and facilities to maximize long-term benefits.

PROS GOAL 7: Encourage and actively pursue cooperation between governmental agencies, nonprofit organizations, and private business in providing park and recreation services.

Objectives:

7A: Encourage a range of recreational opportunities within the community by facilitating cooperation and communication among service providers.

7B: Continue cooperative planning and use of recreation facilities with public and private groups in the community.

7C: Encourage and pursue mutual cooperation and a "good neighbor" policy with residents and businesses located adjacent to park facilities, trails, and natural open space areas.

2.5 Programs and Services

PROS GOAL 8: Provide a diverse range of recreation programs and services to serve multiple ages, populations, and interests.

Objectives:

8A: Continue to develop community-oriented programs that are responsive to expressed demands and that foster participant support of all ages and abilities.

8B: Continue to support participants with special needs.

8C: Continue to promote park and recreation programs, services, and facilities through an effective community information system.

8D: Operate recreation programming in a financially self-sustaining way to the extent possible. Fees and charges policies should be evaluated every other year to progress on meeting this objective.

8E: Offer programming that encourages use of the City's trail system and open space network. These programs or events can include fitness classes as well as interpretive programs to increase awareness of the City's assets.

2.6 Public Involvement

PROS GOAL 9: Encourage public input and involvement in as many aspects of park and recreation planning and operations as is feasible to give residents a sense of ownership.

Objectives:

9A: Cultivate avenues for input from those people or groups that are particularly interested in park and recreation issues, and encourage their continued interest and participation in the planning process.

9B: Maintain contact with citizens through a variety of means, such as press releases, public forums, mailings, a web site, and print advertisements.

9C: Use the Parks and Recreation Commission to maintain visibility and contact with citizens on park and recreation issues. These bodies should be used to integrate citizen input in the decision-making process and administrative structure.

9D: The City, assisted by the media when appropriate, should undertake the development of a public information program to promote parks, natural open space, trails, and recreation programs.

9E: Develop a volunteer program to recruit, organize and retain volunteers to serve the City on a variety of projects and programs related to the park system. The program should connect volunteers with opportunities that contribute to the system, while off-setting City resources and building ownership of the system.

SECTION 3. PARKS AND FACILITIES

This section describes recommendations for parks and facilities in Camas, presenting the preferred future park system concept. These recommendations provide more specific direction for the goals and objectives described in Section 2. Sections 4 and 5 detail recommendations for trails and natural open space areas.

3.1 Planning Concept

This Plan builds on the park system concept from previous iterations of the Camas Parks, Recreation and Open Space Plan: a system composed of various park types, each offering certain types of recreation opportunities. Separately, each park type may serve one basic function, but collectively the system serves the entire range of community recreation needs. This concept will provide an efficient and usable park and open space system that meets the needs of all residents.

The focus of the 2014 PROS Plan is to maximize the use of existing sites and facilities, while targeting locations where new parks are needed to serve planned growth areas. The *Park's Recreation, Open Space & Trails Element* of the City's current Comprehensive Plan (2004) relies on a different approach to expressing need, focusing on the number of needed acres per park type. Among other reasons, the expressed acreage need primarily supports park impact fees that the City can leverage to help fund new parks. Following adoption of the 2014 PROS Plan, the update to the Comprehensive Plan element should consider the park acreage needs, and revise these based on the proposed parks and recreation facilities identified in this chapter.

The Camas park system includes neighborhood parks located to serve individual neighborhoods in Camas, natural open space areas that preserve resources throughout the community, and special use areas to provide for specific recreation needs. Supplementing these sites are public and private sites and facilities, such as school sites, regional parks and privately owned parks, open space and recreation facilities. A comprehensive trail system links all of these sites to the regional trail network. At the center of Camas is Lacamas Lake, a

major community resource and defining feature of the City. The planning concept strengthens the role of the lake through new trail connections, protected open space areas and new parks along its shoreline.

The Draft Park System Concept Map depicts the proposed park system. Each existing and proposed park has a unique label that coincides with descriptions in this section based on the 2007 PROS Plan, to ensure continuity with external references.

Primary elements of the concept depicted on the map include:

- **Proposed Parks:** The general locations of proposed neighborhood and special use parks. The map depicts proposed park sites with an asterisk, illustrating the general and preferred location of a park site; not intended to indicate specific parcels of land.

- **Proposed Trails:** The preferred alignment of future trails and their connections to existing alignments.

- **Existing Parks and Trails:** The locations of all existing parks, natural open space areas and trails.

City of Camas WASHINGTON

Parks, Recreation and Open Space Comprehensive Plan Update

Draft Park System Concept

MIG

9.9.2014 | Data source: Clark County GIS, USGS, ESRI, NOAA

- Proposed Neighborhood Park
- Proposed Special Use Park
- Proposed Trails
- Existing Trail
- City Park
- City Open Space
- City Undeveloped Park
- Private / HOA Open Space
- Other Park
- County Park
- School
- Water
- Camas UGA Boundary
- City of Camas
- Taxlots
- Other City
- Highway

0 0.5 1 Miles

3.2 Neighborhood Park Recommendations

Proposed Neighborhood Park (NP-1)
A new neighborhood park is needed in the northwestern corner of the city to provide park service to residential areas unserved by existing parks. Once identified, the site should be acquired, master planned, and then developed to serve the growing residential population in the area.

Lacamas Heights Park (NP-2)
Lacamas Heights Park is located at the corner of the Lacamas Heights Elementary School/Camas High School campus. There are no proposed recommendations for this site. However, because of its small size and physical constraints this site may hold potential for transferring to the school district in exchange for more suitable parkland in other areas of the city.

Goot Park (NP-3)
The City should consider expanding the site into adjacent opportunity areas. These undeveloped lands are publicly owned and include overhead utility lines, but may be suitable for future public recreational facilities such as sports fields or an off-leash dog area. As with all expansion projects, the City should first develop a master plan for this area to help guide cohesive site programming, design and public access.

Oak Park (NP-4)
No major needs exist for this site and there are no proposed recommendations other than ongoing maintenance and upkeep.

Louis Bloch Park (NP-5)
Louis Bloch Park should be upgraded to better meet the neighborhood park design guidelines. The playground equipment, and restroom within the fence line should be upgraded and a covered picnic shelter should be considered for the site. Field improvements should be considered to allow for soccer and baseball/softball use. The City should also examine options for dealing with the lack of parking surrounding the park, especially on game days during baseball season. A parking management plan may be needed to reduce parking impacts on surrounding neighbors.

Crown Park (NP-6)
Crown Park is a community gathering place for Camas and should be upgraded to support its role as a destination park for the community. Major recommendations for Crown Park include:

1. **Continue to operate the pool pending the development of replacement facility.** The existing outdoor pool is aging, and is reaching the end of its useful life. During the planning process, the planning team discussed existing conditions and the future of the pool with City staff, the Planning Advisory Committee and the public. The result of these discussions indicated a desire to continue to operate the pool, avoiding major capital improvement costs, until the City opens a replacement pool at another location. The following section provides additional discussion of the pool.

2. **Develop a parking management plan for special events.** Crown Park has on-street parking on all sides of the park, which is adequate most of the time. However, during special events, parking issues arise. The City should develop an innovative parking management plan for special events. This plan should include identifying alternative parking locations, such as sharing the parking lots of nearby churches or businesses; incorporating shuttle buses if needed; and providing traffic management to direct people to alternative parking locations before they get to the park.

3. **Complete a master plan.** The master plan should be generated through a community design process, and should incorporate special features that support Crown Park as a community gathering place. Walkable features, performance space such as a stage or amphitheater, interactive water play features, picnic areas, and a destination playground are all elements that should be considered for this park. The plan should identify the

preferred programming that will replace the pool area once pool operations have relocated elsewhere. The master plan should identify phases and prioritize improvements. Ageing Douglas Fir trees on the site should also be considered for replacement in this plan.

4. **Phase in Crown Park improvements based on the master plan.** As funding is available, implement Crown Park improvements as recommended in the master plan.

Benton Park (NP-7)
Benton Park is a small wooded park with a community trail that connects the Ostensen Canyon to Downtown and Lacamas Park. This site will need a health assessment of old Douglas fir trees. Otherwise, no major needs exist for this site other than ongoing maintenance and upkeep.

Forest Home Park (NP-8)
As an older Camas park, Forest Home Park should be upgraded to meet established design guidelines for neighborhood parks. This park needs an upgraded restroom facility, along with a sheltered picnic area and upgraded playground equipment. As with Louis Bloch Park, there are parking issues at this site on game days. A parking management strategy should be developed to reduce impacts on surrounding neighborhoods.

Klickitat Park (NP-9)
No major needs exist for this site and there are no proposed recommendations other than ongoing maintenance and upkeep.

Ash Creek Park (NP-10)
Ash Creek Park should be developed as a neighborhood park as the surrounding neighborhood develops. The park should be master planned and built according to the neighborhood design guidelines.

Proposed Neighborhood Park (NP-11)
A new neighborhood park is needed to serve the central-western portion of Camas where multiple growth areas will occur. The specific location of this site should be central to the ongoing planning and development discussions occurring among the City, development community and the public. After identifying the site, the City should acquire the property and develop a master plan, then develop the site as the population increases in the area.

Grass Valley Park (NP~12)
Grass Valley is one of Camas' premiere parks. It is one of the city's best designed and most heavily used parks. This park provides a broader range of facilities and amenities than more typical neighborhood parks. Based on recommendations from the 2007 PROS Plan, the City has completed several improvement projects to this site including a perimeter walking path and additional public parking. The City should continue to provide ongoing maintenance of this popular park based on recommendations outlined in Section 6.

Dorothy Fox Park (NP~13)
Dorothy Fox Park is a neighborhood park that adjoins a school. This park should be improved to provide additional facilities, including permanent restroom facilities as well as a picnic area with shelter. The hedge at this site requires a significant amount of maintenance, and should be eliminated. The fence may need to be visually improved. The City should also consider sports field upgrades at this site.

Ostensen Canyon (NP~14)
The City should develop this park in phases as recommended by the site master plan. Improvements include a playground, restroom, picnic shelter, two basketball courts, two soccer fields, a tennis court, and a bridge across the canyon. Perimeter walking trails should also be included.

East Hillside Park (NP~15)
Because of its proximity, this site has potential for improved connectivity to Fallen Leaf Lake Park. The City should continue development of this park based on the master plan.

Proposed Neighborhood Park (NP~16)
The City should identify a new neighborhood park to serve future growth within this area of Camas. This location presents an opportunity for a larger neighborhood park that includes a wider range of facilities. In particular, the City should make use of the unique topography of Green Mountain for views of Lacamas Lake and most of northern Camas. The City should develop this site to support trail activities and take maximum advantage of the views.

Proposed Neighborhood Park (NP~17)
The City should identify an appropriate neighborhood park site to serve this growth area, just east of Camp Currie, to provide nearby neighborhood park service. Once it is identified, the City should acquire the site as the opportunity arises, develop a master plan, and then develop the property.

Proposed Neighborhood Park (NP~18)
The City should identify an appropriate neighborhood park site in this future growth area, just north and west of Camas High School, to provide neighborhood park service coverage in that area. The City should acquire the preferred park site, develop a master plan, and develop the property to coincide with population increases in the area.

Proposed Neighborhood Park (NP~19)
An appropriate neighborhood park site should be identified in this future growth area, northeast of the existing city limit, east of Camas High School and north of Lacamas Park, to provide neighborhood park service coverage in that area. The City should acquire the preferred park site, develop a master plan, and develop the property to coincide with population increases in the area.

3.3 Recommendations for Special Use Areas

Heritage Park (SU~1)
Heritage Park has a range of popular recreation facilities including a boat ramp, two docks and a playground. The site also serves as a trailhead, offering a restroom and public parking. There are no major needs identified for this site and the City should continue providing routine maintenance as recommended in Section 6.

Lacamas Lake Lodge (SU~2)
Formerly the Moose Lodge, Lacamas Lake Lodge offers indoor programming and rental space, and its location near Heritage Park and Lacamas Lake makes it an ideal location for holding special events. The City should continue to prioritize the use of this facility for community events and rentals.

Fallen Leaf Softball Field (SU-3)
Fallen Leaf Softball Field features a softball stadium, restroom and parking and is currently fully developed for this specialized use. The City should continue to provide routine maintenance for this site as recommended in Section 6.

Fallen Leaf Lake Park (SU-4)
Fallen Leaf Lake Park has considerable natural and aesthetic values and access around the lake should be maintained. The City should add an internal trail system, paved parking, as well as water access towards the north end of the site. The City should also identify the location of an improved public entrance to the park. Additional facilities that should be added to this site include a large picnic area to accommodate groups of 100+, trailhead signage and supporting facilities.

Proposed Ione Street Sports Park (SU-5)
In partnership with the Camas School District and local sports organizations, the City should pursue improvements to existing sports fields south of Doc Harris Stadium to create a lighted sports field complex for baseball, softball, soccer and football. Improvements using City parks funding should allow for public use in addition to the school uses of the fields. The City should include neighborhood serving amenities such as walking trails, a playground, and site furnishings to be available to the public during school hours.

Camas-Washougal Skatepark (SU-6)
The joint Camas-Washougal skatepark is a heavily used facility that is uniquely positioned between the two cities. This facility and the successful partnership should continue. Both partners should be aware of the need for enhanced visibility, supporting amenities and updated skatepark features to keep this park appealing to local youth. Upgrades should include a permanent restroom facility.

Washougal Greenway Boat Launch (SU-7)
An informal small boat launch exists behind the Camas-Washougal Skatepark on the Greenway. The City should improve access to this facility and add a restroom (serving the boat launch and skatepark) to better serve fishing and small boating users. Improvements to this site will coordinate with the City of Washougal's plans for a water trail on the Washougal River.

Proposed Community Recreation Center Site (SU-8)
Camas is currently examining the opportunity to build and operate a full service community recreation center. The preferred site to locate a new facility (SU-8) is located near Heritage Park and the Lacamas Lake Lodge. The Camas Community Center Development Committee has conducted a detailed study for the future facility, addressing potential programming, costs and impacts to the City.[1] Because of the location along Lake Road, the design for this site should consider traffic impacts, circulation needs and overall compatibility with nearby recreation areas and adjoining uses.

Camas Community Center (SU-9)
The existing Camas Community Center is a small former elementary school converted to recreation use. Built in 1915, the Center was not designed for recreation programming, and does not have a full-size gym. However, its classrooms and multi-purpose room do provide space for some types of recreation programming. A full-service multi-purpose recreation center is a major community priority for Camas residents, a function that is not served by the existing community center. In the future, as the proposed community recreation center moves forward, the City should reexamine the use of the existing community center to avoid duplication of services. All options should be considered for the community center site, including surplusing the property.

Proposed Downtown Gathering Place (SU-10)
The community continues to express a need for a community gathering space in Downtown Camas. Camas has an active, pedestrian-oriented main street with a mix of retail, office, and civic uses. The library and City Hall anchor the east end of Main Street. Camas should identify and develop a downtown gathering place or plaza to support ongoing downtown revitalization efforts. One potential location is the street segment between City Hall and the library, which could be designated and improved as a festival street that could be closed to traffic and used as a plaza, as is done currently with the farmers' market. This downtown gathering function could be supplemented by an interactive fountain or water playground at an adjacent integrated site.

[1] *The Camas Community Recreation Center: Keeping the Vision Alive, an Updated Financial Analysis, Camas Community Center Development Committee (2012).*

Proposed Columbia Viewpoint (SU-11)
During development of the plan, feedback from the community indicated a need to improve access to and views of the Columbia River. There are currently little to no opportunities to view the Columbia River in Camas because of the presence of SR-14, which serves as a barrier. Site SU-11 offers an opportunity for a viewpoint of the Columbia from the City's trail system. This site is likely to be accessible only by foot or bicycle, but is desirable as a viewpoint with a character of solitude. Parking should be provided near access trails to this site.

Prune Hill Sports Park (SU-12)
The Prune Hill Sports Park is located adjacent to Prune Hill Elementary School, and includes a sports field complex and restrooms. Additional facilities, including a gymnasium, parking, and a playground, are located on the school grounds. Parking and field use is shared between the school and the park with 22 parking spaces reserved for park use and the school having use of the fields for physical education classes. The City should also consider field upgrades, limiting these upgrades if field lighting is not possible due to impacts to the neighborhood.

Proposed Camas Sports Field Complex (SU-13)
Planned growth areas north of the lake will require nearby sports facilities. To meet the need for additional ball fields, Camas should acquire a large parcel of land within this future growth area north of the lake for use as a sports field complex. This facility would concentrate on competitive level play and offset some of the demand for sports field use in other areas of the city. Ideally, this facility would be created in partnership with the Camas School District and located in such a way that maximum use, including field lighting and artificial turf, is possible.

3.5 Recreation Facility Recommendations

This section discusses recommendations for recreation facilities. This includes many of the elements that are included in neighborhood parks as well as the more specialized facilities that may need a special use site.

Sports Facilities

Organized sports have been and continue to be a popular activity in Camas. During the planning process, the community identified a need for more sports fields, while City staff and PAC members discussed the need for improved scheduling of these facilities to manage their use. The following provides three recommendations to improve sports facilities, in addition to maintenance recommendations provided in Section 6.

1. **Provide informal fields at new neighborhood parks.** Camas should provide at least one rectangular informal or practice field at each new neighborhood park site, and if possible, should provide more than one field. These fields should be scheduled for team practices and games at lower levels of competition, but should also have unscheduled time for casual play.

2. **Concentrate competitive play.** Camas should develop a sports complex, a park with multiple fields (four to five softball or baseball and/or three or more soccer) with support facilities suitable for league play and tournaments. As described previously, SU-5 and SU-13 present good opportunities to work with the school district to provide shared facilities. Either location would provide a good starting point, but ultimately the City may require build out of both sites to meet the demand for competitive play as the community grows. Alternatively, the City could locate a sports complex in other underdeveloped sites in Camas. The location should conform to the design and development guidelines for special use areas (Appendix B), in a setting that would minimize impacts to nearby residential uses.

3. **Evaluate upgrades to existing fields to increase hours of use.** The fields in Camas are generally in very good condition. However, most fields were not built for the heavy use they receive. Field quality impacts the amount of time available for public use.

To expand the capacity of existing fields, Camas should consider upgrades to existing facilities to increase hours of community use, improve quality, and reduce maintenance demand. Turf renovation, conversion to sand-based fields (instead of earth-based fields), subsurface drainage improvements, and conversion to artificial turf are all options to consider. There are costs and benefits of each of these solutions, and the City should evaluate each situation to determine the best solution. Lighting should be a priority for enhanced fields to allow for extended playing time. The City should consider use of artificial turf only in lighted facilities.

Aquatics Facilities

Currently, the Crown Park pool is the only public swimming pool in Camas and the only public outdoor pool in Clark County. There are also indoor pools provided by others, including Lacamas Swim and Sport in Camas and the Firstenburg Center in Vancouver, WA.

Feedback from the public reinforced the importance of aquatic facilities and water play in Camas, as previously identified in the 2000 and 2007 PROS planning efforts. As the 2006 survey and 2013 questionnaire results indicated, public demand for a swimming pool remains high, as it was in 1999. The City conducted a feasibility study for an indoor aquatic center for the Camas-Washougal area in 2001, and an independent committee conducted a more recent study in 2012. The biggest constraints on aquatics facilities in Camas (as in other communities) are the cost of pool development and the ongoing operations cost.

Crown Park Pool

As part of the 2014 PROS update process, the planning team met with members of the Planning Advisory Committee to discuss the aquatic facility options presented in the 2007 PROS Plan. Built in 1954, the pool at Crown Park is suffering from an aging structure and equipment that has outlasted its design life. As outlined in the previous PROS Plan, the pool will continue to fail until it eventually becomes inoperable. Along with results from the public intercepts and community questionnaire, as well as discussions with City staff, the results of this meeting indicated a preferred direction for the aging Crown Park Pool.

1. **Continue to provide routine maintenance.** The City should continue with routine maintenance of the pool until a new facility is available to the public.

2. **Build a new pool as part of an indoor recreation center.** The City should find a suitable location for a public pool at another location, such as the Community Recreation Center or another site that is centrally located to the majority of Camas residents.

3. **Replace the pool with a new recreational facility.** Replacement of the pool should be based on a future master plan for Crown Park. A water playground or sprayground is a popular type of facility that may function well as a replacement of the Crown Park pool. Spraygrounds are play areas where water is sprayed from structures or ground sprays and then drained away before it can accumulate. These playgrounds with water features are sometimes referred to as aquatic playgrounds, splash pads, or water play areas.

Indoor Aquatic Center at a Community Recreation Center

If Camas pursues a public indoor swimming pool, it should be part of a full-service community recreation center and not a stand-alone indoor pool. The aquatic element should be considered as part of the operating pro forma for the community recreation center. An outdoor pool element could be considered for the community recreation center. To serve the most users, Camas should consider incorporating both a leisure pool and a competition pool at the community recreation center.

- **Leisure pool.** A leisure pool is generally free-form in shape and often varies from 0 to 4 or 6 feet in depth. These pools usually contain a shallow area for small children, along with free play area and special effects facilities, such as water slides, bubble pool, current channel, swirl pool, or water playground. The leisure pool is a place for fun and water play rather than competitive swimming.

- **Competition swimming pools.** These pools are usually rectangular in shape and are generally in lengths for competitive swimming (25 m or 25 yd). These pools generally range in depth from 3.5 to 8 or 12 feet, and sometimes have a diving board. These two types of pools attract different interest groups and age profiles.

As a result, they have different operating requirements, user capacities, and revenue generation potential. Camas should avoid a 50-meter pool, because these generally have the highest operating cost and limited additional value to the majority of the community.

Indoor Recreation Facilities

Camas needs indoor recreation space that supports a broader range of activities than the aging Community Center. The community's need for indoor space dates back to before the 2000 Plan, and was reconfirmed in 2006/2007 and again during this 2014 PROS Plan update. Many communities in the Northwest are adding multi-use recreation centers because of the recreation opportunities they provide, particularly during rainy winter months. If designed correctly, a recreation center can offer a wide variety of activities while meeting financial goals for operation. The public also expressed interest in creating an indoor play area that could be located in a new recreation center or other indoor public facility such as the existing Community Center building.

Community Recreation Center

In Camas, the preferred model for an indoor center is a multi-purpose community recreation center that provides rooms for receptions, meetings, and large group gatherings, as well as gymnasiums, fitness rooms, and classrooms. The Camas Community Center Development Committee identified a potential site along Lake Road, known as the Buhman property and identified as SU-8 on the concept map, which could be a suitable location.[2]

The next step in pursuing the center is to conduct a detailed feasibility study to identify the building program that is the best fit for the financial goals. The City should also consider outcomes and recommendations of the financial analysis conducted by the Camas Community Center Development Committee. While the feasibility study will determine the best program of uses to meet the desired financial goals, the following facilities should be considered for an indoor recreation center:

- Gymnasium (at least one full-sized court)
- Multipurpose room for special events, receptions, and dance classes
- Catering kitchen

[2] *The Camas Community Recreation Center: Keeping the Vision Alive, an Updated Financial Analysis, Camas Community Center Development Committee (2012).*

- At least two classrooms/meeting rooms to accommodate various sized groups
- Exercise room (aerobics, dance, fitness classes)
- Fitness center
- Support facilities, including lobby, restrooms, office space for center staff, locker rooms, storage space, etc.
- Arts and crafts room
- Concessions/vendor space such as a coffee kiosk or snack bar
- Indoor leisure and conventional pools
- Potentially a youth center and/or a senior center.

Lacamas Lake Lodge

The Lacamas Lake Lodge is located near Heritage Park along Lacamas Lake and Lake Road. Located on the site formerly occupied by the Camas Moose Lodge, the new building provides community meeting and event space as well as improved access to Lacamas Lake and public parking. This facility is intentionally designed for multiple uses but is especially well suited to rent for events. The City should program this facility to support recreation but ensure that this use does not interfere with the rental use, which will maximize the revenue stream to support this facility and other City services.

Camas Community Center

The Camas Community Center is a historic school building located south of the Washougal River and downtown Camas. The City uses this structure as the offices for the Park Department, in addition to providing some recreation programming space and rentals. This facility has limited function as a recreation center due to its small size, limited amenities, location, and lack of expansion room. Additionally, the facility would require extensive and expensive upgrades to extend its useful life. If Camas proceeds with a community recreation center, the City should reconsider the role of the Camas Community Center since the recreation center will accommodate the recreation uses of the Community Center.

A range of options is possible for the Community Center.

1. **Surplusing the property.** Camas could surplus the property, either selling or donating it to another user. This would reduce the operating impacts to the City, and reduce the need for future capital projects at the center.

2. **Leasing the property.** Camas could lease the property to another user. Depending on the lease agreement, the operating impacts to the City could be reduced, while still keeping the property in public ownership.

3. **Continuing public ownership.** Public ownership could continue with the same or different uses. Under this option, Camas would retain ownership, but could change the use. For example, the Community Center could become a maintenance headquarters, or be improved to provide a range of recreational opportunities such as an indoor play area.

Other Recreation Facilities

Camas has a highly developed park system that supports a broad range of recreation interests. As confirmed through the public involvement process, the community highly values the park system, and has expressed interest in additional recreation facilities to supplement the existing offerings.

Off-Leash Dog Area

An off-leash dog area provides a location where residents can allow their dogs to play and exercise off-leash. An off-leash area should be at least one acre in size, be fenced with a double-gated entry, have nearby parking, and include amenities such as pooper scooper stations, water, benches, and trash cans. The site should also be safe, not isolated, and noise impacts on neighbors should be considered. This facility may be a prime opportunity to cooperate with neighboring Washougal or Clark County to create a facility with a regional draw.

Water Access

Water access to the Washougal River, Lacamas Lake, Fallen Leaf Lake, and the Columbia River continues to be a high priority for residents. Camas should maximize water access opportunities at all waterfront parks and should target acquisition of additional waterfront park

sites. Water access means trails, viewpoints, overlooks, and non-motorized boat access, and does not necessarily mean boat ramps and similar high intensity facilities. The City should base improvements in public water access and use on the goals, policies and regulations of the Shoreline Master Program (2012).

Pilot Projects

There are a range of facilities, including those that support new or emerging types of activities, which could be provided in the city's park system. In addition to those previously mentioned in this section, other types of facilities identified by the public included community gardens, bike skills parks and bike pump tracks, covered play areas, fitness courses and others. Though the park system has limited space to accommodate all of these facilities, the City can develop pilot projects in coordination with user groups at suitable locations. Pilot projects allow the City to test the performance of added features through a limited or conditional use agreement with project proposers. After a predefined trial period, the City should reevaluate successful projects as permanent park features.

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SECTION 4. TRAILS

4.1 Trails Plan Concept

Trails are an important recreation asset in Camas, and residents continue to place a high priority on a community-wide trails network. Results from public outreach activities from past plans, as well as the most recent PROS Plan update process reinforce the community's commitment to trail-related recreation and reflect the high popularity of recreation activities that take place in trail corridors, such as walking, bicycling for pleasure, nature walks, and jogging/running. The questionnaire results in Appendix A describe these findings in greater detail and include comparisons to the 2007 PROS Plan outcomes.

As with the 2007 PROS Plan, the Parks, Recreation and Open Space Comprehensive Plan Update responds to community needs and priorities by recommending a network of trails that provides linkages within the community as well as to the region beyond. Based on feedback from the community, there is strong support for trails and connections that provide:

- Direct and safe connections to school, work and home;
- Looped routes for fun, enjoyment and recreation;
- Trails and trailheads that provide scenic views of surrounding natural beauty, especially Lacamas Lake, Mt. Hood, the Columbia River and Columbia Gorge;
- Trails designed for multiple users to enjoy without conflict; and
- Facilities that are accessible, efficient and well maintained.

The trails plan provides connections between parks, open spaces, schools, and neighborhoods, and incorporates the Vancouver-Clark County regional trails, City of Washougal and Port of Camas-Washougal facilities, and the Camas Open Space Network into a cohesive trail system for the community. The trails plan also supports neighborhood connections to the community-wide system, and provides for trailhead support facilities to encourage trail use.

4.2 Existing Inventory

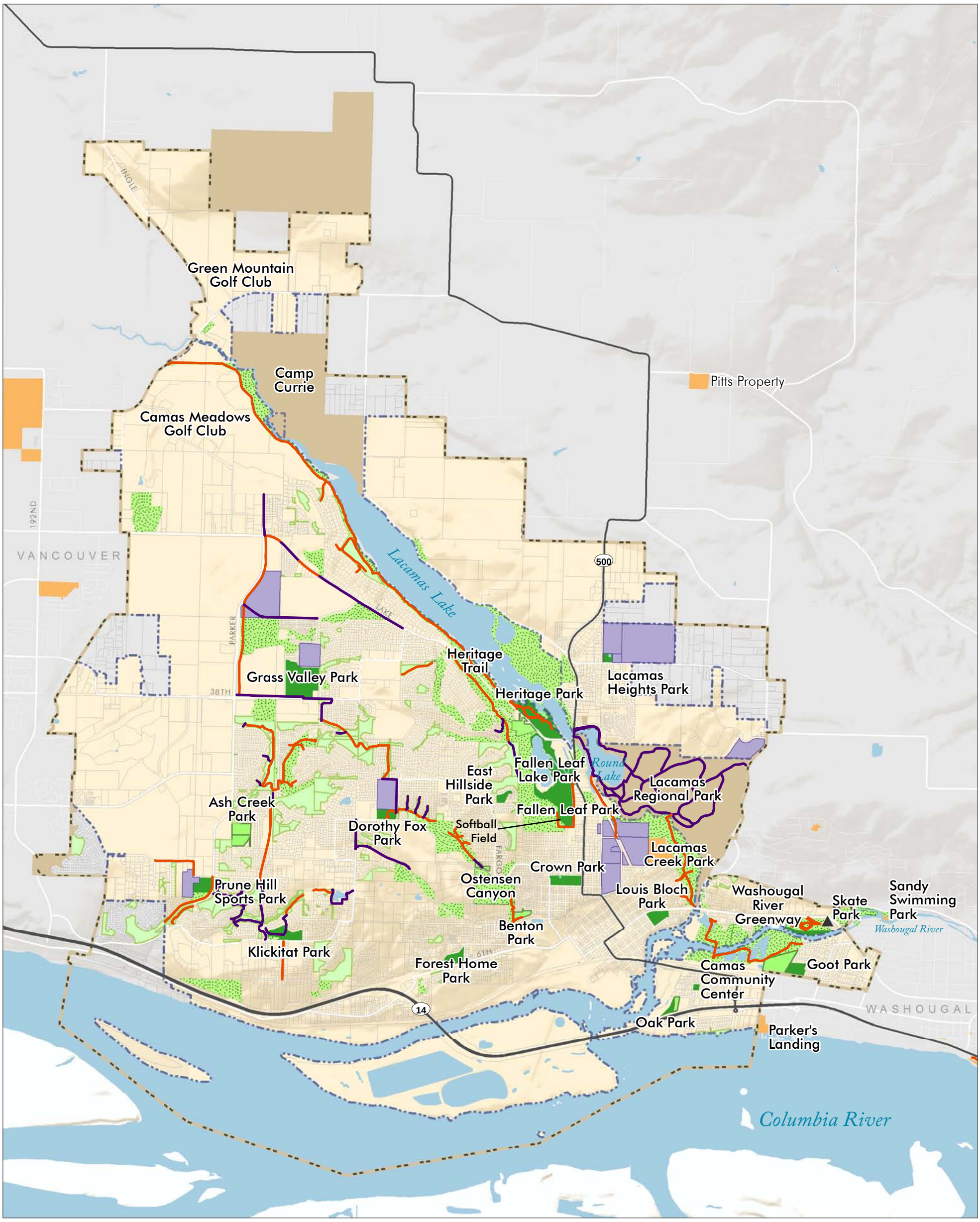
There are currently 25.3 miles of existing trails within the planning area. These include three major trail routes, and several other segments owned by the City and others. The City has connected many shorter segments into longer continuous segments. However, several missing segments will require completion to create an interconnected system. Table 4.1 details the existing trail inventory in Camas.

Table 4.1
2014 Trail Inventory

Trail Name	Length in Miles	Description
Heritage Trail	3.5	Unpaved; trailhead at Camas Heritage Park; runs along Lacamas Lake
Lacamas Park trails (county)	4.6	0.14 miles paved; 4.48 miles unpaved; other informal paths; natural open space
Washougal River Greenway trails	0.9	Partially paved with other informal paths
Other Trails	16.2	Various segments owned by the City and a number of Homeowners' Associations.
TOTAL	25.3	

Existing trails include the Heritage Trail along Lacamas Lake, a heavily used nature trail. The trails in County-owned Lacamas Park and City-owned Lacamas Creek Park provide outdoor experiences and are easily accessible by the public. The Washougal River Greenway provides contact with the Washougal River, and is used by Camas residents as well as regional users. Camas has made great progress towards an interconnected trail system, but there continues to be a lack of connections between individual trail segments.

According to 2006 survey results and results of the Community Recreation Questionnaire (Appendix A), one of the most significant reasons people don't use trails more frequently is lack of connections. The Existing Trails System Map on the following page shows the existing trails in Camas.



City of Camas WASHINGTON

Parks, Recreation and Open Space Comprehensive Plan Update

Existing Trails

City Trail
Other Trail
City Park
City Open Space
City Undeveloped Park
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City of Camas
Taxlots
Other City
Highway

0 0.5 1 Miles

MIG

9.9.2014 | Data source: Clark County GIS, USGS, ESRI, NOAA

4.3 Recommended Trails Plan

The recommended trails plan provides a linked system based on a hierarchy of trail types. Linkages are provided at the neighborhood scale, at the communitywide scale, and regionally. The trails plan also takes advantage of existing and planned public land and utility infrastructure, the open space network, and the existing trails provided by private developments (Draft Trails System Concept Map). In addition, the recommended trails plan incorporates the Vancouver-Clark County trails plan and the City of Washougal's trails plan.

Carried forward from the 2007 PROS Plan, each trail segment is designated by a reference, such as T-1 (designating trail segment 1). The Draft Trails System Concept Map provides an overview of the segments, described in detail below. Proposed segments of the trail system are generalized to make connections or follow the direction of natural corridors. Final alignments are subject to change due to environmental conditions, development or alternate routes. Table 4.2 summarizes trail recommendations.

There are two types of trails shown on the Draft Trails System Concept Map: those owned and maintained by the City and those owned and maintained by other parties. By focusing on connecting individual segments, the Camas trail network will provide a wide variety of pathway experiences and tie together regional and community connections. Appendix B (Design & Development Guidelines) provides trail development policies and further guidance for development of the system.

Trail Segment Descriptions

Trail T-1
Trail T-1 runs along the west side of Camas, paralleling Parker Road. This trail segment provides a north-south connection and links two regional trails. About half of the alignment has been constructed. This segment passes from Prune Hill Park, to Ash Creek Park, past Sky Ridge Middle School and ending at its junction with T-3.

Trail T-2
Trail T-2 parallels the Columbia River. This regional trail is an extension of the Vancouver-Clark County trail system, and connects to neighboring Washougal's trail system. This trail provides visual access to the Columbia River, and makes an important regional connection.

Trail T-3
Trail T-3 is a regional trail running along the north shore of Lacamas Lake and connecting Lacamas Park, Camp Currie and the County's Green Mountain Trail heading north. Trails T-3 and T-4 make a loop around Lacamas Lake. This trail segment will include bridges or boardwalks across wetlands and water features in some locations. T-3 continues just north of Lacamas Park and then south, crossing T-4 at the Washougal River and continuing on to the Columbia River and trail T-2.

Trail T-4
Trail T-4 is the Heritage Trail, a regional trail running along the south side of Lacamas Lake and connecting Lacamas Park and Camp Currie. It passes through Heritage Park and will link to planned segment T-3, creating a loop around Lacamas Lake. T-4 links through Lacamas Park, continues into the Washougal River Greenway, and includes a bridge across the Washougal River to connect with T-17.

Trail T-5
Trail T-5 provides a loop around Prune Hill, with linkages to parks and neighborhoods. The northern half of the loop connects from Lake Road through the Open Space Network to the proposed Ash Creek Park. The southern half of the loop connects from Klickitat Park, continues through the Open Space Network, and connects Fallen Leaf Park. Camas has been completing pieces of trail T-5 as development has occurred along the alignment.

Trail T-6
Trail T-6 parallels Lake Road, connecting from T-1 to T-21. This segment has been partially constructed.

Trail T-7
Trail T-7 connects from T-5 through Grass Valley Park and parallels NW 38th Avenue toward the west boundary of Camas. The segment of the trail in the vicinity of Grass Valley Park has been constructed.

Trail T-8
Trail T-8 is a north/south connector that connects through the center of the T-5 loop. This trail connects through the Open Space Network and passes Dorothy Fox Elementary School and Dorothy Fox Park. The trail also includes several spur connections to T-9 and T-7 as well as a pedestrian bridge connection to T-9 across Ostensen Canyon.

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Draft Trail System Concept

Primary Trailhead
Secondary Trailhead

Existing Trail System
City Trail
Other Trail

Proposed Trail System
Proposed Trails
Other Trail

City Park
City Open Space
City Undeveloped Park
Private / HOA Open Space
Other Park
County Park
School
Water

Camas UGA Boundary
City of Camas
Taxlots
Other City
Highway

0 0.5 1 Miles

MIG

9.9.2014 | Data source: Clark County GIS, USGS, ESRI, NOAA

Trail T-9
Trail T-9 connects from T-3/T-4 past Zellerbach Elementary School and Liberty Middle School (the renovated high school), through downtown, and then passes through the Benton Park and Ostensen Canyon sites. This trail then connects to trail T-8 at a bridge across Ostensen Canyon and at Dorothy Fox Park before turning south to reconnect to T-5.

Trail T-10
Trail T-10 includes a mini network of connections from neighborhoods to Klickitat Park and Prune Hill Sports Park. The trails also link to T-1, T-5 and T-11. This trail is owned and maintained by local Homeowners' Associations, is located largely within the Open Space Network, and is nearly complete.

Trail T-11
Trail T-11 is a loop that connects Klickitat Park to the overlook at SU-9.

Trail T-12
Trail T-12 connects from T-5 at Fallen Leaf Lake to a proposed neighborhood park.

Trail T-13
Trail T-13 is the trail network around Fallen Leaf Lake. This trail connects to Fallen Leaf Park as well as T-4 and T-5. The City has already completed several sections of this trail.

Trail T-14
Trail T-14 connects from T-3 and Lacamas Park to a planned neighborhood park, Lacamas Heights Elementary School, and Camas High School. T-14 also forms a loop with T-3 and T-27.

Trail T-15
Trail T-15 includes the Lacamas Park trail network. This system provides important community connections between T-3 and T-4.

Trail T-16
Trail T-16 provides a linkage from Louis Bloch Park to the Washougal River Greenway.

Trail T-17
Trail T-17 is the Washougal River Greenway trail system on the south river bank. This trail segment passes through the Washougal River Greenway, providing access to the river corridor for Camas, Washougal, and regional residents. This trail segment is joined to T-4 by a pedestrian bridge across the Washougal River to link the Greenway corridor and increase access. T-17 links to Oak Park, Goot Park, and T-2, the Columbia River trail.

Trail T-18
Trail T-18 follows a utility corridor from Washougal and meets up with Trail T-4 in the Washougal River Greenway. T-18 is also a proposed trail in the Washougal Comprehensive Park and Recreation Plan.

Trail T-19
Trail T-19 connects Lacamas Park trails to the north-south trail T-18 and to the Washougal trail system. This trail should be a jointly maintained connection between the two cities.

Trail T-20
Trail T-20 provides a secondary east-west connection between T-1 and T-21 in the northwestern corner of the City.

Trail T-21
Trail T-21 is a north-south connection on the western edge of Camas. It connects from T-4 south to T-1. East-west connections to T-21 are provided by trails T-6, T-7, T-20, T-22 and T-24.

Trail T-22
Trail T-22 includes the Leadbetter Corridor and connects T-6 east-west across T-1 to T-21.

Trail T-23
Trail T-23 connects through the open space network from the intersection of trails T-1 and T-22 to trail T-21.

Trail T-24
Trail T-24 connects trail T-23 with Prune Hill Sports Park and Trail T-1.

Trail T-25
Trail T-25 connects T-5 to Forest Home Park.

Trail T-26
Trail T-26 connects T-5 and T-8 to Grass Valley Park through a portion of the Open Space Network.

Trail T-27
Trail T-27 is the primary trail that will connect uses along the north shore of Lacamas Lake. This route will run parallel to the future realignment of Leadbetter Road and provide a continuous trail from the northern corner of the city towards Lacamas Park to the southeast.

Trail T-28
Similar to Trail T-32, Trail T-28 will link land uses on the north shore of Lacamas Lake. The City should design and construct this segment concurrent with future utility lines and pump stations planned to serve future uses.

Trail T-29
Trail T-29 will provide an alternative trail connection for residents of this future growth area.

Trail T-30
Trail T-30 will provide an alternative trail connection for residents of this future growth area.

Trail T-31
Trail T-31 will connect opposite sides of Camp Currie with a more direct route.

Trail T-32
Similar to Trail T-28, Trail T-32 will link land uses on the north shore of Lacamas Lake. The City should design and construct this segment concurrent with future utility lines and pump stations planned to serve future uses.

Trail Recommendations

Table 4.2 summarizes the recommendations for the Camas trail network. Trails T-27 though T-32 comprise trails in areas recently brought into the city limits. The 2007 PROS Plan identified several of these prior to their annexation into the city. While the specific alignment of these trails will be based on future development proposals, these segments will provide key connections north of Lacamas Lake.

Table 4.2
Summary of Trail Recommendations

Trail #	Name	Total Miles	Comments	City Maintained
T-1	West Camas Regional Trail	2.1	Completion/ Acquisition/ Development	✓
T-2	Columbia River Regional Trail	6.6	Acquisition/ Joint Development	✓*
T-3	East Camas Regional Trail*	7.9	Clark County Development	✓
T-4	Heritage Trail	1.8	Minor Additions/ Improvements/ Development of Washougal River crossing	✓
T-5	Camas Neighborhood Loop Trail	3.1	Additional Acquisition/ Development	✓
T-6	Lake Road Connector Trail	1.0	Completion/Upgrade to Standard	✓
T-7	West Camas Connector Trail	2.1	Completion/Upgrade to Standard	✓
T-8	Prune Hill Connector Trail	0.9	Completion/Upgrade to Standard	
T-9	Downtown Connector Trail	0.4	Completion/Upgrade to Standard	✓
T-10	Deer Creek Connector Trail	0.2	Completion/Upgrade to Standard	
T-11	View Ridge Connector Trail	0.3	Completion/Upgrade to Standard	✓
T-12	East Hilltop Connector Trail	0.2	Acquisition/ Development	✓
T-13	Fallen Leaf Lake Trails	1.8	Development/ Completion of Acquisition	✓
T-14	Lacamas Heights Connector Trail	1.1	Acquisition/ Development	
T-15	Lacamas Park Trails	3.7	No Changes	

Trail #	Name	Total Miles	Comments	City Maintained
T-16	Louis Bloch Connector Trail	0.3	Acquisition/ Development	
T-17	South Camas River Loop	3.3	Acquisition/ Development	✓
T-18	Washougal Connection	1.5	No Action	
T-19	Washougal Connection 2	0.6	No Action	✓*
T-20	Northwest Connector	0.8	Acquisition/ Development	
T-21	Westside Route	3.4	Acquisition/ Development	✓
T-22	Leadbetter Corridor	0.3	Acquisition/ Development	✓*
T-23	Natural Trail	2.6	Acquisition/ Development	
T-24	Prune Hill West Trail	0.9	Acquisition/ Development	
T-25	Forest Home Park Connection	0.8	Acquisition/ Development	
T-26	Grass Valley Link	0.9	No Changes	
T-27	North Camas 1	4.7	Acquisition/ Development	✓
T-28	North Camas 2	1.1	Acquisition/ Development	✓
T-29	Green Mountain 1	2.8	Acquisition/ Development	
T-30	Green Mountain 2	0.3	Acquisition/ Development	
T-31	Camp Currie Connection	0.3	Acquisition/ Development	✓
T-32	North Camas 3	0.8	Acquisition/ Development	✓
	TOTAL	58.6	Total City/Joint Maintained Trails	40.0 miles

*Jointly maintained

Trailhead Recommendations

Trailheads are another key component of the trail system. These facilities serve as access points, encourage use of the trail system and establish support facilities at stand alone sites or within existing and future parks and open spaces. The Draft Trails System Concept Map depicts the recommended location of trailheads. There are two types of proposed trailheads. Primary trailheads include restrooms and designated parking, while secondary trailheads provide trail access but not restrooms. In some cases, trailheads are incorporated into existing or proposed parks. In other cases, trailheads will be developed for that single purpose.

Table 4.3 summarizes the recommended trailheads. For proposed trails north of Lacamas Lake, the City should consider providing additional trailheads upon further planning of this area. Appendix B provides additional design and development considerations for future trailheads in Camas.

Table 4.3

Summary of Recommended Trailheads

ID	Location	Type
a	Camas Meadow Greenway	Primary
b	Skyridge	Secondary
c	West Camas Park	Secondary
d	Grass Valley Park	Primary
e	Ash Creek Park	Secondary
f	Prune Hill Sports Complex	Primary
g	Klickitat Park	Secondary
h	Dorothy Fox Park	Primary
i	Fallen Leaf Lake Park	Secondary
j	Heritage Park	Primary
k	Lacamas Heights Park	Secondary
l	Fallen Leaf Lake	Secondary
m	Lacamas Park	Secondary
n	Hellen Baller/Liberty MS	Secondary
o	Lacamas Park South	Secondary
p	Washougal River Greenway	Primary
q	Oak Park	Secondary
r	Goot Park	Primary
s	Washougal River Greenway 2	Secondary
t	Washougal River Greenway 3	Primary
u	Lacamas Lake 1	Secondary
v	Lacamas Lake 2	Primary
v2	Lacamas Lake 3	Primary
w	Columbia Viewpoint	Secondary
x	Lacamas Park East	Primary
y	Sports Park	Primary
y2	Lacamas Heights School	Primary
z	Green Mountain Overlook	Primary
z2	Green Mountain Overlook 2	Secondary

SECTION 5. NATURAL OPEN SPACE

5.1 Overview

Camas residents are strongly tied to the area's natural open space, and value the range of benefits these lands provide. As with the City's previous PROS plans, activities that can take place in open spaces, such as nature walks, wildlife watching and hiking, are some of the most popular activities according to public feedback gathered during the planning process. At the same time, the public also prioritizes the natural system benefits these areas provide, such as water quality, wildlife habitat and land preservation. The city has an extensive network of public and private open space sites and has also placed development restrictions on critical areas. As verified by the community, the city's natural open spaces continue to serve a key role in the park and recreation system in Camas.

5.2 Existing Natural Open Space

Natural open space includes undeveloped land left primarily in its natural environment with recreation use as a secondary objective. It may be owned by a public agency or preserved under private ownership. This type of land often includes wetlands, steep hillsides, and large blocks of forested areas or similar spaces. Environmentally sensitive land (or critical areas) can include wildlife habitat areas, stream and creek corridors, or places with unique and/or endangered plant species.

Existing natural open space exists in a number of forms in Camas. This makes for a variety of experiences for hikers and walkers, as well as providing a variety of habitat opportunities. A small number of the open space sites are relatively large in size and contain trail segments. However, many of these sites are independently located and do not all connect together.

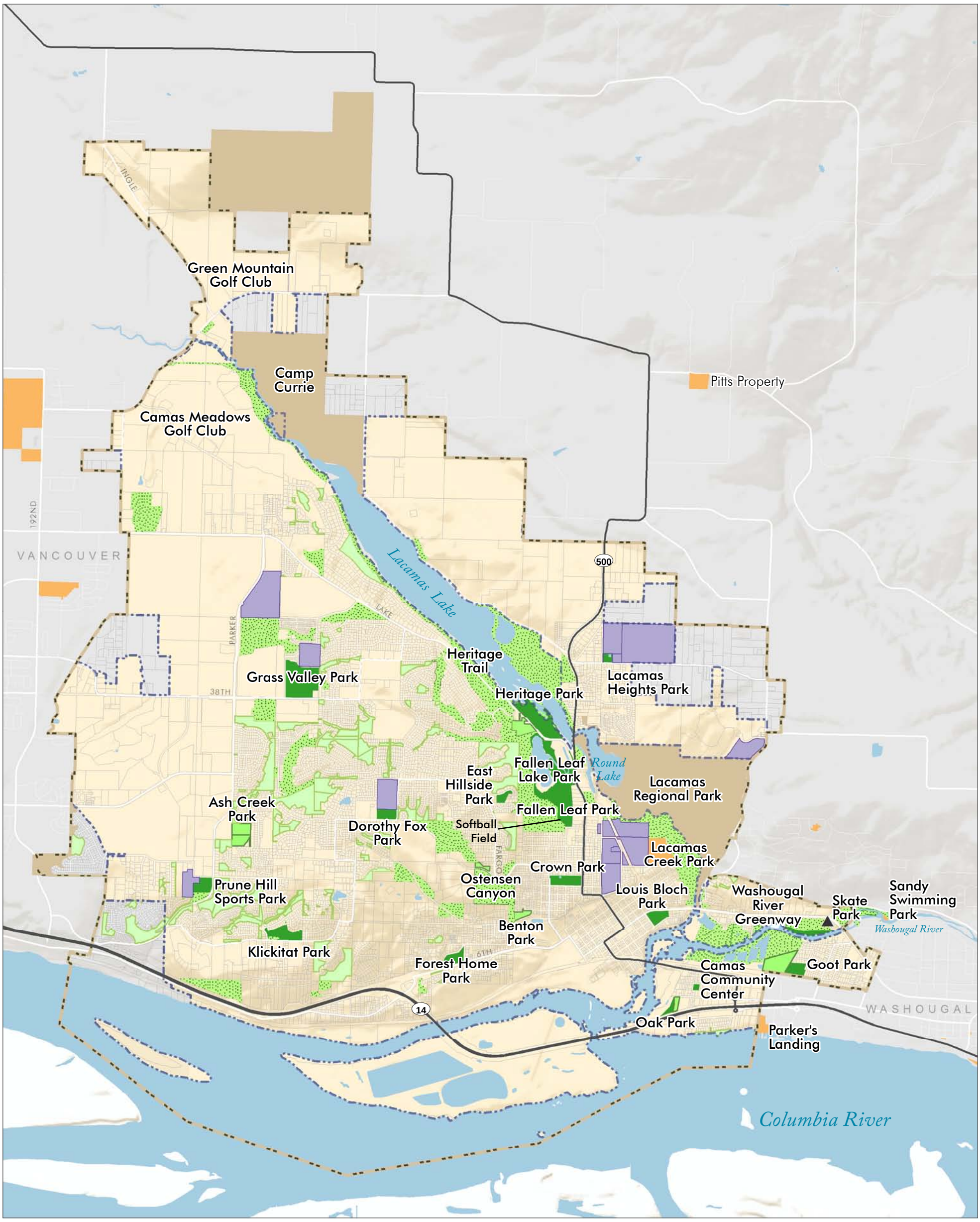
The existing natural open space also varies considerably in terms of character, terrain, vegetation cover and other features. Of concern is that each type of open space requires a different type of maintenance and management. The urban forest in Camas will also require specialized care to maintain the health of the trees and management of invasive vegetation.

The City of Camas owns many parcels of open space. Some of these parcels form large continuous areas while others are smaller and more isolated. The largest City-owned open space sites are called out on the open space inventory below in Table 5.1. The Existing Parks and Open Space Map on the following page depicts the existing natural open space in Camas.

Table 5.1
Summary of Existing Natural Open Space

Natural Open Space	Acres
City-Owned Natural Open Space	
Camas Meadows Greenway	22.4
Heritage Trail Greenway	38.1
Lacamas Creek Open Space	50.3
Ostenson Canyon Greenway	26.8
Washougal River Greenway	95.3
Other City-Owned Natural Open Space	207.4
Clark County-owned Natural Open Space and Regional Parks	543.4
Homeowners Association Owned Natural Open Space	268.7
TOTAL	1,252.4

Other significant natural open space areas include the Clark County owned sites and the many pieces of land owned by various Homeowners' Associations.



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Existing Parks and Open Space

- City Park
- City Open Space
- City Undeveloped Park
- Private / HOA Open Space
- Other Park
- County Park
- School
- Water
- Camas UGA Boundary
- City of Camas
- Taxlots
- Other City
- Highway

0 0.5 1 Miles

MIG

9.9.2014 | Data source: Clark County GIS, USGS, ESRI, NOAA

5.3 Open Space Components

As defined in previous plans, the goal of this PROS Plan update is to define a permanent open space network from various categories of critical lands and other forms of natural open space. These three basic types of land are:

1) **Existing Natural Open Space:** This is land owned by the City, Clark County or that is owned as permanent open space by homeowner's associations. The Existing Parks and Open Space Map shows the existing natural open space system which currently represents about 1,252 acres of land.

2) **Wetland Areas:** These are areas that are inundated or saturated by surface water or ground water at a frequency and duration to support a prevalence of vegetation typically adapted for life in saturated soil conditions. Wetlands typically include swamps, marshes, bogs, constructed mitigation sites, and similar areas, but do not include man-made areas such as ditches, swales, canals, detention and wastewater facilities, or other water features. A number of state and federal regulations are currently in place that either prohibit or limit the amount of development that can occur on or around areas designated as wetlands.

   Wetland areas also require buffers to protect the integrity, function, and value of the wetland. The width of these buffers is established in the Critical Areas Ordinance adopted by the City and is generally based on the intensity of adjacent development and the overall value of the wetland. Because of these development restrictions, wetlands areas provide opportunities for additions to open space systems without substantial acquisition cost.

   There are two major areas where wetlands exist. The largest amount is located in the western portions of the city, generally west of NW Parker Street. The other prolific area of wetlands exists in the Washougal River Greenway area to the southeast. Large portions of this land have been acquired as natural open space already.

3) **Steep/Unstable/Geologically Hazardous Areas:** The City of Camas adopted ordinances and maps providing protection of these areas. Development proposals within these areas are subject to geotechnical work and additional review by the City.

5.4 Permanent Open Space Network

The objective of the PROS Plan update is to combine individual open space parcels into an open space network to preserve vegetation, separate neighborhoods, create a sense of seclusion, protect critical areas, and provide land for trail systems. The 2007 PROS Plan defined the City's open space system as the Permanent Open Space Network or simply "The Network."[1] The Draft Open Space Concept Map depicts the Permanent Open Space Network.

Criteria for Inclusion in the Open Space Network

1) *Continuous Wildlife Habitat:* Typically, urban development separates habitat areas and prohibits wildlife from migrating from one area to another. By providing continuous habitat corridors, these problems can be reduced.

2) *Connecting Existing Open Space:* The basic concept of the Network is to form large parcels of open space. Obtaining connecting open space parcels is the key to this concept.

3) *Drainage and Erosion Control:* The inclusion of steep or unstable slopes, as well as regulations on buffers for streams and creeks means that a number of steps are in place to protect the waterways and control erosion. The Network includes the majority of shorelines, including Lacamas Lake, within the planning area.

4) *Protection of Viewsheds:* A number of open space areas serve to protect views both within the City and from outside.

5) *Interpretation/Education:* A number of wetland sites, waterways, and areas of geologic diversity are included in

[1] *Some areas identified on the Draft Open Space Concept Map are not included in the Network. These areas do not adhere to the criteria for inclusion in the Network.*

the network. These provide educational as well as interpretive functions.

6) *Wetlands:* Inclusion of wetlands and mitigation sites will protect environmentally critical areas and wildlife habitat.

7) *Trail Corridors:* While not a high priority, trail corridors developed concurrently with the Network will provide a safe and enjoyable route for trails. Some natural open space should have limited impact from trails, and thus routing should be outside or at the fringes of the Network corridors.

8) *Maintenance Impacts:* As open spaces are reviewed for inclusion in the City owned and maintained system, cost of maintenance is a factor to be considered in the review. Section 6 outlines the levels of maintenance for different types of natural open space.

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Draft Open Space Concept

- Open Space Concept Map
- City Park
- City Open Space
- City Undeveloped Park
- Private / HOA Open Space
- Other Park
- County Park
- School
- Water
- Camas UGA Boundary
- City of Camas
- Taxlots
- Other City
- Highway

0 0.5 1 Miles

MIG

9.9.2014 | Data source: Clark County GIS, USGS, ESRI, NOAA

Network Connections

Network connections are areas needed to connect individual open space parcels together to form a much larger area. In most instances, this land will not fall under one of the other open space categories and so will consist of developable land. This will require purchase at fair market value, relying on park and open space impact fees as the primary funding source.

Network connections should have a high priority of acquisition because of their development potential and the importance of connecting other open space areas. The 2000 PROS Plan identified 170 acres of Network Connection land. Of this total, acreage consists of city-owned land or land dedicated as open space through development of residential uses. Remaining undeveloped land forming connections in the Permanent Open Space Network remains a high priority for acquisition by the City.

Network Policies

The intent of the Network is the creation of a regulatory overlay that will identify the general location of the desired open space areas along with policies related to managing and using these areas. Based on conversations with City staff and input gathered during the planning process, the land identified for inclusion in the Permanent Open Space Network should be accessible to the public, and the City may acquire or accept ownership of these lands. The City prioritizes ownership of land which has the highest values in terms of the "Criteria for Inclusion in the Network," as listed above. With ownership, the City will assume responsibility for managing the City-owned open space. Other network policies include:

1) Specific boundaries of the Network will be identified at the time of specific development and will be determined by the network criteria.

2) Policies described for the acquisition and management of the Network will be followed in the land development process. The City, guided by the criteria for inclusion in the Permanent Open Space Network, will determine the amount and general location of land set aside for the Network.

    - New development must reflect the intent of the Network in configuration and general area.

- Developers may receive density bonuses for land that is dedicated for the Network

3) Natural open space in a development outside of the Network may be reserved for open space but will not receive a density transfer, nor will the City be responsible for the maintenance and management of these areas.

5.5 Open Space and Lacamas Lake

Feedback from the public identified Lacamas Lake as a defining feature of Camas and should be enhanced with new and improved ways for public access, and heightened protections to preserve habitat, views and water quality. Shoreline and upland development and continued use of the lake should be balanced with a mix of policies and projects that restore this valued resource and sustain the long term health of the lake.

Since the 2007 PROS Plan, the City has expanded its boundary and has designated a mix of land uses north of Lacamas Lake. With this addition, the Network includes larger, more continuous open spaces along the north shore of Lacamas Lake and along the north side of the future realignment of Leadbetter Road. These large tracts are designed to recognize the importance of protecting and enhancing the bank and water quality of Lacamas Lake.

The Camp Currie site and the hillside land on the south and west slopes of Green Mountain have also been added. As specific information about the remaining land is acquired, the policies for inclusion in the network should be applied to designate additional land, if necessary.

SECTION 6: MAINTENANCE AND OPERATIONS

6.1 Maintaining the Park System

Camas has a well-planned, well-developed park system. The community values the parks and open space, as well as the high quality of the park system. Feedback from the public indicates that park users and residents are very satisfied with system maintenance, and also feel that the City should focus on upkeep of existing assets before adding new features to the park system. At the same time, there is a perception that older parks receive less attention than newer parks, creating a disparity between established neighborhoods and new growth areas in Camas.

The City should continue to consider maintenance and operation of existing and planned parks and facilities to ensure that the community's assets are maintained and preserved for the future. This section provides recommendations on maintaining and operating the park system.

6.2 Tiered Levels of Service

Camas continues to maximize the maintenance within the resources available, aiming for the high standard the community values. The cuts in service and staffing through the great recession have resulted in a standard level of maintenance across all parks. The current maintenance level focuses on keeping the parks clean and safe to use but does not allow for enhanced or preventative maintenance. These tasks, which protect the long-term investment the community has made in park lands and facilities, are especially important in the most popular and intensively used park sites.

To manage the park system efficiently and assist with resource allocation, Camas should return to a tiered system of maintenance services. This tiered system has a close connection to the maintenance management plan for the park system, which will specify performance standards, frequency goals, and time requirements. The 2007 PROS Plan identified four maintenance levels for traditional parks (detailed in Table 6.1), two for sports fields (Table 6.2) and three levels for natural open space (Table 6.3).

This structure remains valid and should be implemented as City resources allow maintenance to return to a more sustainable level. As a starting point, the City should ensure that all parks and facilities are receiving the basic level of maintenance needed to protect the investment Camas has made in the system. As additional resources are available the parks and facilities indicated for higher maintenance levels can be elevated a step at a time.

Traditional Parks

Traditional park maintenance includes routine care of most parks in Camas, excluding sports fields which are addressed separately. To help allocate staff time and resources, four levels of park maintenance are recommended:

- Level C, the basic level of care for a Camas park, includes all of the services that keep the city's parks looking great, both routine and preventive tasks.
- Level B and Level A are for parks with higher use or more amenities. Parks in this category receive additional maintenance tasks or frequencies to support the higher level of use and more varied facilities.
- The undeveloped level is for future park sites. Some of these sites are completely undeveloped, and are maintained to ensure public safety.

Restrooms can significantly increase the basic maintenance needs; the presence of a restroom should increase the allocated resources for any level of park. This increase should be scaled according to use so that there is an appropriate allocation for restrooms in each maintenance level.

Table 6.1 on the following page summarizes each of the maintenance tiers, and identifies which sites fall under each tier. The maintenance management plan will assign frequencies for each task.

Table 6.1

Traditional Park Maintenance Levels

Maint. Level	Description	Maintenance Overview		Camas Parks Proposed for Each Level
		May Include	Does Not Include	
A	Highest level of detailed maintenance, for signature high visibility and most heavily used parks	▪ Camas basic level of care PLUS ▪ Annual plantings ▪ Shrub and landscape beds, ▪ Maintenance of special facilities, e.g. water spraygrounds ▪ Additional urban forest management ▪ Additional turf maintenance to offset impacts of heavy use	N/A	▪ Crown Park ▪ Grass Valley Park ▪ Heritage Park ▪ Lacamas Lake Lodge
B	Enhanced level of care due to moderately high use.	▪ Camas basic level of care PLUS ▪ Shrub and landscape beds ▪ Additional turf maintenance to offset impacts of use	▪ Annual plantings	▪ Dorothy Fox Park ▪ Fallen Leaf Lake Park ▪ Forest Home Park ▪ Goot Park ▪ Klickitat Park ▪ Louis Bloch Park ▪ Prune Hill Sports Park
C	Camas basic level of care: regular maintenance to preserve assets, ensure safety, and contribute to community livability.	**Standard Tasks** ▪ Mowing and trimming ▪ Playground safety inspections ▪ Restroom cleaning* ▪ Trash removal ▪ Paved surface maintenance ▪ Parking lot maintenance ▪ Lighting maintenance ▪ Irrigation maintenance ▪ Edging **Preventive Tasks** ▪ Annual fertilization ▪ Pruning ▪ Structure evaluation *where present	▪ Landscape beds ▪ Annual plantings ▪ Water features	▪ Benton Park ▪ Camas-Washougal Skatepark ▪ Oak Park ▪ Washougal Greenway Boat Launch
Undeveloped	Sites reserved for future park use. May contain preexisting non-park uses.	▪ Hazard mowing and tree maintenance to sustain the site and provide for public safety. ▪ May require additional maintenance to support preexisting non-park use		▪ Ash Creek Park ▪ East Hillside Park ▪ Lacamas Heights Park ▪ Ostenson Canyon

Sports Fields

Camas has a well-used and highly developed inventory of baseball, softball and soccer fields that is supplemented by less formal turf areas suitable for practice and casual play. Some of Camas's fields receive extensive maintenance support from the partnering sports organizations such as the Little League. In some of the City's park sites, such as Louis Bloch Park, sports fields and the supporting facilities are the primary developments on the site. In other parks, such as Crown Park, the grass field is simply one of a wide variety of amenities. As with general park maintenance, the current maintenance budget has strained the ability of Camas to do more than mowing and litter collection at sports fields. The continued heavy use of fields without additional maintenance resources has reduced the playable field time and the quality of some fields, particularly where there is not additional support from community organizations.

To maintain access and equity of use across the sports fields in Camas, the City should take a more active role in scheduling field time. Recognizing the interrelated nature of City and School District sports fields, a coordinated field use meeting should be convened annually between the City, the School District and representatives of the community sports organizations to identify issues and coordinate the best utilization of the community's inventory of sports fields. This meeting should include conversation about the maintenance needs and resources available from all parties.

The cost of maintaining a particular field type can be estimated based on the type of use it will get, the design of the facility, and the underlying conditions of the site. Recognizing the large differences in upkeep of formal and informal fields, two levels of maintenance are recommended. These levels of maintenance can then have budgeted costs that will help to allocate the appropriate level of funding for these important facilities. Table 6.2 describes the two levels.

Table 6.2
Sports Fields Maintenance Levels

Field Type	Maintenance Overview	Existing Fields Proposed for this Maintenance Level
Formal	Formal sports fields are designed and built to a specification for one or a variety of specific uses. The maintenance of these fields should include all of the basic turf care practices as well as: ▪ Higher frequency mowing ▪ Over seeding ▪ Intensive fertilization ▪ Aeration ▪ Rigorous weed control ▪ Heavy irrigation ▪ Priority repair of irrigation ▪ Priority drainage fixes ▪ Spot sod replacement ▪ Chalking field lines ▪ Infield repair ▪ Priority maintenance of backstops, fencing, goals, etc.	▪ Grass Valley Park ▪ Dorothy Fox Park ▪ Fallen Leaf Lake Park ▪ Prune Hill Sports Park ▪ Forest Home Park ▪ Louis Bloch Park
Informal	Informal sports fields include a range of facilities, from open turf areas to casual baseball or soccer fields. These fields should be maintained to the turf standard described in the traditional park maintenance level they are assigned to.	▪ Klickitat Park ▪ Goot Park ▪ Crown Park ▪ Oak Park

Natural Open Space

Natural open space areas have very different maintenance requirements from active use parks. For budgeting and goal setting purposes, each natural open space area should be assigned into one of three levels of maintenance. For each of these levels of maintenance, specific maintenance tasks should be assigned that will keep the area up to the standard described below in the maintenance overview. Since very limited maintenance occurs in these areas at the current time, assigning sites to these levels will result in increased maintenance at most sites. Table 6.3 describes the three levels.

Table 6.3
Natural Open Space Maintenance Levels

Maintenance Level	Maintenance Overview	Example
Level 1	Sites designated Level 1 are the most heavily used natural open space areas or those with the highest natural resource values. Level 1 sites receive more frequent trail maintenance and more forest and vegetation management than levels 2 and 3. Natural resource value should be maintained and improved, if feasible. The goal for Level 1 sites is to eventually develop a specific management plan that provides site-specific direction on topics such as weed control, forestry, revegetation, public use, and litter control.	▪ Heritage Trail and Greenway ▪ Lacamas Creek Park ▪ Washougal River Greenway
Level 2	Level 2 is most appropriate for moderately used sites or sites with good resource value. Sites designated Level 2 should be managed, at minimum, to control invasive species. Trail maintenance and tasks that support public use are completed to the extent feasible within budget and volunteer limitations.	▪ Ostenson Canyon Greenway
Level 3	Sites designated Level 3 should be managed for hazard mitigation only, such as removal of a tree in danger of falling on a trail or onto neighboring property. This level of service is most appropriate for sites with lower use or with lower resource value.	▪ Lacamas Creek Open Space

6.3 Additional Maintenance and Operations Recommendations

1. **Base capital decisions on the long-term costs and benefits of project options.** During project planning and design, consider lifetime project costs – capital costs plus operating and maintenance costs – when making project decisions. Decisions made during the project design have significant impacts on the cost and level of effort required to maintain parks. Since capital project funding is more readily available than operations funding, project decisions should factor in the operating impacts as part of the decision-making. Camas has a highly skilled operations and maintenance staff who, if involved in the design process, could suggest operational savings opportunities. For example, spending additional money on soil preparation or synthetic turf up front can greatly reduce the lifetime maintenance and operations costs, and at the same time result in projects that support increased public use. Other design decisions, such as using path locations to separate turf from planting areas, adding concrete mow strips under fences, and using a consistent palette of materials and site furnishings, also have potential to reduce lifetime maintenance costs. Designing projects that use less energy or water also can reduce the long-term cost of a project.

2. **Target invasive plant species in Camas natural open spaces, parks and the interface between public and private property.** Camas should identify and target the highest impact interventions to the invasive plant species, which are largely unchecked in Camas natural open spaces. In addition, the City should develop and implement a preventive weed and pest management program for its parks and natural open space areas, with noxious weeds the highest priority. Although devoting staff hours to weed prevention will result in less time available for routine maintenance, preventing weeds before they grow and keeping them from spreading will pay off in the long run, by improved park appearance and reduced weed removal efforts. If invasive weeds originate from private property and encroach onto the City-owned natural open space network, it will be the homeowner's responsibility to remedy the problem or shoulder the burden of cost.

3. **Monitor and manage forest heath in Camas.** The City has a partial baseline tree inventory/forest health survey, initiated in 2006. Gaps in the understanding of city-wide forest health should be filled in with supplemental field work. Management of forest health should be considered a priority to maintain the natural look and feel of the community. The City's survey of forest health should be refreshed at least every six years, in parallel to the park and open space plan update, to ensure that the City-owned natural open space network retains its resource value and thrives.

4. **Develop a detailed list of the assets at each site and evaluate asset condition annually.** This task is important for the long-term management of the Camas park system. By developing detailed inventories and rating the condition of the assets on a scale of one to three or one to four, the Parks Maintenance division will be able to plan its workload more effectively and budget for repairs and upgrades. The asset inventory can also be used in the City's maintenance management plan, to assign maintenance frequency. The City's Facilities Specialist could be responsible for evaluating the condition of park structures, such as picnic shelters, restrooms, and buildings.

5. **Keep Camas Cemetery as a self-contained budgetary unit.** In 2007 the City of Camas took over the operations of the Camas Cemetery. The cemetery had been an independent operation. While it provides an important service, the cemetery does not provide general public benefits. The cemetery should not be subsidized at the expense of the City's parks, which do provide general public benefits. Revenues and expenditures for all maintenance time and materials should be accounted for separately from the maintenance of parks and other City facilities. While the same staff and equipment may maintain the cemetery and City parks and facilities, keeping accurate accounting is important to ensure that fees for the cemetery can be appropriately adjusted, and to ensure that the parks maintenance budget is not subsidizing the cemetery.

6. **Continue with the current division of maintenance responsibility for trails.** The City should continue with the policy that the City accepts maintenance responsibility for those trails that provide connections to key community resources and destinations. Other trails, primarily local trails that connect individual subdivisions to the larger network, or that are within parks owned by other agencies, should be maintained by other relevant groups. In Section 4 the existing and recommended trail system maps indicate this division.

7. **Staff Parks and Public Works departments to meet long-term maintenance needs of developed parks.** With the park system reaching maturity, several additional skill sets will be needed to preserve and maintain the many diverse assets in the system. One such position has recently been created: Facilities Specialist. This position could be responsible for evaluating the condition of park structures (picnic shelters, restrooms, and buildings). A specialized staff position could also help to coordinate interns to monitor the condition of the City-maintained trail system.

8. **Build the level of expertise needed to effectively care and manage natural resources.** The specialized skills required for resource management could be further developed in an existing employee, a contractor could be hired or if necessary, a new position could be created.

   In any case, natural resource management responsibilities might include, but would not be limited to, oversight of forest and natural area maintenance, volunteer management, wildlife management, trails development and management, and potentially managing mitigation banking. An urban forester or arborist would also be helpful in managing the extensive woodlands within the open space network, shade and decorative trees planted in parks, and street trees such as the downtown canopy on 4th Avenue.

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SECTION 7: IMPLEMENTATION PLAN

7.1 Plan Implementation

The implementation plan sets project priorities for parks, trails, and open space improvements. It also presents funding options to design, build and maintain additions to the system. Table 7.1 presents the complete list of park, recreation and open space projects based on the recommendations in the preceding chapters.

Table 7.1
Complete Project List

Facility	Site #	Action	New Park/ Facility
Neighborhood Park Projects			
Proposed Neighborhood Park	NP-1	Acquisition, master planning, design and development	✓
Lacamas Heights Park	NP-2	Continue ongoing maintenance	
Goot Park	NP-3	Continue ongoing maintenance	
Oak Park	NP-4	Continue ongoing maintenance	
Louis Bloch Park	NP-5	Upgrade outfield to artificial turf to maximize use of field.	
Crown Park	NP-6	Parking management plan, master planning, implementation of master plan; sustain functionality of the pool while proceeding with new community center	
Benton Park	NP-7	Conduct tree assessment and continue ongoing maintenance	
Forest Home Park	NP-8	Upgrade to design standards	
Klickitat Park	NP-9	Continue ongoing maintenance	
Ash Creek Park	NP-10	Master planning and development	
Proposed Neighborhood Park	NP-11	Acquisition, master planning, design and development	✓
Grass Valley Park	NP-12	Plan park expansion, perimeter walking path	
Dorothy Fox Park	NP-13	Minor improvements	
Ostensen Canyon	NP-14	Development according to master plan, pedestrian bridge	✓

Facility	Site #	Action	New Park/ Facility
East Hillside Park	NP-15	Ongoing park development	✓
Proposed Neighborhood Park	NP-16	Acquisition, master planning and development	✓
Proposed Neighborhood Park	NP-17	Acquisition, master planning and development	✓
Proposed Neighborhood Park	NP-18	Acquisition, master planning and development	✓
Proposed Neighborhood Park	NP-19	Acquisition, master planning and development	✓
Special Use Area Projects			
Heritage Park	SU-1	Continue ongoing maintenance	
Lacamas Lake Lodge	SU-2	Continue ongoing maintenance	
Fallen Leaf Lake Park	SU-4	New entrance road, trail and water access improvements. Picnic area trailhead facility	
Proposed Ione Street Sports Park	SU-5	Improve fields in cooperation with the School District, local sports organizations	
Camas-Washougal Skatepark	SU-6	Minor improvements	
Washougal Greenway Boat Launch	SU-7	Improve access and add a restroom	
Proposed Community Recreation Center Site	SU-8	Community recreation center planning and development	✓
Camas Community Center	SU-9	Investments to stabilize indoor recreation opportunities	
Downtown Gathering Place	SU-10	Site identification, master planning and development	✓
Columbia Viewpoint/Trailhead	SU-11	Acquisition, master planning and development	✓
Prune Hill Sports Park	SU-12	Field upgrades	
Camas Sports Field Complex	SU-13	Acquisition, master planning and development	✓
Trail Projects			
Leadbetter corridor	T-22	Trail development	
Trailheads	Misc	Trailhead construction	✓
Trail Improvements	Misc	Annual trail improvements (6 years)	✓
Open Space Projects			
Open Space	Misc	Annual open space acquisition (6 years)	✓

7.2 Project Priorities

The following criteria are recommended for prioritizing projects in the forthcoming Capital Improvement Plan. Projects that meet one or more of the following criteria are the highest priorities:

- **Land acquisition:** There are several areas of planned development in Camas, including north of Lacamas Lake, and towards the northern and western edges of the city. The acquisition of land is critical to providing for future park and recreation needs.
- **Preservation of natural open space, especially sites providing connections:** Camas residents place a high value on protecting the community's natural resources. Preserving open space through land acquisition, easements, and natural resource restoration is important to maintaining an Open Space Network with integrity.
- **Trail development and development of trail support facilities:** Trail-related activities are some of the most popular forms of recreation in Camas, and trails also provide a means for residents to experience the city's natural resources. Completing the trail network and developing trail support facilities will facilitate participation in these highly desired activities.
- **Development of new parks in underserved and developing areas:** Camas has a well-developed park system. However, some areas of the city are underserved by parks and recreation facilities, and some residents perceive an imbalance in the level of services between older parks in established neighborhoods with new parks in new growth areas. Maintaining equity in the park system is a community priority, so that all residents have similar access to parks and facilities.
- **Development of indoor recreation space/aquatic facilities:** Community members have expressed a need for indoor recreation space and aquatic facilities for many years, and needs assessment results have also indicated a need for these types of facilities.
- **Upgrading existing parks:** Bringing existing parks up to current standards and providing additional facilities at existing sites will increase equity in park system and make efficient use of land.

7.3 Funding Sources

The tables on the following pages present potential financing and funding sources for acquiring, developing, and maintaining parks, natural open space, trails, and other recreational areas. The sources are listed in no particular order.

Table 7.2
Potential Public and Government Financing Sources

Source	Description
General Fund	This is the City's primary source for operating revenue. Most of this revenue comes from taxes levied on property and the sale of merchandise within the City's boundary.
Real Estate Excise Tax (REET)	Real Estate Excise Tax (REET) is a tax levied on all real estate sales and is levied against the full value of the property. Camas is allowed under the statutes to levy 0.5% in addition to the State of Washington tax. These funds can only be used for projects identified in the Capital Facilities Plan Element of the City's Comprehensive Plan. Camas has extensively used REET funds to fund park projects.
Park Impact Fees	Park Impact Fees are fees imposed on new development to pay for capital projects required to accommodate the impacts of development on the City's infrastructure.
General Obligation Bond	These are voter-approved bonds paid off by an assessment placed on real property. The money may only be used for capital improvements. This property tax is levied for a specified period of time (usually 15-20 years). Passage requires approval by 60%. Major disadvantages of this funding option are the voter approval requirement and the interest costs.
Revenue Bonds	These bonds are sold and paid for from the revenue produced from the operation of a facility. The City does not have any recreational facilities funded in this manner. However, this funding source would be especially applicable for development of a new indoor recreation center or sports field complex.
Metropolitan Park District	A special tax district, authorized under RCW 35.61.210, with a board of park commissioners could take over part or all of park ownership and operations. This would be funded by a levy of up to $0.75/1000 of property value.

Source	Description
Donations	The donation of labor, land, or cash by service agencies, private groups or individuals is a popular way to raise small amounts of money for specific projects. One common example is a service club, such as Kiwanis, Lions or Rotary, funding playground improvements.
Exchange of Property	If the City has an excess parcel of land with some development value, it could be traded for private land more suitable for park use.
Joint Public/Private Partnership	This concept has become increasingly popular for park and recreation agencies. The basic approach is for a public agency to enter into a working agreement with a private corporation to help fund, build, and/or operate a public facility. Generally, the three primary incentives a public agency can offer are free land to place a facility (usually a park or other parcel of public land), certain tax advantages, and access to the facility. While the public agency may have to give up certain responsibilities or control, it is one way of obtaining public facilities at a lower cost.
Lifetime Estates	This is an agreement between the City and a land owner, where the City acquires the property but gives the owner the right to live on the site after the property transfer.
Certificates of Participation	This is a lease-purchase approach where the City sells Certificates of Participation (COPs) to a lending institution. The City then pays the loan off from revenue produced by the facility or from its general operating budget. The lending institution holds title to the property until the COPs are repaid. This procedure does not require a vote of the public.
Exactions	Costs of necessary public improvements are passed onto the adjacent landowners through the development agreement process.

The primary source of park and recreation grant funding in the State of Washington is the Washington State Recreation and Conservation Office (RCO). The RCO is responsible for administering a wide variety of public funds, and also provides technical assistance, policy development and prepares statewide plans on trails, boating facilities, habitat preservation, and off-road vehicles. There are some additional grants available through other programs.

Table 7.3
Public/Government Grant Programs

Source	Description
Boating Facilities Program	This grant program is funded by boaters' gasoline taxes and administered by the RCO. Projects eligible under this program include acquisition, development, planning, and renovation projects associated with launching ramps, transient moorage, and upland support facilities. Grants are distributed on an annual basis and require a minimum of 25 percent matching funds by a local agency.
National Recreational Trail Program	This program is funded from federal gasoline taxes attributed to recreation on non-gasoline tax-supported roads and administered by the RCO. Grants fund maintenance and rehabilitation of recreational trails that provide a "backcountry experience" and for safety and environmental protection programs. 20 percent of the funding for a project must come from the application sponsor in the form of cash, bond, or an approved contribution of labor and or materials.
Land and Water Conservation Fund	This is a federal grant program that receives its money from offshore oil leases. The money is distributed through the National Park Service and is administered locally by the RCO. In the past, this was one of the major sources of grant money for local agencies. In the current proposed federal budget (2014), a small amount of money has been allocated to this program. The funds can be used for acquisition and development of outdoor facilities and require a 50% match.
Nonhighway & Off-Road Vehicle Activities Program	RCO-administered grants in this program are funded by off-road vehicle (ORV) gasoline tax and a small portion of ORV permits. Funds can be used for acquisition, development maintenance, and management of opportunities for ORVs, hikers, equestrians, bicyclists, and other users of non-highway roads.
Washington Wildlife and Recreation Program	This program is administered by the RCO. There are two accounts under this program: 1) Habitat Conservation; and 2) Outdoor Recreation. Projects eligible under this program include acquisition and development of parks, water access sites, trails, critical wildlife habitat, natural areas, and urban wildlife habitat. Applicants must provide a minimum of a 50 percent non-RCO match. Local park projects have maximum requests of $300,000 for development and $500,000 for acquisition costs. There are no

Source	Description
	maximum request levels in the following categories: urban wildlife habitat, trails, and water access.
Youth Athletic Fund	The Youth Athletic Fund is a grant program designed to provide funding for new, improved, and better maintained outdoor athletic facilities serving youth and communities. This program was established by State Statute (RCW 79A.25.800-830) as part of the State Referendum 48, which provided funding for the Seattle Seahawks Stadium. The program is administered by the RCO and applicants must provide matching funds of at least 50 percent.
Conservation Futures Open Space Program	A land acquisition program intended to preserve and enhance environmentally sensitive properties. Projects can be submitted by the County, Cities, and Towns for review by a citizen-based advisory committee. The Board of Clark County Commissioners makes final funding decisions based on the prioritization of this committee. The program is funded by a 6-1/4 cent per thousand dollar of property tax assessment in Clark County. This program has funded a series of natural open space acquisitions in Camas.
Aquatic Land Enhancement Account	This program is administered by the RCO and supports the purchase, improvement, or protection of and access to aquatic lands for public purposes. Grant applications are reviewed once every two years for this program. Applicants must provide a minimum of a 50 percent match.
Community Development Block Grants (CDBG)	These grants from the Federal Department of Housing and Urban Development are available for a wide variety of projects. Most are used for projects in lower income areas of the community because of funding rules. Grants can cover up to 100% of project costs. Since 1985, Clark County has administered over one million dollars annually through a competitive proposal process.
U.S. Fish and Wildlife Service (USFW)	USFW may provide technical assistance and administer funding for projects related to water quality improvement through debris and habitat/vegetation management, watershed management and stream bank erosion, and sediment deposition projects.

Other potential sources for implementation are included in Table 7.4.

Table 7.4
Other Potential Sources

Source	Description
Partnerships	The City could consider developing partnerships with other jurisdictions, agencies, or non-profit service providers to implement projects identified in the plan. Some potential partners include the YMCA, Boys and Girls Club, private sport groups, neighborhood organizations, Clark County, and the City of Washougal.
Private Land Trusts	Private land trusts, such as the Trust for Public Land, Inc. and the Nature Conservancy will acquire and hold land for eventual acquisition by a public agency.
Private Grants and Foundations	Private grants and foundations provide money for a wide range of projects, targeted to the foundation's specific mission. A number of foundations do not provide grants to governments, and grants are difficult to find and equally difficult to secure because of the open competition.
Shared Facilities	In some situations other services provided in the City, or private utilities, may be able to share the cost of improvements that would benefit the park, recreation, and open space system. One example is utility corridors; in many cases, land used for water or power lines may make an excellent trail corridor. In this situation, the utility may pay to develop a service road that can also serve as a trail.

7.4 Proposed Short Term Financing Strategy

Capital improvements to the Camas Park, Recreation, and Open Space system have been funded by a combination of funding sources. The strategy has been to create a mix of sources that allows the City to add capacity to serve growing residential areas, as well as to add important facilities when specific funding is available. The categories of funding sources recommended for this plan are:

- **General Fund.** While the General Fund is not a major source for trail and open space capital improvements, the City does use some general funds for these projects.

- **Impact Fees**. With economic recovery in progress, the speed of new development, particularly in the expanded city limits north of Lacamas Lake, will increase. Camas receives impact fees paid by new development for park, trail, and open space improvements that increase capacity in the system.

- **REET.** The Real Estate Excise Tax (REET) is a major source of park, trail, and open space funding in Camas. The City has used REET funding strategically to match grants and complete larger projects.

- **Grants.** This includes grants, primarily through the State of Washington's Recreation and Conservation Office (RCO).

- **Capital Measure.** The City of Camas will need to refer a bond or park district measure to the voters to raise additional capital resources to fund the acquisition and development of the largest projects (particularly the future community center and pool) recommended in this plan.

- **Other.** This includes other sources of revenue, such as donations, costs paid by utility funds and partner organizations.

The projected amount for each category of funding, for the next six years, is outlined in Table 7.5.

Table 7.5
2014-2021 Proposed Financing Strategy

Funding Source	Annualized Amount	6-Year Total
General Fund	$25,000	$150,000
Impact Fees	$900,000	$5,400,000
REET	$400,000	$2,400,000
Grants	$1,000,000	$6,000,000
Capital Measure	$4,000,000	$24,000,000
Other	$108,300	$650,000
Total	**$6,430,000**	**$38,600,000**

The majority of this financial projection is fairly conservative, using funding types and amounts that are similar to the actual expenditures of the last several years (for impact fees, REET and Grants). Impact fee income may cover a larger portion of the cost of improvements depending on the outcomes of a reevaluation of the fee to account for the large undeveloped area north of Lacamas Lake. The General Fund is assumed to contribute to the planning and management studies that will be an important (but small) part of the CIP projects. The largest line in the financing strategy table is a potential capital measure to fund the new community center and key major investments in existing park sites.

7.5 Proposed Six-Year Capital Improvement Plan

Applying the project priorities and the available funding to the complete project list creates a short list of projects that can be completed and funded in the next six year period. The proposed Capital Improvement Plan (CIP) for parks, recreation and open space should be used to prioritize projects into the City-wide CIP process. This will ensure that parks and recreation-related projects can be evaluated against other department projects and available resources during the City's six-year budget process.

The six-year CIP for parks, recreation and open space is presented in Table 7.6 on page 7-12. In addition to an estimated planning level cost for each project, each applicable funding source has been indicated. Projects have not been assigned specific funding sources, recognizing the flexibility of funding that has served Camas well in the past.

Park Development

Three new neighborhood parks are included in the six-year CIP to serve residential areas in the west and central portions of Camas. The budget for development of Ash Creek and Ostensen Canyon Parks has been adjusted to reflect higher costs and a more complete build-out necessary before turning to developing new parks north of Lacamas Lake. The third park is a very small site, East Hillside Park (also know as Drewfs Farm), which is being developed with amenities specifically targeted for the adjacent residents. The development of a sports field complex (at the most practical site) will enhance the City's capacity to support competitive sports.

Park Upgrades

Enhancements at several specific sites, Fallen Leaf Lake, Crown Park and Louis Bloch, as well as the replacement of aging facilities such as playgrounds, will increase the capacity of existing parks to meet the needs of current and future Camas residents.

Park Land Acquisition

Looking to the future, an allowance for land acquisition will be focused on the expansion of the system to the north of Lacamas Lake.

Major Recreation Facilities

The priority for indoor recreation facilities is to move forward with the community recreation center to replace the aging pool and community center. This will be a major undertaking that should be initiated as soon as possible to meet the community desire for access to aquatics in Camas. The time required to fund and complete the new recreation center will result in the need for some additional investment in the existing Camas Community Center and Crown Park pool.

Trail System Development

The ongoing investment in trail linkages should continue over the next six year period with two focused efforts. The first is to convert the existing Leadbetter Road to complete a loop of Lacamas Lake. The second is to finish a continuous north to south connection across the city, possibly at trail T-1.

Open Space Acquisition

In addition to continuing to acquire (on an opportunity basis) land to fill in the Open Space Concept, the City should conduct an assessment of the natural resources within existing open space lands. This assessment will serve as a baseline for targeting maintenance to the highest value areas.

Additional funding for the largest of these projects, as well as the ongoing maintenance and operation of the system, will likely require voter approval. To prepare for this, the City should begin a public information campaign to ensure that the community is well educated about the benefits of the parks, recreation and open space system and the planned improvements.

Table 7.6
Proposed Six-Year Capital Improvement Plan

Project Name	Site #	Est. Cost (2014 $)	Details	Impact Fees	General Fund	Grants/ Misc.	REET	Capital Measure	Other
Park Development									
Ash Creek Park	NP-10	$1,750,000	Master Plan and development of new park.	■		■	■		■
Ostenson Canyon	NP-14	$2,500,000	Develop according to site master plan	■		■	■	■	■
East Hillside Park (Drewfs Farm)	NP-15	$400,000	Ongoing development of new park.	■		■	■		
Proposed Sports Complex	SU-5, SU-13, TBD	$2,500,000	First phase of field and site improvements for a sports complex to serve the community.	■		■	■	■	■
Park Development Subtotal		**$7,150,000**							
Park Upgrades									
Fallen Leaf Lake Park	SU-3, SU-4	$2,000,000	New entrance road, parking, primitive trail enhancement and hand boat launch.			■	■	■	■
Crown Park	NP-6	$150,000	Master plan for the site laying out a future after the end of the pool's life.		■	■	■	■	
Louis Bloch Park	NP-5	$500,000	Playing field enhancements			■	■	■	■
Major Capital Improvements	Various	$450,000	6-Year total, increased from past assumptions to allow for increased size of the system.				■		
Park Upgrade Subtotal		**$3,100,000**							
Park Land Acquisition									
Acquisition Allowance	Various	$4,500,000	6-Year total, assumes an acceleration of acquisition necessary to expand the system north of Lacamas Lake.	■		■	■	■	■

Table 7.6
Proposed Six-Year Capital Improvement Plan

Project Name	Site #	Est. Cost (2014 $)	Details	Impact Fees	General Fund	Grants/ Misc.	REET	Capital Measure	Other
Major Recreation Facilities									
Future Community Center	SU-8	$24,000,000	Develop indoor community recreation and aquatics center.	■	■	■	■	■	■
Camas Community Center	SU-9	$500,000	Invest in existing facility to stabilize indoor recreation opportunities.		■		■		■
Crown Park Pool	NP-6	$300,000	Sustain functionality while proceeding with new community center		■		■		■
Major Recreation Facilities Subtotal		**$24,800,000**							
Trail System Development									
Retrofit Leadbetter Road for Trail Use	T-3	$350,000	First phase of modifications to create a loop of Lacamas Lake using Leadbetter Road	■		■	■		■
Complete North-South Trail Corridor	T-1	$400,000	Allowance for filling gaps connecting north to south.			■	■		■
Trail and Trailhead Acquisition and Development	Various	$1,200,000	6-Year total, continuing the annual allowance for opportunity based acquisition.	■		■	■		■
Trail System Development Subtotal		**$1,950,000**							
Open Space Acquisition									
Open Space Acquisition	Various	$1,500,000	6-Year total, continuing the annual allowance for opportunity based acquisition.	■		■	■		■
Open Space Network Resource Assessment	Various	$100,000	Inventory and develop management strategies for the Permanent Open Space Network.		■		■		

Table 7.6
Proposed Six-Year Capital Improvement Plan

Project Name	Site #	Est. Cost (2014 $)	Details	Impact Fees	General Fund	Grants/ Misc.	REET	Capital Measure	Other
Open Space Subtotal		**$1,600,000**							
Capital Improvement Plan Total		**$38,600,000**							

7.6 Call to Action

The City of Camas has remained committed to its parks, recreation and open space system. Following guidance of the 2007 Parks, Recreation and Open Space Comprehensive Plan, the City has made several accomplishments such as completion of the Lacamas Lake Lodge, additions to the trail system and acquisition of new open spaces. With adoption of this Plan, the City reconfirms its support for a high quality system, through a variety of new and improved places and opportunities for residents and visitors.

The future system will require reinvestment into existing parks and recreation facilities in established neighborhoods. At the same time, the City should continue to plan for new recreation facilities such as the indoor recreation center and pool, and new and expanded sports fields. Planned growth north of Lacamas Lake will require a major expansion of the park system, through new and interconnected parks and trails. Building on the legacy of its existing system, new trails and trailheads will be needed that offer safe and efficient connections between parks and neighborhoods. The continued protection of natural areas and water resources should also be a focus, through the guidance of the open space concept and supporting goals and policies.

During development of this Plan the community has expressed strong support for the future parks, recreation and open space system. With adequate resources and the continued dedication of City leadership, staff and community partners, Camas can continue to build and sustain these valued resources.

APPENDIX A:

COMMUNITY RECREATION QUESTIONNAIRE RESULTS SUMMARY

CITY OF CAMAS
Washington

parks, recreation and open space
comprehensive plan update

Questionnaire Results Summary

Available online at www.cityofcamas.us
Also available on paper at community facilities and events in Camas.
September 25 - October 25, 2013

The Parks, Recreation and Open Space Comprehensive (PROS) Plan Update process combines technical analysis with the input of the community to set a direction for the future of the system. This process is designed to ensure that the planning team gathers the input necessary to develop a Master Plan that is technically sound, rooted in the needs of the community and implementable.

The questionnaire is a key tool for broadening participation and validating the input received via the community intercept events. Of all of the planned activities, the questionnaire provides the most flexibility both for the respondent (by allowing them to provide input on their own schedule and giving open-ended opportunities to say whatever needs to be said) and for the planning team (questionnaires are available in multiple forms and are easily distributed, with self-entry allowing for large numbers of respondents at a low cost). In total, there were 230 completed questionnaires provided both online and on paper. This comprises 184 fully completed and 46 partially completed questionnaires.

This summary provides the results of the questionnaire, and includes comparisons with the adult statistically valid survey conducted between November 2005 and January 2006 for the City's 2007 PROS Plan Update. Many of the questions posed on the most recent questionnaire are based on the 2005/2006 survey in an effort to compare and contrast changes in public opinion over time. Appendix A provides results of the open ended responses.

Data Limitations

This questionnaire is self-selecting and therefore not random. The results cannot be generalized to the entire population of Camas with any statistical validity. However, as an opportunity for input, the responses provide useful feedback in helping to guide the direction of the PROS Plan update. No one public involvement activity is intended to find "the answer" from the public; rather, the themes that emerge from multiple activities will be used as guiding direction for the analysis and recommendations in the Plan.

Percentages

In order to capture the maximum number of results, all percentages in the tables below are calculated based on the total number of respondents who were presented the question. This number shifts due to partially completed surveys. Further, in the case of questions allowing multiple responses, the percentage is not based on the sum of the answers indicated but rather the number of respondents.

I. Respondent Demographics

Table 1. Question 1a: Do you live work or go to school in Camas? *(Please select any that apply)*

Answer	Count	Percentage
I live in Camas.	168	82%
I work or go to school in Camas.	24	12%

- Four of every five respondents reported that they live in Camas, while one in every ten respondents reported that they work or go to school in Camas.

Figure 1. Question 1b: Where do you live? ***(Drag and drop the pin to the desired location. You may also right click on the map to move the pin.)***

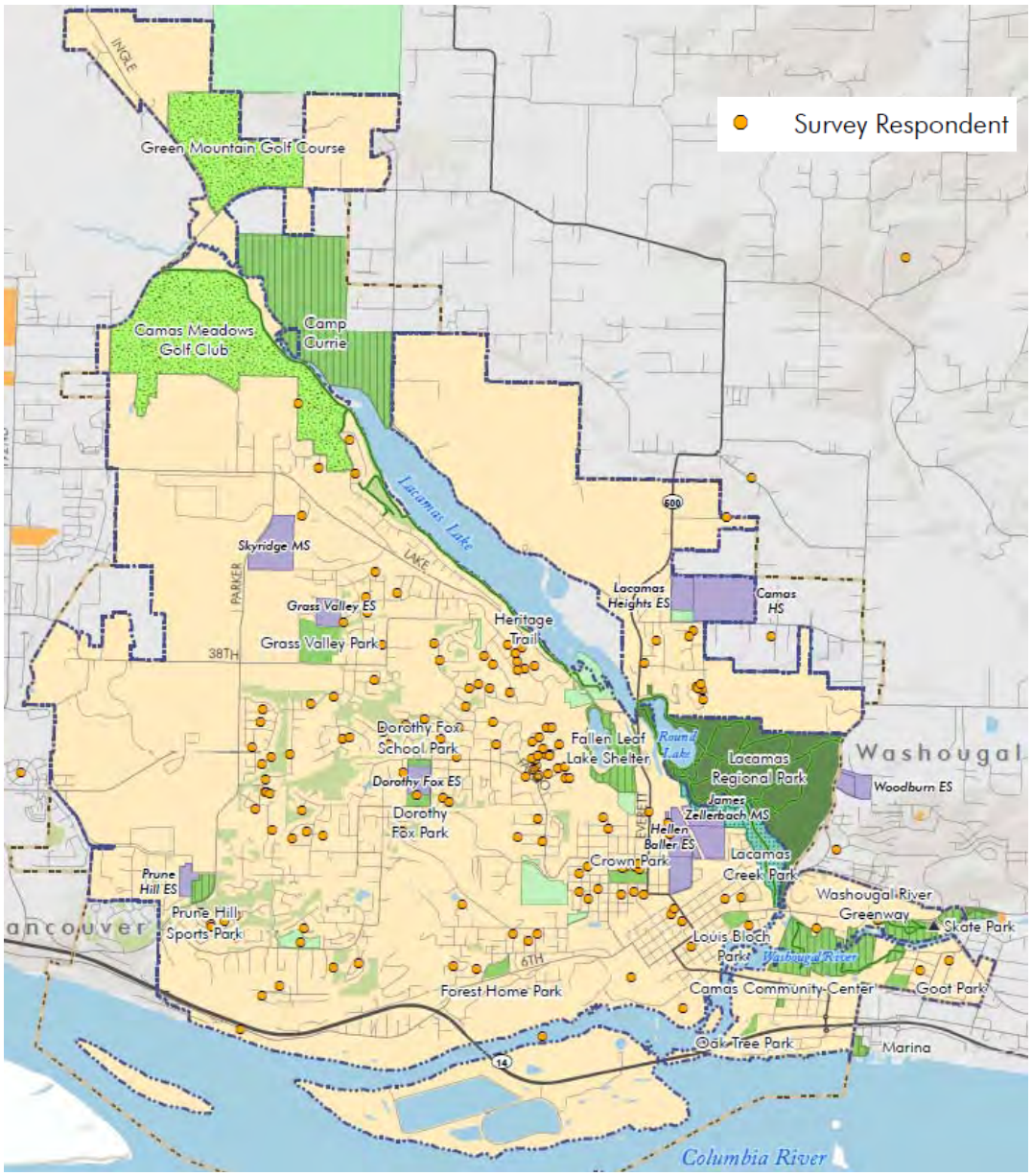


Figure 1: Where do you live in Camas?

- Based on responses to the "where do you live in Camas" question, most areas of the city were generally well represented. Noticeable concentrations of respondents include western Camas along NW Pacific Rim Dr., along the west shore of Lacamas Lake, eastern Camas along NW Everett St, near Crown Park and Downtown. These locations generally correspond to predominantly residential areas of the city.

Table 2. Question 2: If you live in Camas, how long have you lived here? *(Please select one)*

Answer	Count	Percentage
3 years or less	42	20%
4-6 years	46	22%
7-10 years	35	17%
11-19 years	41	20%
20+ years	22	10%
I don't live in Camas.	11	5%
No answer	13	6%

- More than half of respondents (57%) have lived in Camas for 10 years or less. One in five respondents has lived in Camas for three years or less, while one in ten has lived in Camas for 20 years or more.

II. Parks

Figure 2. Question 6: How frequently do you visit the following Camas parks in season? (*For each row, select the one option in the column that best describes how often you visit that park.)*

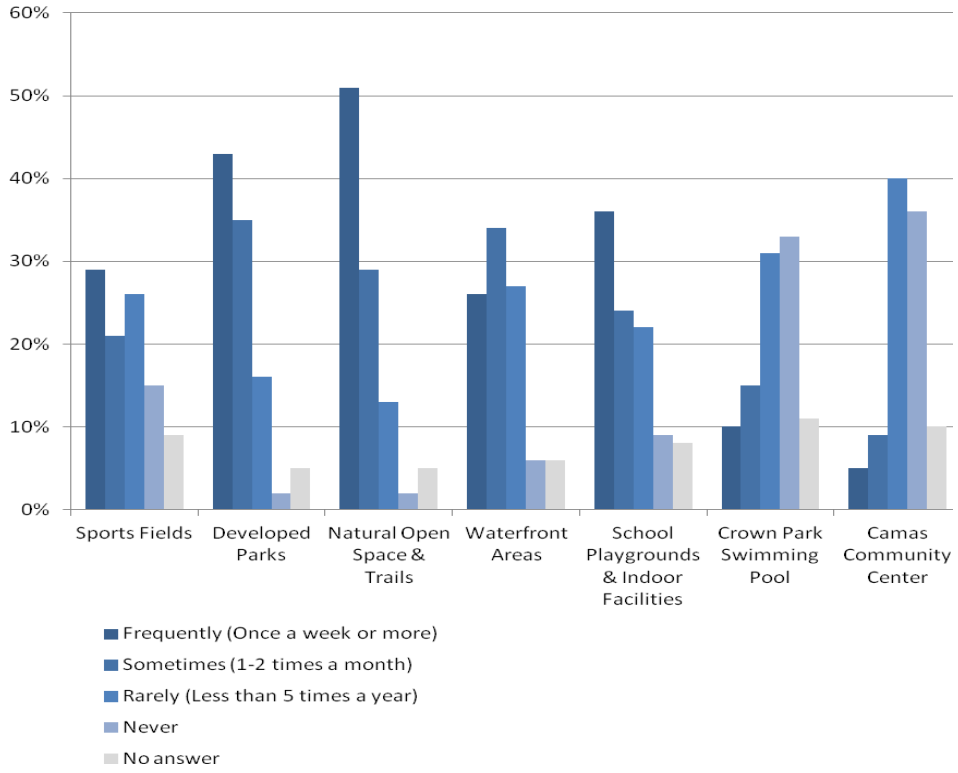


Figure 2: How frequently do you visit the following Camas parks in season?

- "Natural open space and trails" was the type of park in Camas that respondents reported visiting most frequently (when in season), followed by "developed" parks, and "school playgrounds and indoor facilities." The top two choices are the same as the top two responses from the 2005/2006 survey.
- Crown Park Swimming Pool and Camas Community Center were the parks that respondents reported visiting least frequently. This is the same outcome as responses from the 2005/2006 survey.

Table 3. Question 7: What are the primary reasons that you use parks in Camas? *(Please check your top 2 choices)*

Answer	Count	Percentage
Enjoy the outdoors or nature	120	59%
Walk or bike for exercise	100	49%
Participate in family activities	53	26%
Play sports	38	19%
Picnic and general leisure activities	30	15%
Use a specific facility at a park	22	11%
Attend special events/concerts/movies	13	6%
Meet friends	8	4%
Don't use parks	3	1%

- The top three reasons that respondents reported using parks in Camas are to enjoy the outdoors or nature, to walk or bike for exercise and to participate in family activities.

Table 4. Question 8: If you seldom use or do not use the parks in Camas, what are your reasons? *(Please check your top 2 choices)*

Answer	Count	Percentage
None of the above	61	30%
Don't know what's available	15	7%
Not interested/No time	12	6%
Lack of facilities	13	6%
Too far away/not conveniently located	6	3%
Don't know where they are	7	3%
Feel unsafe	2	1%
Poorly maintained	3	1%
Too crowded	3	1%
Do not have transportation	0	0%

- Respondents' most common reasons for seldom or never using parks in Camas are none [of the options], not knowing what's available, a lack of time or interest and lack of facilities.
- The top responses for the 2005/2006 survey were "not interested/no time," followed by not knowing what's available.

Table 5. Question 9: How would you rate the general upkeep and maintenance of the existing parks in Camas? *(Please check only one)*

Answer	Count	Percentage
Good	95	46%
Excellent	71	35%
Adequate	21	10%
No answer	10	5%
Ok	5	2%
Don't Know	2	1%
Poor	1	0%

- More than 80% of respondents rated the general upkeep and maintenance of the existing parks in Camas as good or excellent, reflecting relatively broad approval of existing maintenance strategies. This is the same opinion as identified from the 2005/2006 survey.

Table 6. Question 10: How would you rate the importance of natural open space to the community? *(Please check only one)*

Answer	Count	Percentage
Very important	151	74%
Important	34	17%
Somewhat important	6	3%
Not at all important	2	1%
Don't Know	2	1%
Not very important	1	0%
No answer	9	4%

- Ninety-three percent of respondents consider natural open space to be important or very important. This is slightly greater than the 2005/2006 survey results, where approximately 87% of respondents considered natural open space to be important or very important.

Table 7. Question 11: How should natural areas be used? *(Please select one choice)*

Answer	Count	Percentage
Combination of the above	80	39%
Limited public use (trails, viewpoints, etc.)	46	22%
Depends on the site	41	20%
Semi-active recreational use (picnicking, playgrounds, etc.)	27	13%
No public use (preserved for wildlife habitat)	2	1%
No answer	9	4%

- Respondents generally expressed support for public use of natural areas. They most frequently favored allowing a combination of uses, including preservation, trails/viewpoints and more active recreational uses. These outcomes are similar to those found in the 2005/2006 survey.

Figure 3. Question 12: How often do you participate in recreation activities in Camas or elsewhere? The following list shows the most popular activities identified during the 2007 Plan Update. (*For each activity in which you participate, please select the response that most closely represents how often you participate when the activity is in season.)*

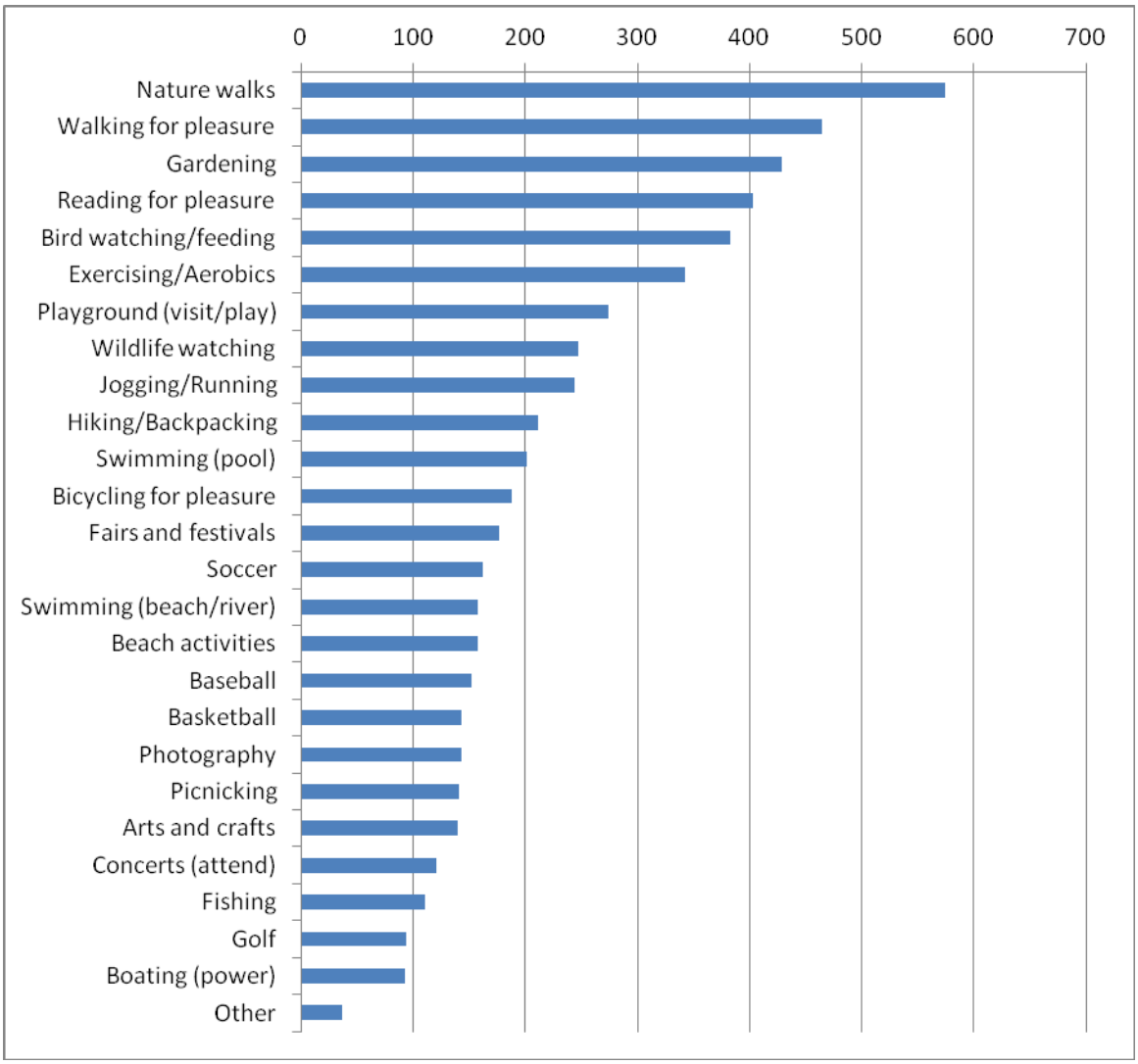


Figure 3: How often do you participate in recreation activities in Camas or elsewhere?

- This graph reflects the frequency at which respondents tend to participate in each type of activity. Frequency of participation can be affected by factors such as level of interest; local availability of facilities, programs and events; physical ability; gear and equipment required; cost and convenience. To generate a participation score for each activity, each "almost daily" response was given 5 points, each "4 times a week" response was given 4 points, each "3 times a week" response was given 3 points, each "2 times a week" response was given

2 points, each "1 time a week or less" response was given 1 point, and each "no response" was given 0 points.

III. Recreation Programs and Special Events

Figure 4: Question 13: Select the 5 activities you would like to do most. The following list shows the most popular activities identified during the 2007 Plan Update. Assume you have the time, money, and transportation to do whichever 5 activities you want.

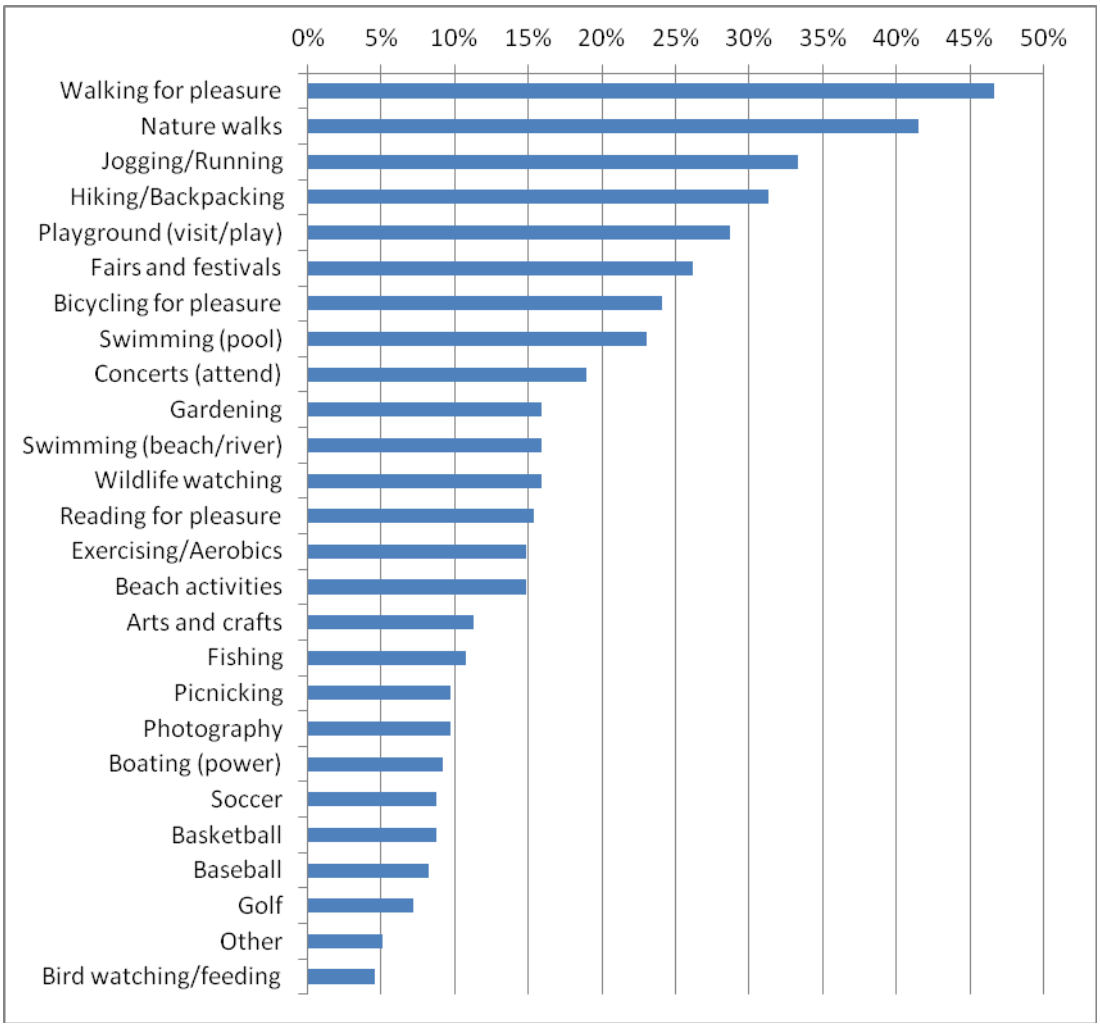


Figure 4: Select the 5 activities you would like to do most.

- This graph reflects the percent of respondents who included each activity as one of the five they would most like to do, regardless of obstacles. Walking for pleasure and nature walks were the top two activities in both this question and the preceding question.
- According to outcomes of the 2005/2006 survey, the top five activities were walking for pleasure, bicycling for pleasure, nature walks, fairs and festivals and golf.

Table 9. Question 14: Do you participate in recreation, cultural, senior or sports programs offered by the City of Camas?

	2013		2005/2006
Answer	**Count**	**Percentage**	**Percentage**
Yes (Y)	95	50%	41%
No (N)	70	37%	59%
No answer	26	14%	NA

- Approximately half of respondents indicated that they participate in programs offered by the City of Camas. This is greater than the 41% who responded similarly in 2005/2006.

Table 10. Question 15: If you participated in services and programs offered by the City of Camas, how did you learn about them? *(Please select all that apply)*

	2013		2005/2006
Answer	**Count**	**Percentage**	**Percentage**
From the City's program guide	60	31%	33%
Website/Facebook	54	28%	4%
From friends or word of mouth	48	25%	25%
Information distributed at schools	41	21%	15%
Posters/Flyers/Banners	37	19%	11%
From the local newspaper	27	14%	18%

- Almost a third of respondents indicated that the City's program guide is one of the sources from which they learn about programs. The next most popular sources of information are websites, followed by word of mouth.
- The totals for the City's program guide and "from friends or work of mouth" are nearly the same as outcomes from the 2005/2006 survey. However, there were more respondents who used website/Facebook, information distributed at schools and posters/flyers/banners in 2013. Though Facebook was not an option in the 2005/2006 survey, only four percent found out about services and programs through the website compared to 28% today.

Table 11. Question 16: If you do not participate in recreation or sports programs offered by the City of Camas, what are your reasons? *(Please select all that apply)*

Answer	Count	Percentage
Too busy/no time	41	21%
Don't have activities I'm interested in	27	14%
Not aware of programs	26	14%
Held at inconvenient times	14	7%
Need child care in order to participate	8	4%
Held at inconvenient locations	7	4%
Poor quality of programs	6	3%
Too expensive	6	3%
Classes or programs are full	0	0%
Lack of transportation	0	0%

- Respondents' most frequently cited the reason for not participating in programs offered by the City is a lack of time. The next most frequent reason is a lack of activities that hold their interest, followed by a lack of awareness of the City's programs. These outcomes are similar to the responses of the 2005/2006 survey.

Table 12. Question 17: What are the most convenient program times for you and others in your household? *(Please select your top 2 choices)*

	2013		2005/2006
Answer	Count	Percentage	Percentage
Weekday evenings	76	40%	33%
Weekend mornings	55	29%	21%
Weekend afternoons	49	26%	20%
Weekday afternoons	46	24%	16%
Drop-in formats, rather than on-going activities	39	20%	22%
Weekday mornings	35	18%	19%
Weekend evenings	11	6%	4%

- Respondents indicated that weekday evenings are the most convenient times for them to participate in programs, followed by weekend mornings and weekend afternoons which are both similar to outcomes of the 2005/2006 survey.
- Weekend evenings are the least convenient times which is the same outcome as the 2005/2006 survey, followed by weekday afternoons.

Table 13. Question 18: What additional recreation programs do you feel Camas should offer? *(Please select all that apply)*

	2013		2005/2006
Answer	**Count**	**Percentage**	**Percentage**
Outdoor/Environmental programs	75	39%	21%
Special events (concerts in the park, festivals, movies)	69	36%	44%
Aquatic programs	64	34%	21%
General interest classes (music lessons, computers)	60	31%	26%
Arts (drama, painting, etc.)	53	28%	19%
Drop-in activities	50	26%	21%
Fitness classes (aerobics, yoga, etc.)	49	26%	27%
Sports (Baseball, Ultimate Frisbee)	44	23%	18%
Before and after school programs	40	21%	15%
No additional programs are needed	23	12%	14%

- Respondents were most enthusiastic about Camas offering additional outdoor/environmental programs, special events and aquatic programs.
- The most popular responses for the 2005/2006 survey were special events, fitness classes and general interest classes.

Table 14. Question 19: Which groups are underserved by current recreation services? *(Please select your top 2 choices)*

Answer	Count	Percentage
All groups are served adequately	45	24%
Middle school youth	31	16%
Adults	30	16%
High school youth	26	14%
Preschoolers	20	10%
Families	19	10%
People with disabilities	16	8%
Elementary youth	14	7%
Seniors	13	7%
People from diverse cultures	5	3%

- Almost a quarter of respondents indicated that they feel all groups are served adequately by the City's current recreation system, making this the most popular response. This was also the top response from the 2005/2006 survey.
- The two groups most frequently cited as being underserved are middle school youth and adults. This is slightly different from the top two responses of the 2005/2006 survey which were adults (15%) and seniors (12%).

Table 15. Question 20: What role should the City assume in organized youth sports and sports facilities? *(Please select one)*

Answer	Count	Percentage
Develop and maintain sports fields (City's current role)	99	52%
Develop and maintain sports fields and manage/develop sports leagues	42	22%
Not be involved in organized youth sports	9	5%
Develop sports fields only and leave maintenance to private groups	8	4%
No answer	33	17%

- More than half of respondents indicated that the City's role in organized youth sports should remain its current role—to develop and maintain sports fields. About one fifth of respondents believe that the City's role should expand to include developing and managing sports leagues. These responses are similar to those of the 2005/2006 survey.

IV. Future Improvements

Table 16. Question 21: How would you rate the recreation activities and programs provided by the City of Camas? *(Please select one)*

Answer	Count	Percentage
Very Good. There are several opportunities to do many of the recreation activities and programs I enjoy.	61	32%
Satisfactory. There are some opportunities to do the recreation activities and programs I enjoy.	58	30%
Not sure. I don't know what is offered.	23	12%
Excellent. There are many opportunities to do all or most of the recreation activities and programs I enjoy.	15	8%
Not very good. There are a few opportunities to do the recreation activities and programs I enjoy.	8	4%
Totally inadequate. There are no opportunities to do any of the recreation activities and programs I enjoy.	4	2%
No answer	22	12%

- About a third of respondents rated the City's recreation activities and programs as very good. Almost the same number responded with the rating of satisfactory.

Table 17. Question 22: How can the Camas park system be improved? *(Please select your top 2 choices)*

Answer	Count	Percentage
Building major new facilities, such as pools or community centers	66	36%
Maintaining existing parks and facilities	59	32%
Developing new parks	57	31%
Upgrading existing parks	47	26%
Acquiring land for future parks	43	23%
Acquiring natural areas	36	20%

- Respondents were most enthusiastic about improving the Camas parks system by building major facilities, such as pools or community centers.
- Respondents also indicated that maintaining existing parks and facilities and developing new parks are ways to improve the park system.
- They were least enthusiastic about acquiring natural areas. This result appears to contradict the results of question 6, 7, 10 and 12, which indicate that natural areas are a top priority for the public, but may reflect a public opinion that the natural areas already owned by the city should take priority over acquiring additional lands.

Figure 5. Question 23: If funding were available, which of the following facilities should have the highest priority in Camas? *(Please select your top 2 choices)*

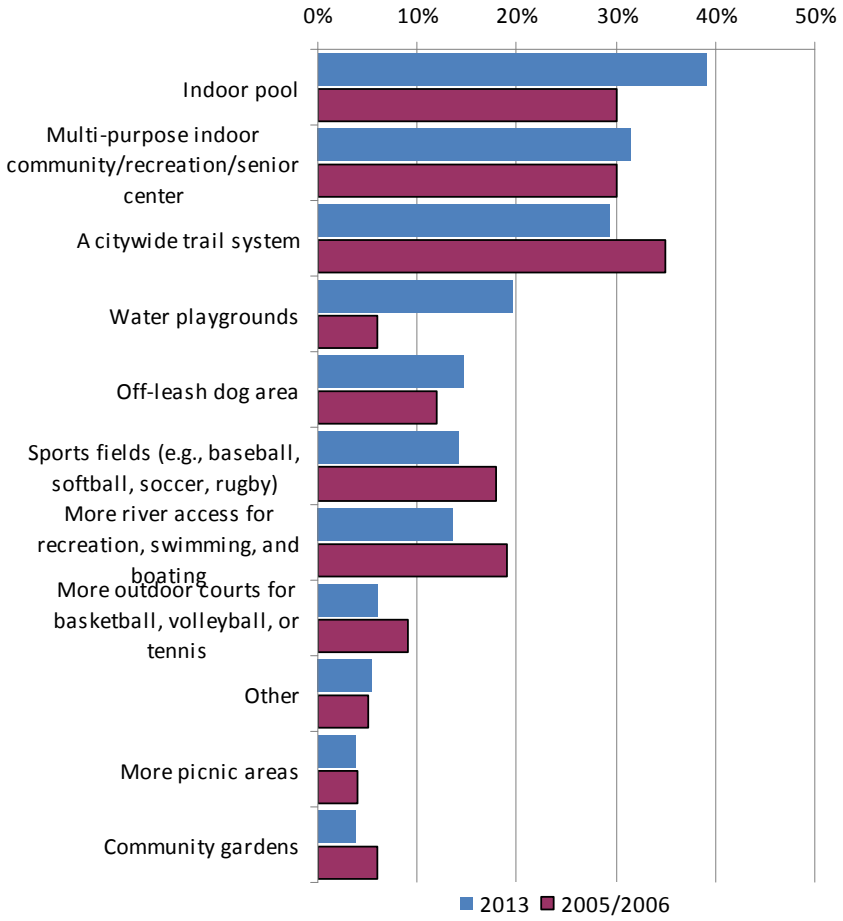


Figure 5: If funding were available, which of the following facilities should have the highest priority in Camas?

- Reflecting the results of question 22, respondents indicated that building an indoor pool and a multi-purpose indoor facility should be the highest priority for the City parks system, if funding were available. While the 2005/2006 survey results for these choices were slightly lower, they were still among the top three responses.
- A citywide trail system also ranked highly which was the top choice of the 2005/2006 survey.
- Community gardens, more picnic areas and more outdoor courts were the least prioritized facilities according to responses which is similar to results of the 2005/2006 survey.

Table 18. Question 24: What facilities would you most like to see in an indoor recreation center? *(Please select your top 2 choices)*

	2013		2005/2006
Answer	**Count**	**Percentage**	**Percentage**
Indoor swimming pool	117	64%	49%
Multi-use gymnasium	61	33%	30%
Weight room/fitness room	38	21%	17%
Aerobics/exercise classrooms	27	15%	15%
Space for teen activities	24	13%	14%
Large multi-purpose/reception room	14	8%	11%

- Respondents would most like to see an indoor swimming pool in a new recreation facility, followed by a multi-use gymnasium and a weight/fitness room. These were the top three choices according to the 2005/2006 survey and these results reflect responses from the two previous questions.

Figure 6. Question 25: The Crown Park pool is aging and has outlasted its intended lifespan. Which option is best for the future of the pool? *(Please select one)*

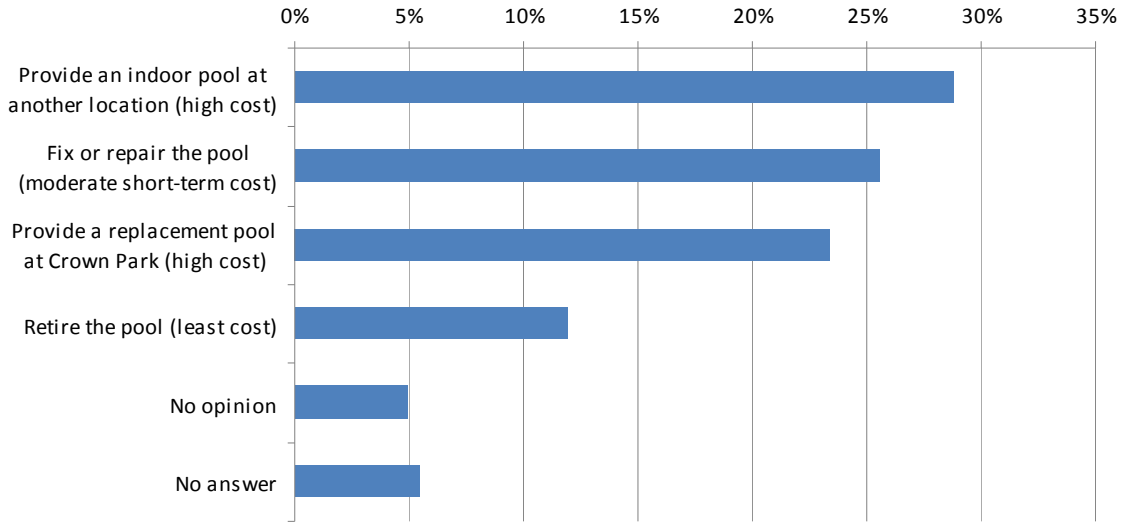


Figure 6: Which option is best for the future of the pool?

- The largest percentage of respondents (28%) feel that providing an indoor pool at another location is the best course of action for dealing with the aging Crown Park Pool.
- About 25% feel that the current pool should be repaired, and 23% feel that a new pool should be built on the Crown Park site.

Table 19. Question 26: Existing sports fields are heavily used and the City will have to consider field scheduling. Should the City require a fee for organized sports teams to help cover the cost of field scheduling and maintenance? *(Please select one)*

Answer	Count	Percentage
Definitely	71	39%
Not sure/need more information	58	32%
Maybe	33	18%
No (City would be required to find funding elsewhere)	10	5%
No answer	12	7%

- A majority (58%) of respondents indicated that they definitely do support or may support the City charging a fee for organized teams to use City maintained and managed sports fields.
- Conversely, only 5% responded negatively to this question.

V. Trails

Table 20. Question 27: What type of trails/pathways should have the highest priority in Camas? *(Please select your top 2 choices)*

	2013		2005/2006
Answer	Count	Percentage	Percentage
Trails that link neighborhoods with community destinations	83	45%	36%
Trails that link with other existing trails	66	36%	36%
Nature trails (pedestrians only)	65	35%	34%
Paved trails for walking, biking, etc.	61	33%	36%
Trails that extend long distances (5+ miles)	41	22%	19%
Trails designed for mountain biking	9	5%	NA
None of the above	2	1%	NA

- Respondents indicated a high priority for creating connectivity in Camas' trail system, both by linking neighborhoods with community destinations (45%) and by linking new trails to existing trails (36%).
- Similarly, results of the 2005/2006 also placed a high priority on trails and respondents identified the same top three trail/pathway types as respondents chose for the questionnaire.

Table 21. Question 28: If you do not currently use pathways or trails in Camas, what are your primary reasons? *(Please select your top 2 choices)*

Answer	Count	Percentage
Lack of trails and connections	17	9%
Don't know where they are located	17	9%
Feel unsafe	13	7%
Too far away, not conveniently located	5	3%
Conflicts with other types of trail users	4	2%
Not interested in using trails	4	2%
Poorly maintained	3	2%
None of the above	37	20%

- Lack of access, connectivity, and awareness of trail locations are indicated as the most likely reasons respondents do not use the existing trails in Camas. These were the similar responses as chosen in the 2005/2006 survey.

Table 22. Question 29: What are the primary reasons to develop more trails in Camas? *(Please select your top 2 choices)*

Answer	Count	Percentage
Exercise	105	57%
Experience nature	78	42%
Recreation	68	37%
Increase non-motorized transportation options	50	27%
Improve children's access to schools	17	9%
No additional trails are needed	5	3%

- Respondents indicated that the most important reasons to develop more trails in Camas are for exercise and to experience nature.

VI. Future Priorities

Figure 7. Question 30: The City's existing plan is based on the following nine primary goals for the park system. Thinking about the future of this system, please select your top two priorities. *(Please select your top 2 choices)*

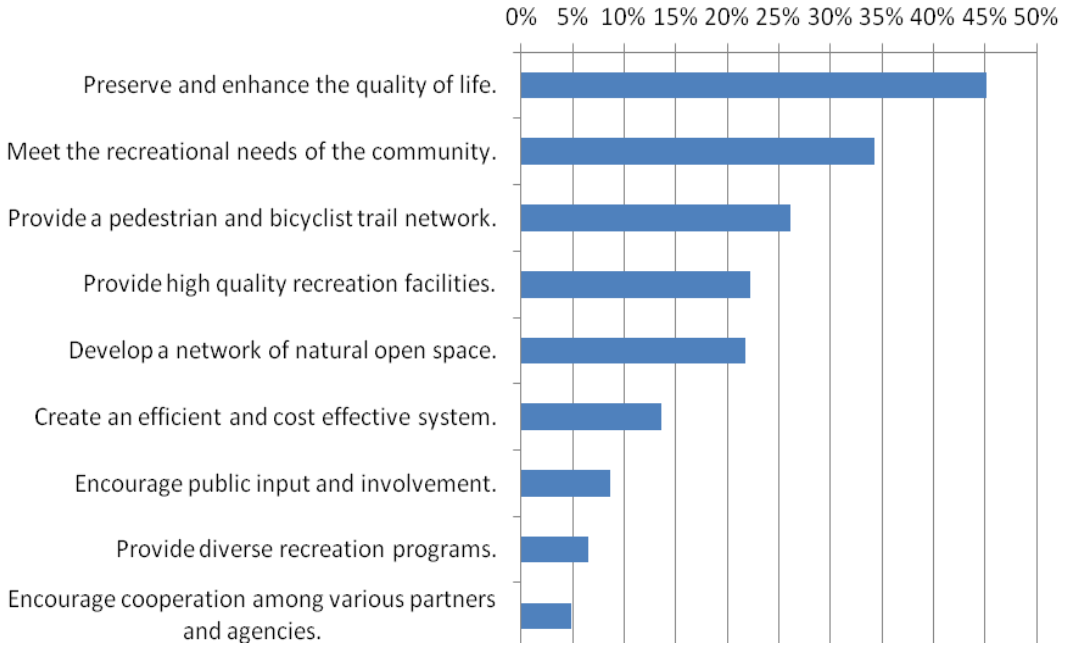


Figure 7: The City's existing plan is based on the following nine primary goals for the park system. Thinking about the future of this system, please select your top two priorities.

- Respondents highly prioritize the City's goals to preserve and enhance the quality of life of residents, to meet the recreational needs of the community through the park system, and to provide a pedestrian and bicyclist trail network.
- Encouraging cooperation among various partners and agencies, providing diverse recreation programs and encouraging public input and involvement were the least prioritized goals.

Figure 8. Question 31: Is there anything else that you would like us to know?

Below are some common themes that emerged in respondents' comments. All responses to this open-ended question are compiled in Appendix A:

- There is a community desire for the Dref's Farm park site to be developed.
- The Firstenburg Community Center in Vancouver is a popular precedent for a new indoor recreation facility in Camas.
- Upkeep of natural areas and use of natural/native materials.
- Activities geared toward seniors.

- Pedestrian/bike trails and paths.
- Varied public opinion about the existing or future swimming pool.
- Concern about and increased park areas for off-leash dogs.
- Development and maintenance of sports fields.

Figure 8: Open Ended Response Word Cloud

Appendix A: Questionnaire Open-ended Responses

Included below is a complete compilation of open-ended responses and comments written in on questionnaire forms for the Camas Community Questionnaire. The comments appear unedited to preserve the integrity of the information. Any personal information has been omitted.

Question 12: How often do you participate in recreation activities in Camas or elsewhere? The following list shows the most popular activities identified during the 2007 Plan Update. *For each activity in which you participate, please select the response that most closely represents how often you participate when the activity is in season.*

- Volleyball
- hearing from friends community news
- Kayaking/canoeing (non-power boating)
- walking the dog
- Playing group sport - Ultimate Frisbee
- dance class
- Softball
- Dog Parks!!
- Tennis
- organized classes through Parks and Rec

Question 13: Select the 5 activities you would like to do most. The following list shows the most popular activities identified during the 2007 Plan Update. Assume you have the time, money, and transportation to do whichever 5 activities you want.

- Kayak or paddleboard
- Bike riding (training)
- Volleyball
- Kayaking/canoeing
- Tennis
- Sailing
- TENNIS

- Softball
- Tennis
- Dog walks

Question 23: If funding were available, which of the following facilities should have the highest priority in Camas? *(Please select your top 2 choices)*

- Outdoor pool
- City land in our neighborhood
- Community parks that were slated for developments
- flush-toilet bathrooms in established parks (Crown Park!)
- Teach people how to do urban permaculture. See the book "Gaia's Garden" by Toby Hemenway.
- downtown plaza/park
- Joyce Garver Theater
- preservation of natural areas
- NO indoor rec center
- Park in Drewfs Farm

Question 31: Is there anything else that you would like us to know?

- I live and work in Washougal but the towns are so close, intermixed. It would be nice if the dike could be extended to the port as that is heavily used. I attend lots of activities in Camas and enjoy them.
- Please maintain the Crown Park Pool. There are many childhood memories there.
- I would love to see the park in Drewf's Farm completed.
- Thank you for the excellent work that you do. Our quality of life in Camas is considerably better because of our parks, open spaces and trails.
- My family and I live in Drewfs Farm neighborhood on Prune Hill. We have park space and are supposed to have a play structure sometime in the future. We have young children and there are many other young families that would get tons of use out of the park if it were to be built. If there is anything we as a neighborhood could do to speed up this process we would love the advice. Thank you for all you do. We absolutely love Camas and look forward to many years here.
- Looking for help in developing the park inside Drewfs farm neighborhood, it's been sitting for over three years and it would be great to have an additional park we could take our family to

- We have excellent schools, put the parks do not measure up. I think we needs a facility such as Firstenburg in Camas.
- Camas needs more trails, especially longer trails for distance running/walking. (I love the trails we do have!) Also, I think you could get more people to take this survey if it wasn't so long.
- Please develop Drewf's Farm's park space. There are so many kids who would love to use it and it is just a dirt mound right now!
- I would love to see an 8 foot basketball hoop for younger children. I don't believe there is one in any Camas park. The tualitin valley parks and rec department includes them in many parks and it was a great thing, in my opinion. Great nature parks in Camas!
- I live in Drewf's Farm where the City of Camas ownes a parcel of land to be developed for a city park. We were told the park will be built in 2013 and so far nothing has been done. I would like to see our tax payer dollars go toward the park.
- Looking forward to a kids park on NW 27th Ave.
- We live at Drewf's Farm in Camas and we have an open space intended for a park. We feel that this space should receive priority to be developed into a park/basketball court since it is the smaller of several lots earmarked for park development. We also would be willing to work with the P&R dept. on sharing maintenance for a period of time and we also have an engineer who would be willing to do some of the leg work to draft a drawing of the park taking some of the burden off the P&R dept. and hopefully reducing the cost to put the park in place as well as reduce the ongoing maintenance fees for a time. We have a lot of children in our complex and we feel by developing the land now as opposed to later it will serve as an excellent meeting place for children and their families to meet and greet and get to know one another as well as provide an environment which will encourage much needed physical activity.
- We live in Drewf's Farm and bought our house with the understanding that a park would be developed within our community. We live a in very family oriented neighborhood where most households have children that would use a community play structure daily. It would be a great use of the space that has been sitting vacant for the almost four years we have lived here.
- We feel so blessed to live in Camas and we are grateful for the wonderful amenities of this city. The opening of Fallen Leaf and development of the old Moose Lodge site are great additions to our city's recreational facilities. Thanks for your dedication to constantly improving.
- The land allocated to a new play ground near Drewfs Farm would be an area that many many kids would use. We bought our home because this park was to be developed soon. It is very disappointing that is has yet to be started.

- Crown Park is a beautiful space, visited by many Camas residents and non-residents all year round. Camas is put in a bad light when these visitors (often with small children) have to use port-a-potties. Surely we can afford to provide modern facilities for park guests.
- Design parks & facilities with sustainability in mind. e.g. use mostly native plants which require minimal maintenance. Use self-sustaining eco-lawn mixes. Design play "structures" out of natural materials such as boulders and logs.- Seattle is desig
- I live in the Drewf's Farm community. With so many children in the community, we are hopeful that the city's plan for the park in our community is under way. The park at Dorothy Fox is usually fenced and locked, and other nearby parks are private neighborhood parks. There is a need and mass desire for the park project to develop. Thank you for your attention.
- Focus on partnerships with school district(s) and opportunities with private parties. The update should evaluate changes in demographics (aging population) and consider strategies to not only set aside natural areas but to enhance the functions and values of these areas.
- It seems like the Parks and Recs administration team is not working effectively. I cannot figure it out., but there should be more programs for older people in central locations- Hellen Bailer, Liberty, etc...
- We always use the Vancouver Parks and Rec because it seems to be more reliable. Would love to have a rec facility in Camas!
- The outdoor experiences in Camas were the major factor in our decision to move here from New Mexico 2 1/2 years ago. Preserving the local natural resources, such as the lake trails and parks, will continue to draw more retirees and young families to the area.
- Completion of an all-weather trail circling LaCamas Lake should be a priority along with improved parking and trail access. This would be a real gem and unique to the entire area. Also, tying Fallen Leaf Lake Park to LaCamas Lake Park (with better pedestrian access between the parks) would leverage these two recreational assets.
- The blackbeerys have overran my yard from the city's greenspace. You need to buy goats to keep the greenspaces trimmed back in a ecological manner. It will save a huge amount of money while being earth friendly. Team up with the local 4H and it will be a win-win scenerio.
- I think getting rid of the outdoor pool would be an absolute tragedy. It is the only outdoor pool in the area and so cherished. Yes, it needs to be updated, but I think that the amount people use?would use it, far outweighs the cost. In addition, I think that another allocation of money should go to updating the playground equipment at Crown Park. I think we need equipment similar to Grass Valley. If Crown Park is supposed to be our "main" camas park

(near downtown and were many events are held)we really need updated equipment and bathroom facilites. I know lots of families that actually live downtown will travel up to grass valley to play. I think that is not what we want. I have lots of other ideas but will leave it at that as those are my main concerns.

- Forest Home Road needs a pedestrian/bike path really bad. This road should be on the priority list when Camas moves forward with planning future trails.Also, Camas Parks/Rec Dept does a great job!
- Priorities: Camas desperately needs an indoor, accessible, flexible multi-lane swimming pool.1) Two indoor swimming pools needed in same facility (one multi-lanes-only, one play pool for kids); if only one pool is possible, default to a multi-lanes pool which is more flexible; design & construct a wheelchair ramp into pool to facilitate broadest spectrum of citizen-users;2) Consider putting a horsepower limit on boats on Lacamas Lake to increase safety and preserve recreation opportunities for everyone (we've almost been run over by speedboats when we were kayaking!);3)More paved nature trails are needed to provide recreational access for citizens with disabilities;4) Thank you for this opportunity to provide feedback. We love and appreciate the wonderful recreational facilities and events (concerts etc.)Camas provides!!!
- We don't need any more soccer fields. Indoor tennis and more lit courts would be nice too ... just like Lake Oswego. Thanks!
- We NEED turf fields for soccer/baseball. Soccer is a huge sport in this area, lets give the community some turf/lighted soccer fields that can be used year round. We could also use basketball courts as well. Hiking and biking is also popular with few choices.
- I really love the easy access I have to many parks and nature areas close to my house. Some of them I won't use by myself (I'm a woman) because the paths are narrow and crowded with shrubbery, and it would be too easy to be taken by surprise. On the other hand, I love nature walks - just have to wait until I have a group to do it with. I think the park service does offer some organized walks? I've never participated, but I should look into that. I don't subscribe to the paper anymore, so your social media/website info and e-mails are the way I follow what's going on with parks.
- Love the outdoor focus of your kids summer camps!
- I think the downtown would be vastly improved if we had nearby access (walking distance) to the river. It is a shame that fishermen come every year to fish the Camas Slough and they don't even have a place to park. I wish Haag & Shaw could be enticed to move to a different location so that area could be made into a riverfront park. In addition, we need a smaller downtown park or plaza so that we don't constantly have to use street closures to hold events.

- Pedestrians are sometimes overrun by mountain bikers at Lacamas Park--not sure how to address this, but perhaps some signage? Off leash dogs are a real problem at Lacamas Park. Can animal control do some enforcement/education periodically to deter off leash behavior?It would be great to label the trail for Woodburn Falls.I would love to see some community gardens in Camas, perhaps in conjunction with a senior center, school, or dog park. There needs to be better connectivity for pedestrians, especially on Everett between downtown and Lacamas Park (and further north on Everett) and between the park and the new community center (will a sidewalk be added there where it is just shoulder now?)If the SE corner of Parker and 38th is ever developed, it needs to have walking trails that connect businesses to the Parker Estates neighborhood. There should also be pedestrian trails that connect this neighborhood to 38th so that kids could walk to school at GVE. It is critical to build pedestrian access into all development so that it is easy to walk places. This is a critical public health measure for the community. Another area that is in desperate need of a sidewalk is the stretch on 38th between Parker and the new construction at Fishers Ct/Bybee area. This would allow pedestrian/safe bike connection from 192nd shops/restaurants to Parker and Holly Hills neighborhoods.
- we have tried several camps, usually during summer but they do not tend to interest my kids very long and they do not want to repeat them the next year. it would be nice to have a camp that didn't feel like it was mostly for babysitting purposes, even if it cost more.
- My family and friends would spend more of our time in Camas if there were options (recreation/entertainment) near the river. It's so sad that we are on the Columbia and nothing central to Camas is river dependent...except the mill. Seems like such a waste of location.
- The pathways within Lacamas park are lacking maintenance. Three large piles of gravel were placed there over a year ago to be used, I'm guessing, on updating the paths and limit erosion - which needed the maintenance at that time. Much erosion is happening and the piles still sit there - undistributed/wasted.
- I appreciate our parks and trails and use them often. We need a community pool. We enjoy the Crown Park pool all summer even though we belong to a club. In addition to maintaining current parks and fields we need to acquire land for future parks. Organizations using the fields should pay for use. Thanks for keeping up our parks!
- I take my grand kids to the parks weekly. I have heard rumors of drug users and homeless camps near parks. This makes me concerned.
- A water playground would be great. I spent this last summer driving to various locations in Vancouver and Portland in search of a safe water activity for my children. I think that the pool at Lacamas Swim and Sport is an adequate and reasonably priced option for the community, so if the crown

park pool was retired that space would be a viable location for a water playground.

- The city has property for a park off 24th Ave and Maryland. I would like to see that developed. The city needs a pool that is open longer, either all summer or an indoor year round pool for families.
- We would love to see more park/nature areas in Camas and less residential/commercial growth. We know that parks generally do not generate revenue, as residential and commercial do, but they increase the quality of life. We are seeing more and more trees and green space areas rapidly disappearing. Our fear is that Camas will soon become another Vancouver. Please don't let this happen!
- Firstenburg Center is a great example of a rec center. Camas needs to get on board and follow suit!!!!!
- I love all the trails. What could I do to help with trail signage, maps and connecting existing trails?
- I wonder if your dept has any say in buffering neighborhoods with natural space? If so, this would definitely tie in with #30 & Preserve & enhance the quality of life in Camas.
- To Preserve the quality of life, especially for Lacamas Lake, I'd like to see a volunteer water monitoring program established by the city since the County has very little funds and involvement in maintaining a program. A localized volunteer program for the city of Camas would ensure the lake is monitored -- for safety and to possibly help preserve the lake health for future generations to enjoy).
- Allow for parks to be reserved, willing to pay a fee. The first come first serve system does not work. It is unreliable. Residents are left having to pay a very high fee at private businesses for parties etc, because you cannot risk not getting a spot at a park.
- Recreation programs for families and children are great, and prices are a very good value, and at a good point for the average family. Parks are well designed and maintained in the area I live in. Loved the program in summer 2012 encouraging hiking of the different trails, we saw places we had never known about before! Really happy with the job you are doing.
- Camas has lots of trails and parks. Camas could use an outdoor sports complex that could host baseball and soccer tournaments.
- Would love to see the Crown Park Pool turned into an indoor pool, something like a down scaled firstenburg. It would be the icing in the cake of a great community already!
- Lacamas Park is a gem that should be maintained.
- Thank you for asking...good luck!

- I think it is great that Camas has an outdoor pool. I would love to have an indoor pool for exercise and recreation available. Not sure how to access scholarships for activities if families cannot afford them, but I know we have kids in our community who would benefit from this!
- We have a very large population of Special needs kids due to the excellent school programs available here, but the only sport program available to them is short season soccer and spring baseball.I would very much like to see more social activities available for these special kiddos. Basketball, swimming courses social activies, maybe even a church program or youth group available at their level.
- Require all sports organizations that use the cities facilities to assist with maintaining and enhancing them
- I wish there could be something done about Camas Little League taking all of the fields in Camas. It is unfair to the Camas kids that live in Camas and go to schools in Camas but happen to live a block from the boundary. This is why I checked the "encourage cooperation among various partners and agencies". Thank you.
- moved here in 1997 because of Lacamas Lake Park .....never regretted that decision.
- Please prioritize developing parks that have been planned for long time near neighborhoods that have many children and no park access (ie. park designated at Brady and NW 24th Circle)2) Please watch that clear cutting doesn't happen for development (ie. Maryland and NW 24th) Development is fine but some natural areas/ trees should have been kept. This is an ugly eyesore for Camas that could have been avoided without loss of beauty, wildlife habitat and quality of life.3) Dog park badly needed in Camas
- We need more off leash dog areas
- There has been so much development off of Lake road that we no longer have a wildlife corridor. No more cyotes which has resulted in an explosion in rabbit population. The density and lack of connections between trails indicates a planning problem between the recreation dept and developers. Please try to keep the "rural" feel in the developed areas of Camas. Preserve the wetlands and encourage people to see them for the urban buffer and wildlife habitat they are. Maybe consider a raised trail with informational viewpoints? Easy to do near grasslands park. Make the baseball and soccer folks pay for their usage.
- We love the concerts at Crown Park. Please keep them coming. Kevin Selfe & the Tornados was our favorite this year.
- Regarding programs / facilities for seniors (I'm one), it appears that there are ample opportunities to do interesting stuff. I think the gaming trips, nature walks, etc. are great for those who enjoys that kind of thing and should be maintained for their sake. I and my wife do not (currently) participate for two

main reasons: we already have a rich and rewarding life style, and we, over the years, have been fortunate to enjoy good health and very frequent, consistent & rigorous physical activities (jogging, hiking, camping, gardening, weight lifting, stretching, etc.) which eliminate the necessity to go to a specific facility (ies) and maintain fitness in a group. I guess we are sort of loners in that respect, but also hope these programs are still around in a few years when they will be more appealing. Thanks

- Why not have a community center within the building you are building at the Lacamas Lake. I realize the costs involved, but you can build part of the center. You do not have to build all at once.
- Connecting the existing trails would be my choice for top priority! It would be so nice to safely get between trails and neighborhoods.
- Thank you for encouraging public involvement with this!
- We need indoor Tennis courts in our city.
- I love living in Camas! I'm so happy I moved here three years ago. Please continue to offer activities for the children in our community.
- I love this city and am so proud of the thought and care that goes into improving the recreational facilities here. There is no better place to live. Keep up the good work.
- Overall I think Camas is doing a good job in maintaining the open space. May be adding a multi use community center like the Fristenburg.
- It would have been more helpful to have this survey before the 'lodge-like' community center broke ground at Lacamas Lake.
- Please don't retire the pool at Crown Park without repairing or replacing it! It wouldn't be summer without swim lessons at Crown Park. So much tradition! And it's nice to have an OUTDOOR pool in the summer - a difficult thing to find here in the Pacific NW!
- I think the city is doing a great job and I feel lucky to live in such a great community. I would feel even luckier if the city developed a splash park or a new city pool, that would be great!!
- Bike racks to secure bikes are needed on the Lacamas Lake trails/ends! (HAve raised this issue before :)
- We do not have enough sports fields for the community leagues (soccer, football, softball, baseball, etc.). We need more fields. Given our wet weather, we need to have some turf fields to maximize field use. We also should consider teaming with school district to build an indoor swimming pool. CHS swim team does not have a good option for pool moving forward.
- While we have it generally good, we are still using old and outdated thinking for our parks and plans. We spend money on bad high maintenance landscaping. We cater to certain sports groups and deny other

community members. We terrorize dog owners but let cats run free. We treat the Parks Commission like a private politburo. Time for fresh looks, fresh thinking, etc.

- The litter at Cottonwood Beach is appalling. What can the City do to monitor this?
- We have many small children in our neighborhood (Drews Farm). We have very limited recreation in walking distance. There is a park at Crown Park and at Dorothy Fox, but the road is very busy to get to those parks and the sidewalks are not very safe. I hope that the city of Camas will consider developing the park in our neighborhood to provide additional recreation opportunities for the families in our area. Our neighborhood association is willing to partner with the city of Camas.

City of Camas Parks, Recreation and Open Space Comprehensive Plan Update: Community Recreation Questionnaire

Dear Resident:

The City of Camas is updating its plan for parks, open space, trails and other recreation facilities. The plan will guide the ongoing development of the City's park system, recreation programs and natural open spaces. We would like your input to help us determine what types of recreation facilities and services should be provided in the future.

Would you please help us by taking a few minutes to answer the following questions. Each member of your household is asked to fill out a questionnaire.

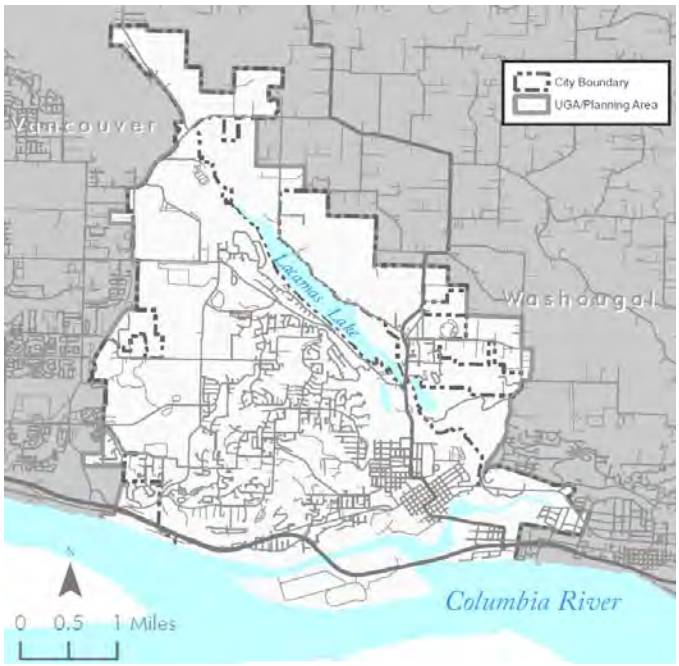
If you have any questions, please contact Jerry Acheson, Parks and Recreation Manager, at: JAcheson@cityofcamas.us, or by phone at: 834-5307. Thank you for your time and help.

Scott Higgins
Mayor - City of Camas

First, please tell us about yourself.

1. Do you live or work in Camas? Place an 'X' over the general location on the map at right. Otherwise, leave blank.

2. If you live in Camas, how long have you lived here?
   - ○ 3 years or less
   - ○ 4-6 years
   - ○ 7-10 years
   - ○ 11-19 years
   - ○ 20+ years
   - ○ I don't live in Camas.



3. What is your age?
   - ○ Under 18
   - ○ 18-24
   - ○ 25-34
   - ○ 35-44
   - ○ 45-54
   - ○ 55-64
   - ○ 65+

4. Male or Female?
   - ○ M
   - ○ F

Next, please tell us how you feel about the City's parks.

5. How important are parks, open space and recreation opportunities to the overall quality of life in Camas?
   - ○ Very important
   - ○ Important
   - ○ Somewhat important
   - ○ Not very important
   - ○ Not at all important
   - ○ Don't Know

6. How frequently do you visit the following Camas parks in season? *For each row, check the column that best describes how often you visit that park.*

Park/Park Type	Frequently (Once a week or more)	Sometimes (1-2 times a month)	Rarely (Less than 5 times a year)	Never
Sports Fields	○	○	○	○
Developed Parks	○	○	○	○
Natural Open Space & Trails	○	○	○	○
Waterfront Areas	○	○	○	○
School Playgrounds & Indoor Facilities	○	○	○	○
Crown Park swimming pool	○	○	○	○
Camas Community Center	○	○	○	○

7. What are the primary reasons that you use parks in Camas? *(Please check your top 2 choices)*
   - ○ Enjoy the outdoors or nature
   - ○ Use a specific facility at a park
   - ○ Play sports
   - ○ Picnic and general leisure activities
   - ○ Walk or bike for exercise
   - ○ Meet friends
   - ○ Participate in family activities
   - ○ Attend special events/concerts/movies
   - ○ Don't use parks

8. If you seldom use or do not use the parks in Camas, what are your reasons? *(Please check your top 2 choices)*
   - ○ Not interested/No time
   - ○ Feel unsafe
   - ○ Lack of facilities
   - ○ Poorly maintained
   - ○ Too far away/not conveniently located
   - ○ Do not have transportation
   - ○ Don't know where they are
   - ○ Don't know what's available
   - ○ Too crowded
   - ○ None of the above

9. How would you rate the general upkeep and maintenance of the existing parks in Camas? *(Please check only one)*
   - ○ Excellent
   - ○ Good
   - ○ Adequate
   - ○ Ok
   - ○ Poor
   - ○ Don't Know

10. How would you rate the importance of natural open space to the community? (*Please check only one*)
    - ○ Very important
    - ○ Important
    - ○ Somewhat important
    - ○ Not very important
    - ○ Not at all important
    - ○ Don't Know

11. How should natural areas be used? (*Please select one choice*)
    - ○ No public use (preserved for wildlife habitat)
    - ○ Limited public use (trails, viewpoints, etc.)
    - ○ Semi-active recreational use (picnicking, playgrounds, etc.)
    - ○ Combination of the above
    - ○ Depends on the site

12. How often do you participate in recreation activities in Camas or elsewhere? The following list shows the most popular activities identified during the 2007 Plan Update. *For each activity in which you participate, please select the response that most closely represents how often you participate when the activity is in season. (Note: options continue on following page)*

	Frequency of Participation				
Recreation Activity	1 time a week or less	2 times a week	3 times a week	4 times a week	Almost daily
Reading for pleasure	○	○	○	○	○
Walking for pleasure	○	○	○	○	○
Exercising/Aerobics	○	○	○	○	○
Gardening	○	○	○	○	○

Bird watching/feeding	○	○	○	○	○
Nature walks	○	○	○	○	○
Bicycling for pleasure	○	○	○	○	○
Playground (visit/play)	○	○	○	○	○
Jogging/Running	○	○	○	○	○
Swimming (pool)	○	○	○	○	○
Arts and crafts	○	○	○	○	○
Soccer	○	○	○	○	○
Swimming (beach/river)	○	○	○	○	○
Beach activities	○	○	○	○	○
Wildlife watching	○	○	○	○	○
Fairs and festivals	○	○	○	○	○
Hiking/Backpacking	○	○	○	○	○
Baseball	○	○	○	○	○
Concerts (attend)	○	○	○	○	○
Picnicking	○	○	○	○	○
Golf	○	○	○	○	○
Photography	○	○	○	○	○
Fishing	○	○	○	○	○
Boating (power)	○	○	○	○	○
Basketball	○	○	○	○	○
Other:					

13. Select the 5 activities you would like to do most. The following list shows the most popular activities identified during the 2007 Plan Update. *Assume you have the time, money, and transportation to do whichever 5 activities you want.*

○ Reading for pleasure
○ Walking for pleasure
○ Exercising/Aerobics
○ Gardening
○ Bird watching/feeding
○ Nature walks
○ Bicycling for pleasure
○ Playground (visit/play)
○ Jogging/Running
○ Swimming (pool)
○ Arts and crafts
○ Soccer
○ Swimming (beach/river)
○ Beach activities
○ Wildlife watching
○ Fairs and festivals
○ Hiking/Backpacking
○ Baseball
○ Concerts (attend)
○ Picnicking
○ Golf
○ Photography
○ Fishing
○ Boating (power)
○ Basketball
○ Other:

Please tell us your opinion about City recreational programs and special events.

14. Do you participate in recreation, cultural, senior or sports programs offered by the City of Camas?

○ Yes ○ No

15. If you participated in services and programs offered by the City of Camas, how did you learn about them? *(Please select all that apply)*
    - ○ From the City's program guide
    - ○ From the local newspaper
    - ○ From friends or word of mouth
    - ○ Posters/Flyers/Banners
    - ○ Information distributed at schools
    - ○ Website/Facebook

16. If you do not participate in recreation or sports programs offered by the City of Camas, what are your reasons? *(Please select all that apply)*
    - ○ Not aware of programs
    - ○ Don't have activities I'm interested in
    - ○ Poor quality of programs
    - ○ Held at inconvenient times
    - ○ Held at inconvenient locations
    - ○ Classes or programs are full
    - ○ Need child care in order to participate
    - ○ Too busy/no time
    - ○ Lack of transportation
    - ○ Too expensive

17. What are the most convenient program times for you and others in your household? *(Please select your top 2 choices)*
    - ○ Weekday mornings
    - ○ Weekday afternoons
    - ○ Weekday evenings
    - ○ Weekend mornings
    - ○ Weekend afternoons
    - ○ Weekend evenings
    - ○ Drop-in formats, rather than on-going activities

18. What additional recreation programs do you feel Camas should offer? *(Please select all that apply)*
    - ○ Outdoor/Environmental programs
    - ○ Aquatic programs
    - ○ General interest classes (music lessons, computers)
    - ○ Special events (concerts in the park, festivals, movies)
    - ○ Sports (Baseball, Ultimate Frisbee)
    - ○ Arts (drama, painting, etc.)
    - ○ Before and after school programs
    - ○ Fitness classes (aerobics, yoga, etc.)
    - ○ Drop-in activities
    - ○ No additional programs are needed

19. Which groups are underserved by current recreation services? *(Please select your top 2 choices)*
    - ○ Preschoolers
    - ○ Elementary youth
    - ○ Middle school youth
    - ○ High school youth
    - ○ Adults
    - ○ Seniors
    - ○ Families
    - ○ People from diverse cultures
    - ○ People with disabilities
    - ○ All groups are served adequately

20. What role should the City assume in organized youth sports and sports facilities? *(Please select one)*
    - ○ Not be involved in organized youth sports
    - ○ Develop sports fields only and leave maintenance to private groups
    - ○ Develop and maintain sports fields (City's current role)
    - ○ Develop and maintain sports fields and manage/develop sports leagues

21. How would you rate the recreation activities and programs provided by the City of Camas? *(Please select one)*
    - ○ Excellent. There are many opportunities to do all or most of the recreation activities and programs I enjoy.
    - ○ Very Good. There are several opportunities to do many of the recreation activities and programs I enjoy.
    - ○ Satisfactory. There are some opportunities to do the recreation activities and programs I enjoy.
    - ○ Not very good. There are a few opportunities to do the recreation activities and programs I enjoy.
    - ○ Totally inadequate. There are no opportunities to do any of the recreation activities and programs I enjoy.
    - ○ Not sure. I don't know what is offered.

Please tell us about future improvements to the system.

22. How can the Camas park system be improved? *(Please select your top 2 choices)*
    - ○ Acquiring land for future parks
    - ○ Developing new parks
    - ○ Upgrading existing parks
    - ○ Maintaining existing parks and facilities
    - ○ Building major new facilities, such as pools or community centers
    - ○ Acquiring natural areas

23. If funding were available, which of the following facilities should have the highest priorities in Camas? (*Please select your top 2 choices)*
    - ○ Sports fields (e.g., baseball, softball, soccer, rugby)
    - ○ Multi-purpose indoor community/recreation/senior center
    - ○ Indoor pool
    - ○ Water playgrounds
    - ○ More picnic areas
    - ○ A citywide trail system
    - ○ Off-leash dog area
    - ○ Community gardens
    - ○ More outdoor courts for basketball, volleyball, or tennis
    - ○ More river access for recreation, swimming, and boating
    - ○ Other (specify)_____

24. What facilities would you most like to see in an indoor recreation center? *(Please select your top 2 choices)*
    - ○ Multi-use gymnasium
    - ○ Weight room/fitness room
    - ○ Aerobics/exercise classrooms
    - ○ Indoor swimming pool
    - ○ Large multi-purpose/reception room
    - ○ Space for teen activities
    - ○ Space for senior activities
    - ○ Childcare
    - ○ Meeting rooms/classrooms

25. The Crown Park pool is aging and has outlasted its intended lifespan. Which option is best for the future of the pool?
    - ○ Retire the pool (least cost)
    - ○ Fix or repair the pool (moderate short-term cost)
    - ○ Provide a replacement pool at Crown Park (high cost)
    - ○ Provide an indoor pool at another location (high cost)
    - ○ No opinion

26. Existing sports fields are heavily used and the City will have to consider field scheduling. Should the City require a fee for organized sports teams to help cover the cost of field scheduling and maintenance?
    - ○ Definitely
    - ○ Maybe
    - ○ Not sure/need more information
    - ○ No (City would be required to find funding elsewhere)

Please tell us how you feel about the City's trails.

27. What type of trails/pathways should have the highest priority in Camas? *(Please select your top 2 choices)*
    - ○ Trails that link neighborhoods with community destinations
    - ○ Nature trails (pedestrians only)
    - ○ Trails that extend long distances (5+ miles)
    - ○ Trails designed for mountain biking
    - ○ Paved trails for walking, biking, etc.
    - ○ Trails that link with other existing trails
    - ○ None of the above

28. If you do not currently use pathways or trails in Camas, what are your primary reasons? *(Please select your top 2 choices)*
    - ○ Too far away, not conveniently located
    - ○ Lack of trails and connections
    - ○ Feel unsafe
    - ○ Poorly maintained
    - ○ Conflicts with other types of trail users
    - ○ Don't know where they are located
    - ○ Not interested in using trails
    - ○ None of the above

29. What are the primary reasons to develop more trails in Camas? *(Please select your top 2 choices)*
    - ○ Increase non-motorized transportation options
    - ○ Experience nature
    - ○ Improve children's access to schools
    - ○ Exercise
    - ○ Recreation
    - ○ No additional trails are needed

Finally, please tell us about your priorities for the future system.

30. The City's existing plan is based on the following nine primary goals for the park system. Thinking about the future of this system, please select your top two priorities. *(Please select your top 2 choices)*
    - ○ Preserve and enhance the quality of life.
    - ○ Meet the recreational needs of the community.
    - ○ Develop a network of natural open space.
    - ○ Provide a pedestrian and bicyclist trail network.
    - ○ Provide high quality recreation facilities.
    - ○ Create an efficient and cost effective system.
    - ○ Encourage cooperation among various partners and agencies.
    - ○ Provide diverse recreation programs.
    - ○ Encourage public input and involvement.

31. Is there anything else that you would like us to know?

Thank you for completing this questionnaire!

To find out more about the Parks, Recreation and Open Space Comprehensive Plan go to the City of Camas' website at **www.cityofcamas.us**. After this questionnaire effort is complete, results will be available at the project website.

Please return this questionnaire to:

City of Camas Parks & Recreation Department
Attention: Krista Bashaw
PO Box 1055
Camas, WA 98607

APPENDIX B:

DESIGN & DEVELOPMENT GUIDELINES

CITY OF CAMAS
Washington

parks, recreation and open space
comprehensive plan update

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II Special Use Areas B-5
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DESIGN & DEVELOPMENT GUIDELINES

Design and development guidelines are intended to provide planning and site programming guidance and direction. However, every site is different, and every neighborhood is different. The guidelines are not intended to override site specific concerns or judgments. For example, during the design of a specific park, if community preferences differ from the guidelines but are consistent with park function and the overall guidance of the Plan, citizen preferences should take precedence.

For each park classification, a description of the classification, considerations for site selection, features to provide, amenities to consider, and features to avoid (if any) are described.

I. NEIGHBORHOOD PARKS

Definition: Neighborhood parks provide close-to-home recreation opportunities. These parks provide both active and passive recreation opportunities for people living within approximately one-half mile of the park. Typical facilities found in a neighborhood park include playground equipment, picnic areas, open grass areas for passive use, outdoor basketball courts, and multi-use open grass areas for practice field sports. Neighborhood parks in Camas often include sports fields such as soccer or baseball. Grass Valley Park and Goot Park are examples of typical neighborhood parks in Camas. Neighborhood parks should be located and designed based on the scale and type of surrounding uses. During site master planning, parks in locations with higher residential density should be designed with more resilient features and facilities that can withstand more intensive use.

Site Selection and Design:

- Neighborhood park sites should be 5 to 10 acres in size. The minimum size for neighborhood parks is 3 acres when land constraints do not allow a larger site.
- At least 50% of a neighborhood park site should be suitable for active uses.
- The site should have good visibility from surrounding streets and have a minimum of 200' of street frontage.

- The site should be relatively central to the area it is intended to serve (within about ½ mile of the intended users).
- The site should be accessible by walking, bicycling, or driving. Connections to the community trail network should be provided, where possible, to facilitate walking and bicycling. Sidewalks should be provided.

Recommended Park Features to Include:[1]

- Playground equipment
- Picnic area with shelter
- Open lawn area, minimum 75' x 100'
- Multi-use field intended for practices and informal games
- Paved courts (minimum 1 basketball or 2 tennis courts)
- Interior accessible path (paved route connecting all site elements)
- Water fountain
- Site furnishings (benches, picnic tables, bicycle racks, trash receptacles, signs, etc.)
- Restrooms (permanent structure)
- Parking should be provided on a neighborhood scale, minimizing additional impacts to neighbors. On-street parking is preferred.

Additional Park Features to Consider:

- Sports fields for baseball, softball, or soccer (artificial turf and field lighting subject to site conditions)
- Skate park or skate facilities
- Sand or grass volleyball courts
- Other sporting facilities (horseshoes, bocce, lawn bowling, etc.)
- Water playground
- Community gardens
- Off-leash dog area
- Natural area interpretation (if features are present on the site)

[1] Pending site conditions and master planning.

- Other features in keeping with the function of neighborhood parks

Park Features to Avoid:

- Regional-scale facilities (large sports complex, community center, etc.)

II. SPECIAL USE AREAS

Definition: Special use areas are sites that are occupied by a specialized facility or that fulfill a specialized purpose. Some uses that fall into this park type include waterfront parks, boat ramps, interpretive centers, botanical gardens, community gardens, single purpose sites used for a particular field sport or sites that offer indoor recreation opportunities. Fallen Leaf Park and the Camas Community center are examples of special-use areas in Camas.

Site Selection:

- Site size should be adequate to support the proposed specialized use, as well as necessary supporting facilities, including parking, stormwater management, etc.
- Site selection criteria will be dependent on the specific specialized use proposed, and may include criteria determined through an economic feasibility study.
- The site should be accessible from the communitywide trail system.
- Prior to the addition of any special use areas, the City should prepare a detailed cost/benefit analysis and maintenance impact statement for each proposed site being considered.

Minimum Park Features to Include:[2]

- Specialized use facility (indoor or outdoor)
- Site furnishings (benches, picnic tables, bicycle racks, trash receptacles, signs, etc.) appropriate for the intended scale and use of the park
- Restrooms (permanent structure)
- Parking, on or off-street

Additional Park Features to Consider:

- Additional features and amenities that support the primary special use on the site. These could include
    - Playground equipment
    - Open lawn area
    - Picnic area with shelter

[2] Pending site conditions and master planning.

- Multi-use fields
- Sports fields for baseball, softball, or soccer designed for intensive use, including formal practices, games and tournaments.
- Skate park or skate facilities
- Sand or grass volleyball courts
- Other sporting facilities (horseshoes, bocce, lawn bowling, etc.)
- Water playground
- Community gardens
- Off-leash dog area
- Natural area interpretation (if features are present on the site)
- Concessions, vendor, or lease space

Park Features to Avoid:

- Features that conflict with or detract from the site's specialized use.

III. NATURAL OPEN SPACE AREAS

Definition: Natural open space is defined as undeveloped land primarily left in its natural form with passive recreation use as a secondary objective. It is usually owned or managed by a governmental agency and may or may not have public access. This type of land often includes wetlands, steep hillsides or other similar undevelopable spaces. In some cases, environmentally sensitive areas are considered as open space and may include wildlife habitats, stream and creek corridors, or unique and/or endangered plant species. There are currently a number of natural open space areas with a variety of functions and landforms in Camas.

Site Selection:

- Site size should be based on natural resource and connectivity needs.
- Public use of natural open space sites should be encouraged through trails, viewpoints, and other features, but environmentally sensitive areas should be protected.
- The site should have access to a public street, to public land, or contribute to the planned open space network.
- Features in natural open space areas should be limited to those appropriate for the numbers and types of visitors the area can accommodate, while retaining its resource value, natural character, and the intended level of solitude.

Minimum Park Features to Include:

- Trails
- Site furnishings (benches, picnic tables, bicycle racks, trash receptacles, signs, etc.) appropriate for the intended scale and use of the natural area

Additional Park Features to Consider:

- Trailhead or entry kiosk
- Interpretive signage or exhibits
- Viewpoints
- Parking, on or off-street
- Restrooms
- Picnic area with shelter
- Outdoor classroom/gathering space
- Interpretive center or building
- Environmental restoration areas

Park Features to Avoid:

- Features that conflict with or detract from the site's natural resources, such as turf, ornamental plantings, and active uses such as sports fields.

IV. TRAIL DEVELOPMENT STANDARDS

The Trail Development Standards accompany the recommended trail segment descriptions listed in Chapter Four of the PROS Plan and shown on the Trail System Concept Map. The proposed system includes both paved and unpaved trails, under the City's ownership or managed by other jurisdictions or private entities.

For proposed trails located within Camas , the City will accept, acquire, own and maintain the trail and its related right-of-way. On recommendation of the Parks Commission, and approval of the City Council, the City may additionally, in the future, recognize other trails for inclusion in the City-owned and maintained system. As trails and open space are reviewed for inclusion in the City-owned and maintained systems, cost of maintenance is a factor to be considered in the review.

Trail right-of-way and trail width and surfacing will vary, depending on the unique conditions of each trail segment. Unless otherwise specified, interpretation of these standards is intentionally flexible to allow for site conditions such as right-of-way or easement width, steep slopes, setbacks and environmentally sensitive areas.

The trail development standards are described below, including general trail development policies, trail classifications, and trail design standards.

General Trail Development Policies

1) The Camas trail network is designed to meet multiple objectives, providing recreation as well as active transportation for pedestrians and bicyclists.

2) Whenever possible, the trails depicted on the Draft Trails System Concept Map should not be a part of a street roadway. Where routes use existing streets, the pathway should be designed to minimize potential conflicts between motorists and trail users through the use of both physical separation distance and landscaping.

3) The trail network should be aligned to maximize the number and diversity of enjoyable viewing opportunities, to increase user enjoyment and provide multiple benefits.

4) Specific trail alignments should take into account soil conditions, steep slopes, surface drainage and other physical limitations that could increase construction and/or maintenance costs.

5) Trails should be planned, sized, and designed for non-motorized uses, in accordance with the design standards. Trails should also be designed to accommodate maintenance and emergency response to the extent practicable.

6) Centralized and effective staging areas should be provided for trail access. Trailheads should include parking, orientation and information, and any necessary specialized unloading features.

7) The trail network should be looped and interconnected to provide a variety of trail lengths and destinations. The trails should link various parts of the community, as well as existing park sites.

8) Developers should be encouraged to provide pathways through their development and provide access to the communitywide trail system.

9) Trails should be developed throughout the community to provide linkages to schools, parks, and other destination points. Each proposed trail should be reviewed on a case by case by case basis to determine if it should be part of the city's overall trail system.

10) Accessible trails should be designed to meet accessibility guidelines for trails.

Trail Classifications

The four classifications of trails include: Regional, Local, Rustic, and Semi-Primitive. A primary distinguishing feature of City-owned trails is that these trails predominantly serve community-wide and regional purposes and receive this level of use. Local and secondary trails generally serve a local scale, at the neighborhood level. Such local and secondary trails will generally be owned and maintained by Homeowners Associations. While Regional and Local trails are designed as multiple use trails, Rustic and Semi-Primitive trails can be designed as single use trails.

A detailed description of each of these classifications follows on subsequent pages.

1A. Regional Trail

This trail type is designed to accommodate multiple uses (walking, running, bicycling) and connect to adjoining jurisdictions or destinations. The surfacing should be a minimum of 12 feet wide and be constructed of a hard surface material such as asphalt or concrete. Exceptions to surfacing materials may occur to mitigate impacts to critical or sensitive areas. Equestrian use could be permitted if an additional unpaved shoulder area is provided. The right-of-way required for regional trails should be 26 to 52 feet, depending on their location and surroundings. This type of trail is typically located off roadway surfaces and within its own corridor. A diagram of this trail standard is located in Figure B1.

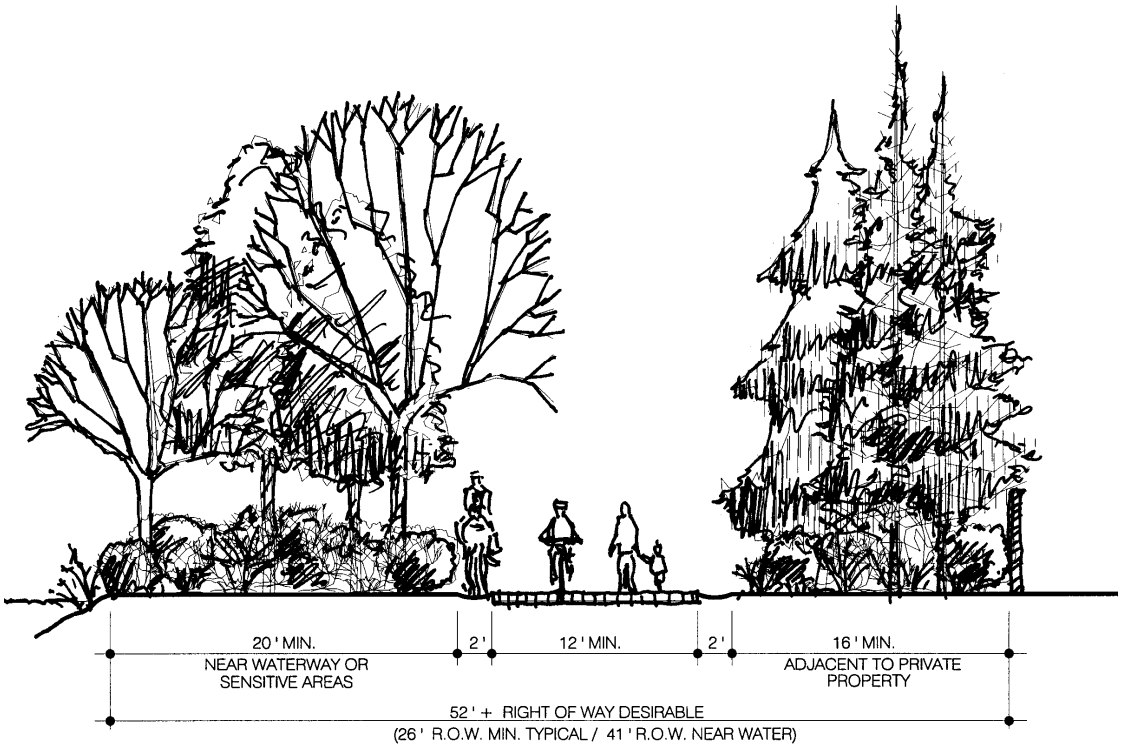


Figure B1
Section of Typical Regional Trail
(Class 1A)

2A. Local Trail

This trail type is designed to serve the local community and also provide access to the regional trail systems. It should be considered the "backbone" of the city's trail network. The trail width should range from six to ten feet depending on the use and the terrain involved. It can be designed to accommodate the same uses listed for the regional trail. The surface for this type of trail may be paved or crushed aggregate depending on the use. Exceptions to surfacing materials may occur to mitigate impacts to critical or sensitive areas. The right of way for the local trail can range from 24 feet to 40 feet and can also be located on-road or off-road. Figure B2 is a typical configuration of a local trail.

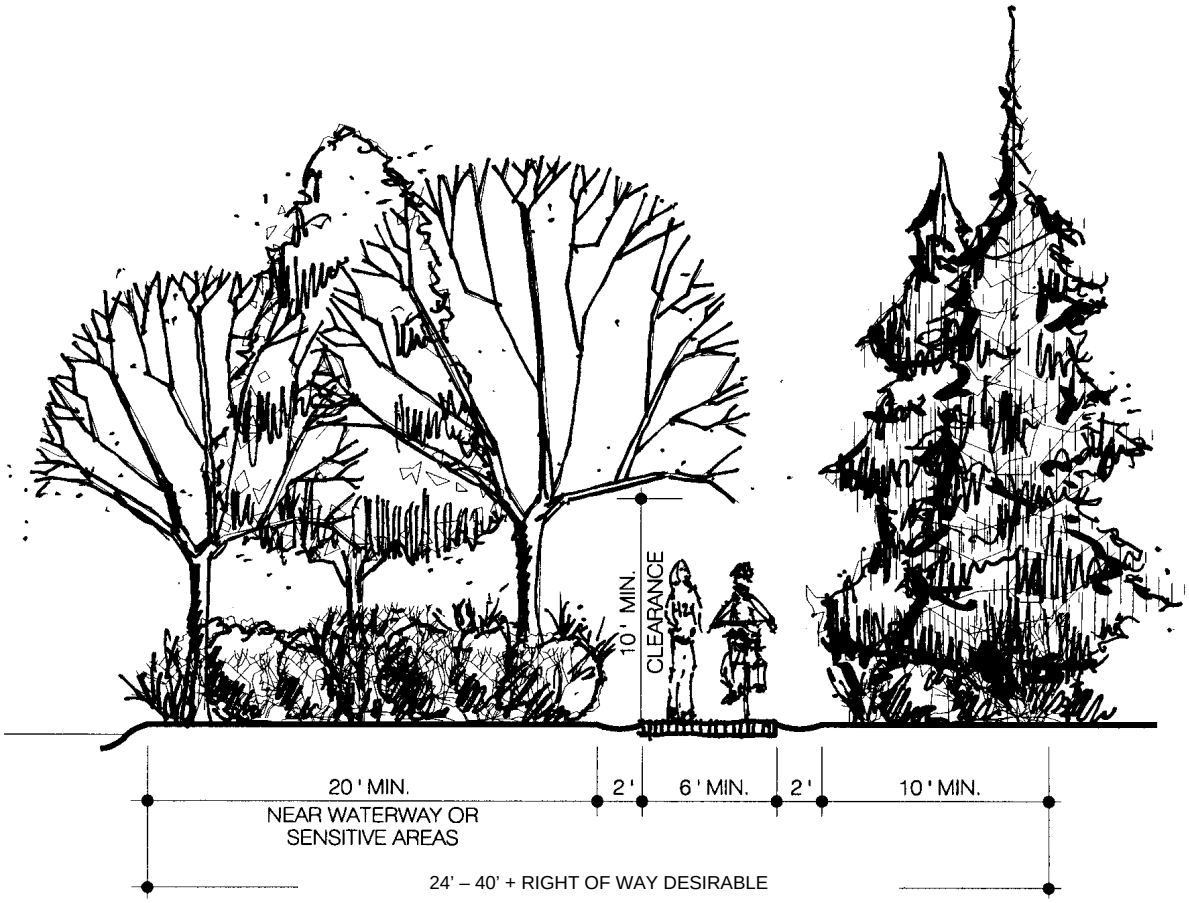


Figure B2
Section of Typical Local Trail
(Class 2A)

3. Rustic Trail

This trail type provides access to local trails, and is more neighborhood-oriented. These trails will act as collectors for neighborhoods or developments and provide links to the communitywide trail system and other adjoining destinations. The rustic trail should be a minimum of four feet wide and be surfaced with stable accessible surfacing. The primary uses of a rustic trail are intended to be walking, bicycling and equestrian. The right-of-way widths desired for the rustic trail can range from 24 feet to 30 feet or more. These trails are always off-road in nature. Figure B3 details this trail classification.

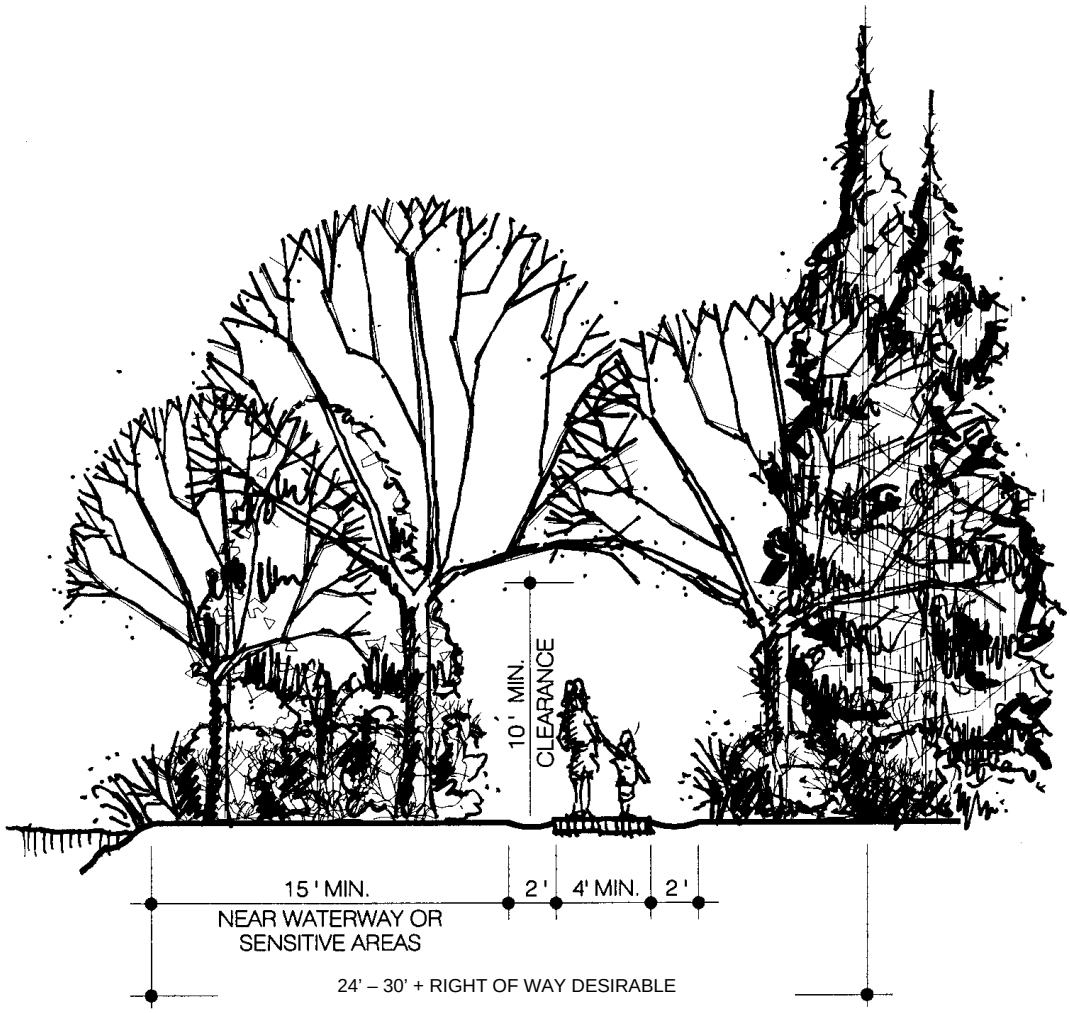


Figure B3
Section of Typical Rustic Trail
(Class 3)

4. Semi-Primitive Trail

This trail type is more specialized with regard to use, but it is more easily adaptable to the open space areas. It will serve in the more sensitive open space areas located within the city. It is designed to accommodate walkers, hikers, bicyclists, and equestrian users. It is typically two to four feet in width and is made up of compacted earth or other stable surfacing. The right-of-way width can range from ten to 20 feet. Typically, maintenance of these trails is minimal. Figure B4 below details the standards for this trail.

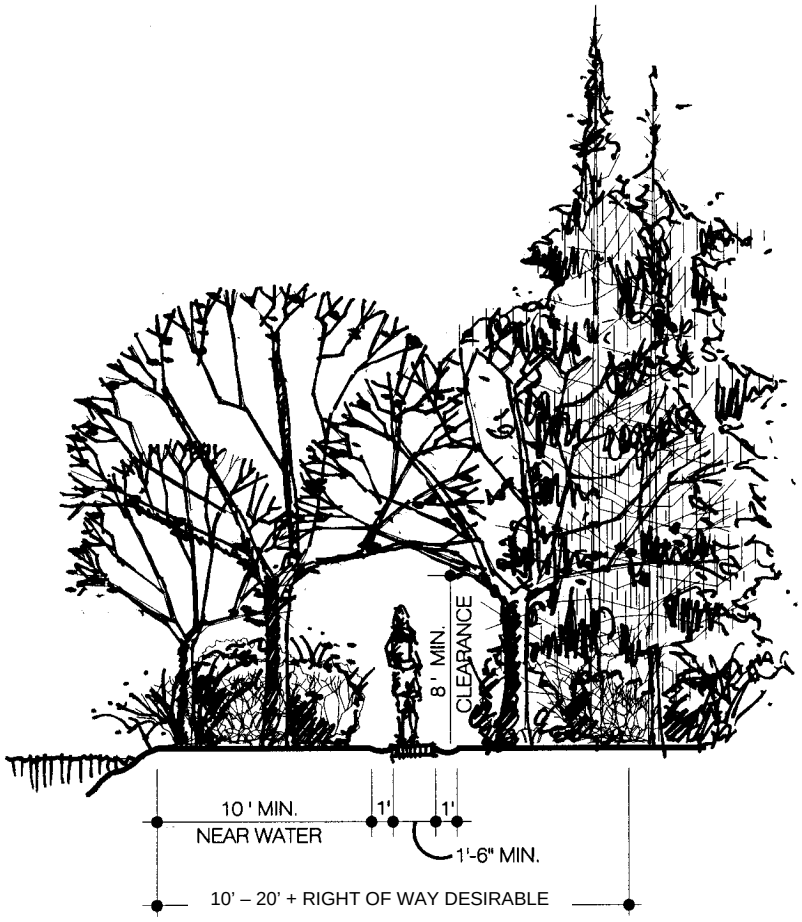


Figure B4
Section of Typical Semi-Primitive Trail
(Class 4)

Summary of Trail and Bikeway Standards

Table B1 summarizes trail standards by trail type. In addition to the trail classifications described previously, the table includes bike lane standards as specified the City's *Design Standard Manual* and *Clark County's Bicycle and Pedestrian Master Plan*.

Table B1
Summary of Trail/Bikeway Classifications

TRAIL TYPE	R.O.W. WIDTH	TRAIL/ FACILITY WIDTH	SURFACING	CLEARANCE
1A. Regional Multi-Use Trail	26' Min. (52' or more desired)	12' min.	paved asphalt or concrete	side: 2' min. height: 10' min.
1B. Regional Bike Lane	N/A	6' min.	paved asphalt or concrete	side: 2' min. height: 10' min.
2A. Local Trail	24-40' or more desired	6-10'	paved or stable, accessible surfacing	side: 2' min. height: 10' min.
2B. Local Bike Lane	N/A	4' min. (may not be striped)	paved asphalt or concrete	side: 2' min. height: 10' min.
3. Rustic Trail Trail	24-30' or more desired	4'+	stable, accessible surfacing	side: 2' min. height: 10' min.
4. Semi-Primitive Trail	10-20' or more desired	1.5'+	compacted earth or similar	side: 1' min. height: 8' min.
Accessible trails should not exceed a 1:12 (8.33%) running slope for more than 30% of the total length of the trail, or exceed more than a 1:8 (12%) running slope for any trail segment. Source: 2013 Outdoor Developed Area Guidelines, Architectural Barriers Act.				

Locating Trails in Sensitive (Critical) Areas

The large number of environmentally sensitive (critical) areas in Camas makes it likely that trails will be developed in some of these areas. The benefits of public access to natural areas (bird watching, nature appreciation, and environmental education) need to be balanced with the impacts of access.

Trails in environmentally sensitive areas will need to be carefully and appropriately located and designed. Exceptions to the trail improvement standards set forth in this Plan may be authorized in sensitive areas consistent with current best practices. This document recommends a thorough review and assessment of existing and proposed trail corridors, and careful placement of trails within sensitive areas to aid in minimizing the impacts. Guidelines for determining the suitability of trail locations in sensitive areas include the following:

1) Provide a minimum 20-foot wide vegetated buffer between wetland, sensitive area or water edge and the trail.

2) Construct boardwalks, railings, see-through fences and viewpoints to allow visual access to the areas and to keep trail users on the trail and away from the habitat.

3) Design wetland crossings for maximum protection of the wetland and locate them in an area suitable for public use.

4) Provide adjacent vegetation at access points that is dense enough to discourage off-trail travel. If necessary, install additional thick or thorny vegetation to prevent access.

5) Cover earthen based trails with dense turf where it crosses floodplains or other areas subject to periodic flooding to reduce puddling and walkers skirting the area.

6) Site trails away from active stream channels to prevent local bank erosion cause by trampling. In streamside locations where access is permitted or encouraged, provide access via boardwalks.

7) Locate bridge crossings in locations that will provide minimum impact to the water's edge and habitat while providing a rewarding experience for the trail user.

Trailheads

Two classifications of trailheads exist in Camas: primary trailheads and secondary trailheads. The majority of trailheads can occur within existing and proposed park sites. Where no other option is available and a trailhead is necessary, then a freestanding trailhead may be required.

A. Primary Trailheads

Typically, primary trailheads will include:

- Off-street parking. The number of parking spots is dependent on use – 20 spaces is a guideline, but this amount is not necessarily required.
- Restroom facilities
- Drinking fountain
- Telephone
- Picnic areas
- Appropriate signage/directories

B. Secondary Trailheads

Secondary trailhead will generally include:

- Appropriate signage/directories
- Off-street parking may or may not be provided for secondary trailheads. However, secondary trailheads in remote locations should have a maximum of three spaces.

Trailhead design will need to consider the need for utility connections and regular maintenance. Ongoing monthly and long term capital costs should be minimized through the use of labor saving design elements where ever possible.

V. TRAIL SAFETY

The ideal trail is planned and designed with safety considerations taken into account. There are two issues involving safety concerning trail users. One is danger due to normal trail use, and the other is personal safety of users.

A number of methods can be implemented to increase the safety of trails to users. Some of these are outlined below:

- **Open and Visible Trails:** If trail guidelines are followed, the resulting trails will provide open and visible corridors to both users and law enforcement personnel. Visibility increases a person's sense of safety.

- **Safe Design:** If deemed necessary, techniques such as emergency call boxes, lighting, security vehicle access, and landscaping can be designed can be installed to increase safety.

- **Reduction of Trail Conflicts:** A number of problems occur on multi-use trails where two types of users are interacting. Good design, signage, and awareness of trail etiquette all reduce problems associated with these conflicts.

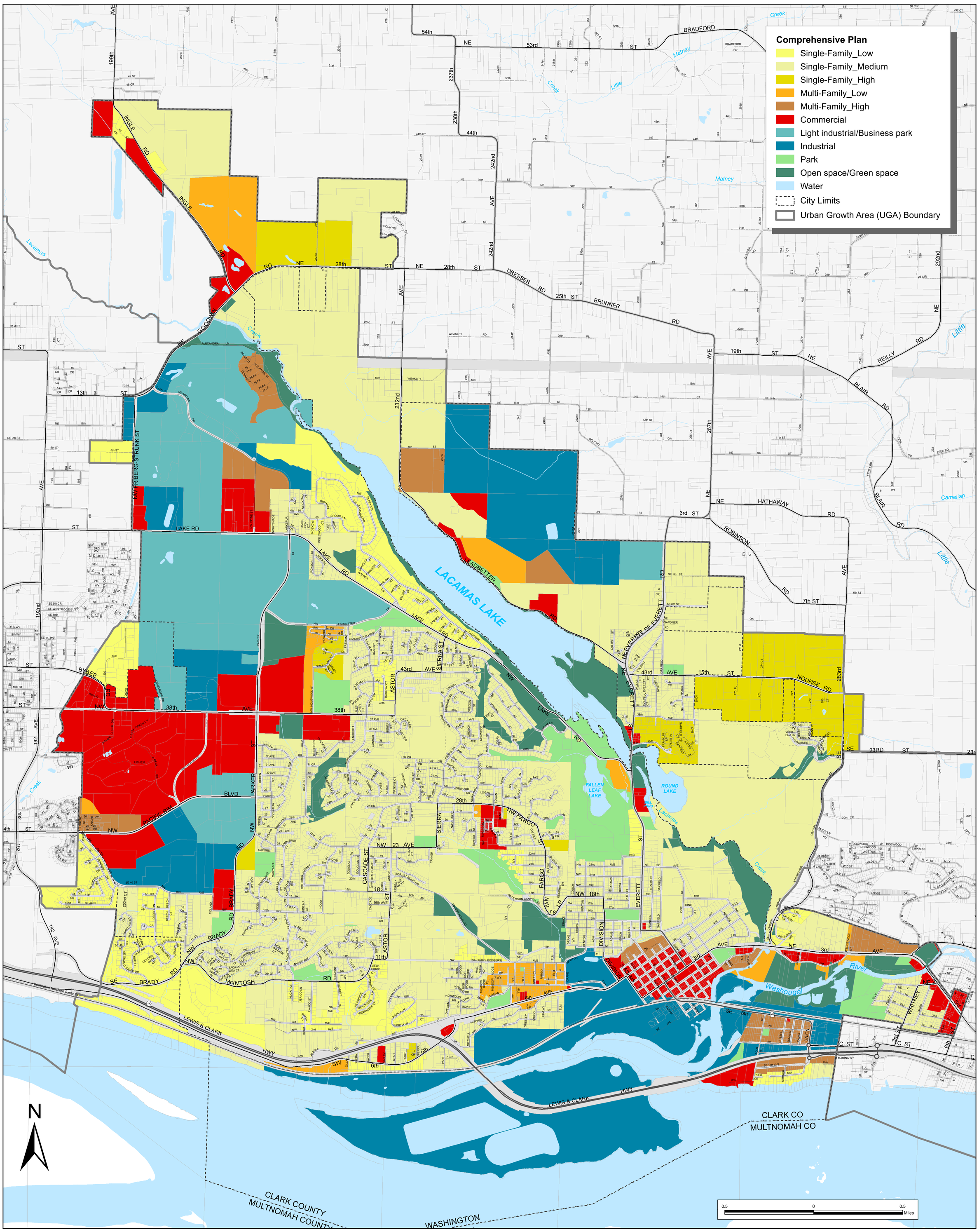
- **Coordination with Public Safety:** By making area law enforcement and public safety officials aware of trail routes, trailheads, and potential problem areas, they can develop emergency response plans and a method of policing the area the most efficiently.

- **Bicycle Patrols:** These patrols, made up of police or volunteers, can provide security on the trails. In addition to safety, patrols can provide information, offer bicycle safety checks, and do other service duties. Overall, the most important part is providing "eyes" on the trail system to reduce potential problems.

- **Organized Programs:** The City can set up programs of volunteer guides to accompany those who wish to use a specific segment as a group. This can either be on a specific request basis or be integrated into the recreation programs. Organized programs, such as a special event nature walk, increase "eyes" on the trail.

- **Adopt-A-Trail Program**: Through an adopt-a-trail program, private groups, organizations, or individuals are encouraged to adopt trail segments or corridors by volunteering or providing donations for maintenance and development.

- **Neighborhood Trail Watch Program:** Through a neighborhood trail watch program, property owners adjacent to trails can be encouraged to monitor nearby trails and report maintenance or operation problems to the City, and to report vandalism or other inappropriate activity to the Police Department.



CAMAS COMPREHENSIVE PLAN

(Ordinance #15-002 Adopted on January 5, 2015)

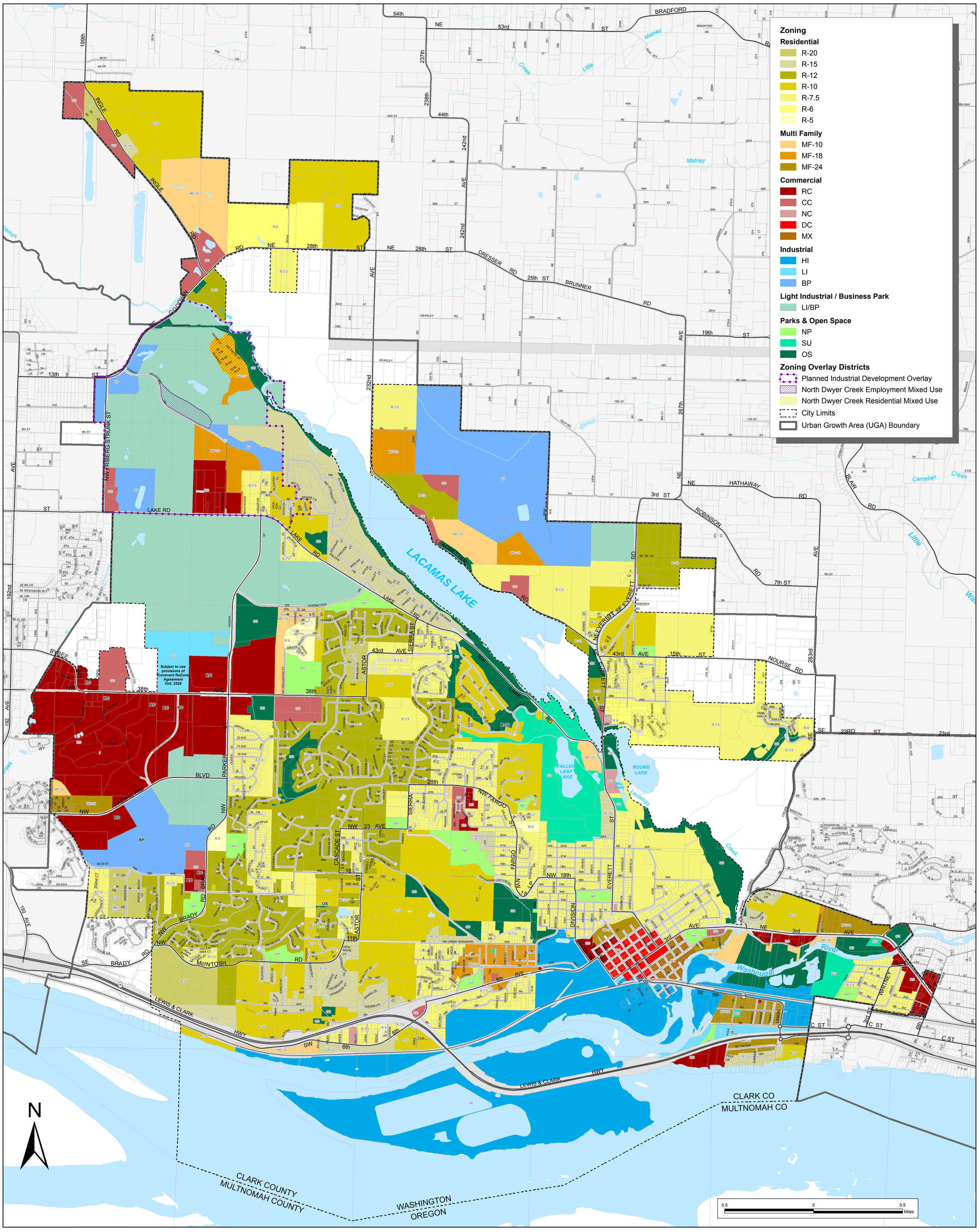
This map was prepared by Clark County GIS with data reviewed by and at the request of the City of Camas.

Geographic Information System

Date: 12/30/2014
Path: \\olympus\gis\Projects\conSrvs\OtherAgencies\19802\LandUse\2014\CityDraftComplan2014.mxd

Note: Information on this map was collected from several sources. The City of Camas expressly disclaims liability for any inaccuracies that may be present. Users of this information should themselves check any details for accuracies.

CITY OF CAMAS WASHINGTON



CAMAS ZONING

(Ordinance #15-002 Adopted on January 5, 2015)

This map was prepared by Clark County GIS with data reviewed by and at the request of the City of Camas.

Geographic Information System

Date: 12/30/2014
Path: Q:\Projects\conSrvs\OtherAgencies\19802\LandUse\2014\CityDraftZoning2014.mxd

Note: Information on this map was collected from several sources. The City of Camas expressly disclaims liability for any inaccuracies that may be present. Users of this information should themselves check any details for accuracies.

CITY OF CAMAS WASHINGTON

STAFF REPORT

Final Plat for Stoneleaf Subdivision Phase 1

File No. FP14-06

(Prior Permit #s: MinMod05-05, MinMod06-01, MinMod06-02, TUP05-04, DR05-09, DR04-07, BLA10-01, SUB12-02 and SEPA12-02)

January, 5th 2015

TO: Mayor Higgins
City Council

MEETING DATE: January 5th, 2015

FROM: Robert Maul, Planning Manager
Wes Heigh, Project Manager

LOCATION: The site is located at NW Lorenz and NW Pacific Rim Blvd., Camas, Washington, and is zoned Multifamily 24 (MF-24). Parent tax parcels #126048 and #126049. The location is also described as the Southwest quarter Section 5, Township 1 North, Range 3 East, Willamette Meridian (WM).

OWNER: Patrick Ginn
Stoneleaf JV, LLC.
800 NE Tenney Road, Suite #110-348
Vancouver, WA 98663

APPLICABLE LAW: The original application was submitted July 25th, 2012, and the applicable codes are those codes that were in effect at the date of application. Camas Municipal Code Chapters (CMC): Title 18 Zoning (not exclusively): CMC Chapter 17.21 Procedures for Public Improvements; and CMC Chapter 18.55 Administration and Procedures; and RCW Chapter 58.17.

BACKGROUND INFORMATION

- 54 Lots
- Zoning: Multi-family residential (MF-24)
- Total area: 5.58 acres
- Critical Areas: 1.82 acres

The Stoneleaf application started with a site plan approval for a condominium project where 14 of 54units have been built. Subsequently, the current owner has sought to subdivide the development into fee simple lots with a subdivision process with the City. Preliminary plat approval was issued by the hearing examiner October 14th, 2014. All of the required public and private improvements have been installed and approved. There will be several phases of this project to allow for existing condo units to be converted to fee simple lots and recorded accordingly over the next several years.

Staff found that the application met the requirements of Final Plat approval in accordance with CMC§17.21.060. This staff report addresses compliance with the criteria for final plat approval.

Conditions of Approval (SUB12-02)	Findings
1. Stormwater treatment and control facilities shall be designed in accordance with the 1992 Puget Sound Stormwater Manual design guidelines. Final stormwater calculations shall be submitted at the time of final construction plan submittal.	Stormwater report was approved and is on file.
2. All construction plans will be prepared in accordance with City of Camas standards. The plans will be prepared by a licensed civil engineer in Washington State and submitted to the City for review and approval.	Construction plans were approved.
3. Underground (natural gas, CATV, power, street light and telephone) utility plans shall be submitted to the City for review and approval prior to approval of the construction plans.	Construction plans were approved and installed as required.
4. The applicant will be required to purchase all permanent traffic control signs, street name signs, street lighting and traffic control markings and barriers for the improved subdivision. The City will supply the list of required signs, markings and barriers at the time paving is scheduled.	Installed as required.
5. A 3% construction plan review and inspection fee shall be required for this development. The fee will be based on an engineer's estimate or construction bid. The specific estimate will be submitted to the City for review and approval. The fee will be paid prior to the construction plans being signed and released to the applicant. Under no circumstances will the applicant be allowed to begin construction prior to approval of the construction plans.	Construction plans were approved and fee received.
6. Any entrance structures or signs proposed or required for this project will be reviewed and approved by the City. All designs will be in accordance with applicable City codes. The maintenance of the entrance structure will be the responsibility of the homeowners	Maintenance provisions are included in CC&Rs.
7. A homeowner's association (HOA) will be required for this development. The applicant will be required to furnish a copy of the C.C. & R.'s for the development to the City for review. Specifically, the applicant will need to make provisions in the C.C. & R.'s for maintenance of the stormwater detention and treatment facilities and any storm drainage system or easements outside the City's right of way (if applicable).	CC&R's were reviewed and approved.
8. Final plat and final as-built construction drawing submittals shall meet the requirements of the CMC 17.11.060, CMC 17.01.050 and the Camas Design Standards Manual for engineering as-built submittals.	Complies
Planning	
9. The lost shall comply with setback requirements.	Complies

10. The applicant shall install lighting and plant street trees prior to approval of final plat.	Complies
11. The applicant shall provide a mechanism for maintenance of sensitive areas to include significant trees within the HOA CC&R's. In conformance with CMC16.50, the removal of trees that are hazardous…(*removed only for brevity of this report*)	Complies
12. The applicant shall post permanent signs acceptable to the City to inform homeowners of the sensitive area and their responsibilities. Signs shall be posted prior to final platting. CMC 16.50.210-B.	Signs are installed.
Engineering	
13. The final plat shall include appropriate easements over the public portion of the gravity sanitary sewer system and over the public water system.	Complies
14. The applicant shall install 7 off-street parking spaces located within a separate tract and provide a landscape buffer to visually enhance and screen this parking tract from the adjacent lots and the neighborhood.	Complies
15. The applicant shall form a Home Owners Association for the perpetual maintenance of all privately owned improvements including the stormwater collection and detention/treatment system, landscaping and fencing improvements along NW Pacific Rim Blvd., the private roadway tracts, the private street lighting system, gated entry and common parking tract and landscaping.	Complies
16. The applicant shall note the requirement of a minimum 10 foot front and 18 foot garage setback from the curb line for all new residential structures constructed on lots 35 through 54 and a minimum 10 foot front and 18 foot garage setback from the back of the sidewalk for all new residential structures constructed on lots 1 through 6 and lots 11 through 34. Lots 7 through 10 shall have a minimum 10 foot front setback and 18 foot garage setback. A note shall be placed on the face of the final plat to this effect.	Complies
17. Automatic fire sprinklers installed per NFPA 13D or 13R will be required at the time of home construction on all lots.	Will be required at building permit issuance and final occupancy.
18. Parking enforcement provisions acceptable to the Fire Marshal shall be incorporated into the HOA documents and recorded with the final plat.	Complied as required.
19. Prior to final plat approval, tree planting shall be remedied at each built lot pursuant to the standards of CMC§17.19.030(F)(1).	Noted on plat.

20. The following notes shall be added to the final plat:	Required notes are provided on the final plat as numbers.

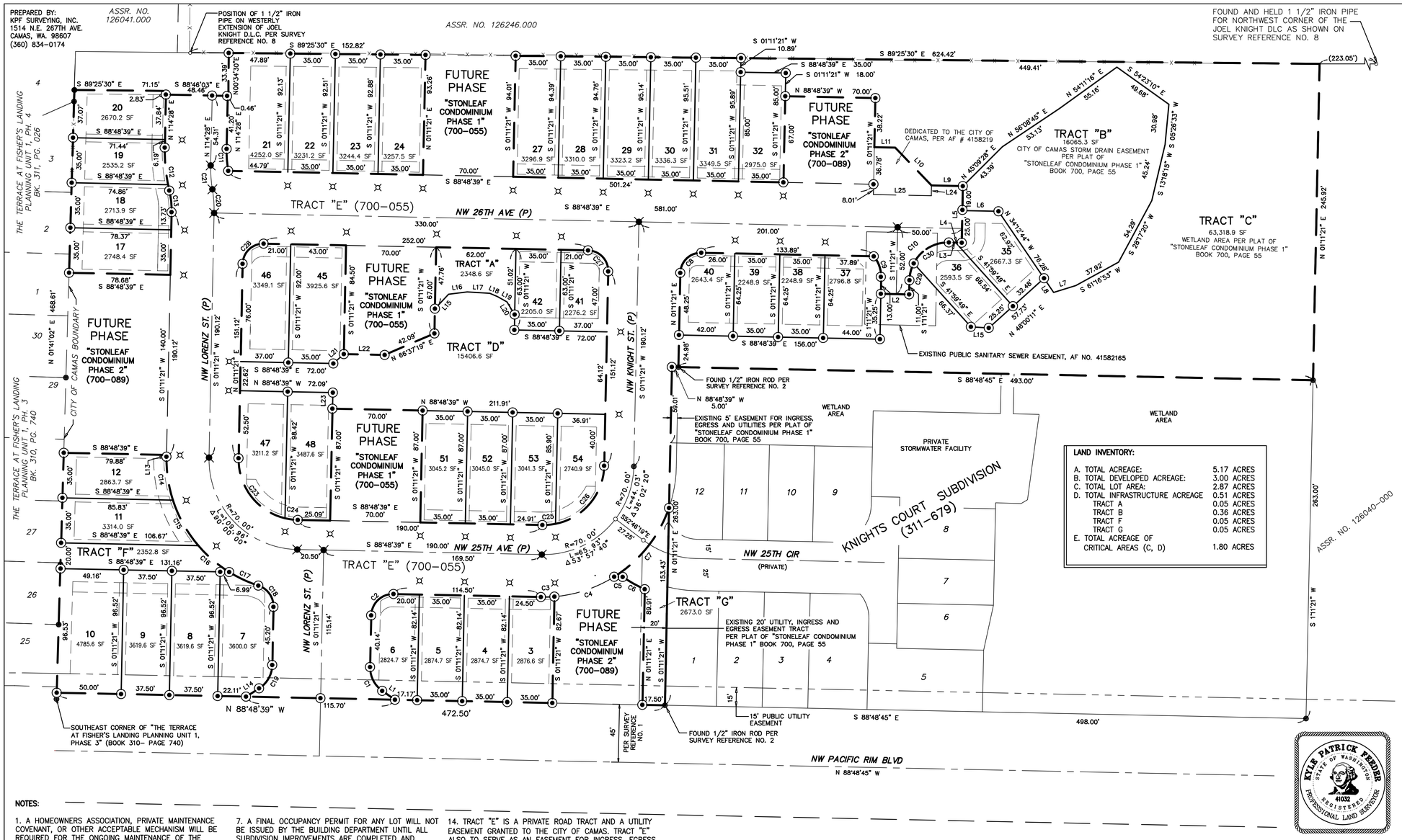
Final Plat Criteria for Approval (CMC 17.21.060-C)

1. That the proposed final plat bears the required certificates and statements of approval;
2. That the title insurance report furnished by the developer/owner confirms the title of the land, and the proposed subdivision is vested in the name of the owner(s) whose signature(s) appears on the plat certificate;
3. That the facilities and improvements required to be provided by the developer/owner have been completed or, alternatively, that the developer/owner has submitted with the proposed final plat an improvement bond or other security in conformance with CMC 17.21.040;
4. That the plat is certified as accurate by the land surveyor responsible for the plat;
5. That the plat is in substantial conformance with the approved preliminary plat; and
6. That the plat meets the requirements of Chapter 58.17 RCW and other applicable state and local laws which were in effect at the time of preliminary plat approval.

Findings: The submitted plat meets the requirements of CMC 17.21.060-C, is consistent with the applicable conditions of approval, and with the applicable state and local regulations.

Recommendation

Staff recommends that Council APPROVE the final plat of Stoneleaf Subdivision Phs. 1 (file #FP14-06) as submitted.



LAND INVENTORY:	
A. TOTAL ACREAGE:	5.17 ACRES
B. TOTAL DEVELOPED ACREAGE:	3.00 ACRES
C. TOTAL LOT AREA:	2.87 ACRES
D. TOTAL INFRASTRUCTURE ACREAGE	0.51 ACRES
TRACT A	0.05 ACRES
TRACT B	0.36 ACRES
TRACT F	0.05 ACRES
TRACT G	0.05 ACRES
E. TOTAL ACREAGE OF CRITICAL AREAS (C, D)	1.80 ACRES

"STONELEAF SUBDIVISION PHASE 1"

IN A PORTION OF THE NE 1/4 OF THE SW 1/4 OF SECTION 5, T. 1 N., R. 3 E., W.M., CITY OF CAMAS CLARK COUNTY, WASHINGTON

CITY MAYOR

APPROVED AND ACCEPTED BY:

MAYOR, CITY OF CAMAS — DATE

FINANCE DIRECTOR

I CERTIFY THAT THERE ARE NO DELINQUENT SPECIAL ASSESSMENTS, AND THAT ALL SPECIAL ASSESSMENTS ON ANY OF THE PROPERTY THAT IS DEDICATED AS STREETS, ALLEYS OR FOR OTHER PUBLIC USE ARE PAID IN FULL AT THE DATE OF CERTIFICATION

APPROVED BY:

FINANCE DIRECTOR OR DESIGNEE, CITY OF CAMAS — DATE

CITY ENGINEER

ALL IMPROVEMENTS HAVE BEEN INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS TITLE AND WITH THE PRELIMINARY PLAT APPROVAL;

ALL IMPROVEMENTS MEET CURRENT PUBLIC WORKS DRAWING STANDARDS FOR ROAD, UTILITY AND DRAINAGE CONSTRUCTION PLANS

APPROVED BY:

CITY ENGINEER OR DESIGNEE, CITY OF CAMAS — DATE

CITY COMMUNITY DEVELOPMENT

APPROVED BY:

DIRECTOR, COMMUNITY DEVELOPMENT — DATE

CITY FIRE CHIEF

APPROVED BY:

FIRE CHIEF OR DESIGNEE, CITY OF CAMAS — DATE

AUDITOR'S CERTIFICATE:

FILED FOR RECORD THIS_____ DAY OF _____, 2014

CLARK COUNTY AUDITOR — DATE

AUDITOR'S RECORDING No. _____

CLARK COUNTY ASSESSOR:

THIS PLAT MEETS THE REQUIREMENTS OF R.C.W. 58.17.170, LAWS OF WASHINGTON, TO BE KNOWN AS "STONELEAF SUBDIVISION PHASE 1" SUBDIVISION PLAT NO. _____ IN THE COUNTY OF CLARK, STATE OF WASHINGTON.

COUNTY ASSESSOR — DATE

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THIS PLAT AS SHOWN IS A TRUE RETURN FROM THE FIELD AND THAT THE DELINEATION IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

KYLE PATRICK FEEDER — STATE OF WASHINGTON — 41032 — REGISTERED PROFESSIONAL LAND SURVEYOR

KYLE P. FEEDER, PROFESSIONAL LAND SURVEYOR, PLS NO. 41032 — DATE

NOTES:

1. A HOMEOWNERS ASSOCIATION, PRIVATE MAINTENANCE COVENANT, OR OTHER ACCEPTABLE MECHANISM WILL BE REQUIRED FOR THE ONGOING MAINTENANCE OF THE FOLLOWING: STORM WATER FACILITY AND ASSOCIATED LANDSCAPING; PRIVATE STREETS; FENCING AND LANDSCAPING ALONG PACIFIC RIM BOULEVARD; PRIVATE STREET LIGHTS; THE WETLAND AREAS; AND OTHER PRIVATE FACILITIES. COPIES OF THE C.C. & R.'S OR PRIVATE MAINTENANCE AGREEMENTS SHALL BE SUBMITTED AND ON FILE WITH THE CITY OF CAMAS.

2. A MINIMUM 18–FOOT GARAGE FRONT SETBACK IS REQUIRED FROM THE CURB LINE FOR ALL NEW RESIDENTIAL STRUCTURES CONSTRUCTED ON LOTS 35 THROUGH 54.

3. A MINIMUM 18–FOOT GARAGE FRONT SETBACK IS REQUIRED FROM THE BACK OF SIDEWALK FOR ALL NEW RESIDENTIAL STRUCTURES CONSTRUCTED ON LOTS 3 THROUGH 6 AND LOTS 11 THROUGH 32.

4. SIDEWALK INSTALLATION WILL NOT BE REQUIRED FOR LOTS 8 THROUGH 10 AND LOTS 35 THROUGH 54.

5. AUTOMATIC FIRE SPRINKLER SYSTEMS DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13D OR 13R ARE REQUIRED IN ALL RESIDENTIAL STRUCTURES.

6. ILLEGALLY PARKED VEHICLES MAY BE SUBJECT TO TOWING OR OTHER PRIVATE PARKING ENFORCEMENT MEASURES IN ACCORDANCE WITH THE PROVISIONS OUTLINED IN THE HOA DOCUMENTS.

7. A FINAL OCCUPANCY PERMIT FOR ANY LOT WILL NOT BE ISSUED BY THE BUILDING DEPARTMENT UNTIL ALL SUBDIVISION IMPROVEMENTS ARE COMPLETED AND ACCEPTED BY THE CITY OF CAMAS.

8. THE LOTS IN THIS SUBDIVISION ARE SUBJECT TO TRAFFIC IMPACT FEES, SCHOOL IMPACT FEES AND PARK/OPEN SPACE IMPACT FEES. EACH NEW DWELLING WILL BE SUBJECT TO THE PAYMENT OF APPROPRIATE IMPACT FEES AT THE TIME OF BUILDING PERMIT ISSUANCE.

9. STREET TREES MUST BE INSTALLED PRIOR TO FINAL OCCUPANCY APPROVAL ON THE ABUTTING LOT.

10. TRACT "A" IS AN OPEN SPACE / PARKING TRACT TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.

11. TRACT "B" IS A STORM DRAINAGE EASEMENT TO THE CITY OF CAMAS PER SURVEY REFERENCE NO. 1. STORM FACILITY TO OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

12. TRACT "C" IS A WETLAND / WETLAND BUFFER AREA PER SURVEY REFERENCE NO. 1.

13. TRACT "D" IS A WETLAND / WETLAND BUFFER AREA / PEDESTRIAN ACCESS.

14. TRACT "E" IS A PRIVATE ROAD TRACT AND A UTILITY EASEMENT GRANTED TO THE CITY OF CAMAS. TRACT "E" ALSO TO SERVE AS AN EASEMENT FOR INGRESS, EGRESS AND UTILITIES FOR "KNIGHTS COURT" SUBDIVISION PER ACCESS AND UTILITIES EASEMENT RECORDED UNER AF #4515147. TRACTS E ALSO IS AN EASEMENT FOR INGRESS AND EGRESS TO STONELEAF, LLC. PER AUDITORS FILE NUMBER 4303961.

15. TRACT "F" IS AN ACCESS AND UTILITY EASEMENT TO LOTS 8, 9 AND 10.

16. TRACT "G" IS AN INGRESS, EGRESS AND UTILITY EASEMENT PER AF NO. 4158216.

17. SETBACK REFERENCE NOTE: MF–24 ZONE, PER CMC 18.09.050 TABLE #3:

FRONT YARD / GARAGE AT FRONT	10 / 18
SIDE YARD / ATTACHED DWELLINGS	3 / 0
STREET SIDE YARD	15
REAR YARD	10

DEED REFERENCES:

GRANTOR: COLUMBIA RIVER BANK
GRANTEE: STONELEAF JV, LLC
AFN: 4951034
DATED: 03/15/2013

GRANTOR: STONELEAF JV, LLC
GRANTEE: STONELEAF LLC
AFN: 5126498
DATED: 12/04/2014

SURVEY REFERENCES:

1) "STONELEAF CONDOMINIUM PHASE 1", BOOK 700, PAGE 55
2) "STONELEAF CONDOMINIUM PHASE 2", BOOK 700, PAGE 89
3) "THE TERRACE AT FISHER'S LANDING PLANNING UNIT 1, PHASE 3", BOOK 310, PAGE 740.
4) "THE TERRACE AT FISHER'S LANDING PLANNING UNIT 1, PHASE 4", BOOK 311, PAGE 026.
5) "KNIGHTS COURT SUBDIVISION", BOOK 311, PAGE 679
6) SPOSITO SURVEY, BOOK 20, PAGE 25
7) FEEDER SURVEY, BOOK 63, PAGE 62
8) W. A. SCHWARZ UNRECORDED SURVEY BOOK CC, PAGE 79

KPF SURVEYING, INC. MAKES NO WARRANTIES AS TO MATTERS OF UNWRITTEN TITLE SUCH AS ADVERSE POSSESSION, ACQUIESCENCE, ESTOPPEL, ETC.

A FIELD TRAVERSE WAS PERFORMED USING A ONE SECOND THEODOLITE AND AN ELECTRONIC DISTANCE MEASURING UNIT. THE FIELD TRAVERSE MET THE MINIMUM STANDARDS FOR SURVEYS AS DESIGNATED IN WAC 332–130–090. ALL CORNERS NOTED AS FOUND WERE VISITED ON 6–29–11.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	22.00'	21.65'	20.79'	S 26°59'04" E	56°23'03"
C2	17.00'	26.70'	24.04'	S 46°11'21" W	90°00'00"
C3	103.00'	10.52'	10.51'	N 88°15'52" E	5°50'59"
C4	103.00'	49.40'	48.93'	N 71°35'56" E	27°28'56"
C5	6.00'	6.98'	6.60'	N 88°48'07" W	66°40'44"
C6	103'	19.61'	19.58'	S 60°54'14" E	10°54'39"
C7	103.00'	69.65'	68.33'	N 38°29'12" E	38°44'37"
C8	16.00'	25.13'	22.63'	S 46°11'21" W	90°00'00"
C9	24.00'	17.51'	17.13'	N 19°42'57" W	41°48'37"
C10	30.00'	47.12'	42.43'	S 46°11'21" W	90°00'00"
C11	85.00'	17.15'	17.12'	S 04°32'20" E	11°33'36"
C12	133.00'	33.69'	33.60'	S 06°01'00" E	14°30'56"
C13	67.00'	16.92'	16.87'	S 06°02'28" E	14°27'59"
C14	103.00'	34.24'	34.08'	S 08°20'03" E	19°02'49"
C15	103.00'	40.85'	40.58'	S 29°13'10" E	22°43'25"
C16	103.00'	31.61'	31.48'	S 49°22'21" E	17°34'57"
C17	103.00'	25.06'	25.00'	S 65°08'00" E	13°56'22"
C18	17.00'	21.75'	20.29'	N 35°27'25" W	73°17'33"
C19	22.00'	21.67'	20.80'	N 29°24'27" E	56°26'11"
C20	100.00'	18.53'	18.50'	N 04°06'55" W	10°36'53"
C21	100.00'	18.61'	18.59'	S 04°05'27" E	10°39'50"
C22	24.50'	6.08'	6.07'	S 05°52'22" E	14°13'40"
C23	47.00'	63.75'	58.98'	S 37°40'10" E	77°43'02"
C24	47.00'	10.08'	10.06'	S 82°40'10" E	12°16'58"
C25	47.00'	10.17'	10.15'	N 84°59'30" E	12°23'42"
C26	47.00'	63.66'	58.90'	N 39°59'30" E	77°36'18"
C27	16.00'	25.13'	22.63'	N 43°48'39" W	90°00'00"
C28	16.00'	25.13'	22.63'	S 46°11'21" W	90°00'00"
C29	30.00'	13.63'	13.51'	S 14°12'03" W	26°01'24"
C30	30.00'	33.50'	31.78'	S 59°12'03" W	63°58'36"

LINE	BEARING	DISTANCE
L1	S 55°10'36" E	12.04'
L2	S 88°48'39" E	22.00'
L3	S 88°48'39" E	5.24'
L4	S 88°48'39" E	4.76'
L5	S 01°11'21" W	44.00'
L6	S 88°48'39" E	28.01'
L7	S 72°47'21" W	18.00'
L8	S 34°12'44" E	13.36'
L9	S 88°48'39" E	24.41'
L10	S 43°48'39" E	40.71'
L11	S 88°48'39" E	16.20'
L12	S 88°48'39" E	114.98'
L12	S 88°48'39" E	44.98'
L13	N 01°11'21" E	1.39'
L14	S 57°37'32" W	12.06'
L15	S 43°22'37" W	15.44'
L16	S 83°05'31" W	14.63'
L17	N 86°38'06" W	17.49'
L18	N 66°59'18" W	6.45'
L19	N 60°32'08" W	8.51'
L20	N 31°26'29" W	11.48'
L21	N 48°01'12" E	10.96'
L22	S 88°48'39" E	31.72'
L23	N 01°11'21" E	12.50'
L24	N 01°11'21" E	8.00'
L25	N 88°48'39" W	44.99'

N

BASIS OF BEARING: N88°48'45"W HELD ALONG THE CENTERLINE OF NW PACIFIC RIM BLVD. PER SURVEY REFERENCE NO. 1

0 40 80 120
SCALE: 1"=40'

LEGEND

- INDICATES FOUND 1/2" IRON ROD PER SURVEY REFERENCE NO. 1 (HELD)
- INDICATES FOUND 1/2" IRON ROD WITH SPOSITO CAP UNLESS NOTED OTHERWISE
- INDICATES CALCULATED POSITION AS NOTED
- INDICATES 1/2" x 24" IRON ROD WITH (FEEDER 41023) CAP SET
- ROCK NAILS WITH BRASS WASHER INSCRIBED "FEEDER 41032" ARE SET AT THE EXTENSION OF ALL LOT LINES IN THE CURB FOR THE PURPOSE OF LINE NOT DISTANCE.
- ( ) INDICATES RECORD INFORMATION
- AF NO. INDICATES AUDITORS' FILE NUMBER
- INDICATES PUBLIC UTILITY EASEMENT
- INDICATES BUILDING ENVELOPE / SETBACK

DATE:	12-17-14
SCALE:	1" = 40'
JOB NO.:	12-041
CALC BY:	KPF
DRAWN BY:	GLF
CHECKED BY:	KPF
SHEET	1 OF 1

KPF
SURVEYING, INC.
1514 N.E. 267TH AVE CAMAS, WA 98607
360-834-0174 FAX: 360-838-0155